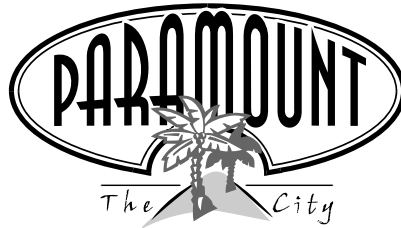


AGENDA

Paramount City Council
May 7, 2019



Regular Meeting
Progress Park Plaza
15500 Downey Avenue, Paramount
6:00 p.m.

City of Paramount

16400 Colorado Avenue ♦ Paramount, CA 90723 ♦ (562) 220-2000 ♦ www.paramountcity.com

Public Comments: If you wish to make a statement, please complete a Speaker's Card prior to the commencement of the Public Comments period of the meeting. Speaker's Cards are located at the entrance. Give your completed card to a staff member and when your name is called, please go to the rostrum provided for the public. Persons are limited to a maximum of 3 minutes unless an extension of time is granted. No action may be taken on items not on the agenda except as provided by law.

Americans with Disabilities Act: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office at (562) 220-2027 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Note: Agenda items are on file in the City Clerk's office and are available for public inspection during normal business hours. Materials related to an item on this Agenda submitted after distribution of the agenda packet are also available for public inspection during normal business hours in the City Clerk's office. The office of the City Clerk is located at City Hall, 16400 Colorado Avenue, Paramount.

Notes

CALL TO ORDER:	Mayor Tom Hansen
PLEDGE OF ALLEGIANCE:	Past Paramount Education Partnership (PEP) Recipient Zarelia Carrera
INVOCATION:	Pastor Ray Moten, Joseph of Jacob United Church of God in Christ
ROLL CALL OF COUNCILMEMBERS:	Councilmember Laurie Guillen Councilmember Peggy Lemons Councilmember Diane J. Martinez Vice Mayor Daryl Hofmeyer Mayor Tom Hansen

PRESENTATIONS

1. [PRESENTATION](#) Green Leadership Award
2. [PROCLAMATION](#) National Kids to Parks Day
May 18, 2019
3. [PROCLAMATION](#) Children's Mental Health Awareness Week
May 2-9, 2019
4. [PRESENTATIONS](#) **EDUCATION MONTH**
 - Proclaiming May 2019 as Education Month
 - Recognition of Valedictorian and Salutatorian of Paramount High School, Class of 2019
 - Recognition of Top 25 Paramount High School Academic Students, Class of 2019
 - Recognition of Top 5 Paramount High School Volunteers, Class of 2019
 - Recognition of Top 5 Paramount High School Momentum Students, Class of 2019
 - Recognition of PUSD Teachers of the Year
5. [PRESENTATIONS](#) **PARAMOUNT EDUCATION PARTNERSHIP**
 - Recognition of PEP Business Donors
 - Recognition of PEP Scholarship Recipients
 - Recognition of Pennies for PEP Fundraising School Champions

CITY COUNCIL PUBLIC COMMENT UPDATES

PUBLIC COMMENTS

CONSENT CALENDAR

All items under the Consent Calendar may be enacted by one motion. Any item may be removed from the Consent Calendar and acted upon separately by the City Council.

- | | | |
|----|--|---|
| 6. | <u>APPROVAL OF MINUTES</u> | April 2 and April 16, 2019 |
| 7. | <u>APPROVAL</u> | Register of Demands |
| 8. | <u>APPROVAL</u> | Treasurer's Report for the Quarter Ending March 31, 2019 |
| 9. | <u>APPROVAL</u> | Parade Permit Application for Hynes D.E.S. Inc. – June 23, 2019 |

OLD BUSINESS

- | | | |
|-----|---|--|
| 10. | <u>RECEIVE AND FILE</u> | Three-Month Review of City Council Permit for Live Entertainment at DeLucia Bar, 14123 Garfield Avenue |
|-----|---|--|

NEW BUSINESS

- | | | |
|-----|---|---|
| 11. | <u>APPROVAL</u> | Installation of a Speed Hump on McClure Avenue Between Howe Street and Rose Street |
| 12. | <u>PUBLIC HEARING ORDINANCE NO. 1114 (Introduction)</u> | Approving Zoning Ordinance Text Amendment No. 11, Amending Chapter 44, Article XXII, Section 44-259 of the Paramount Municipal Code to Allow Housing Uses and Incorporate Regulations for Housing and Mixed-Use Developments in the Clearwater East Specific Plan Area to Implement the 5 th Cycle Housing Element and Comply with State Law |
| 13. | <u>ORAL REPORT</u> | Housing Legislation Update (Senate Bill 50) |

-
- | | | |
|-----|--|--|
| 14. | <u>RESOLUTION NO.
19:012</u> | Approving the Acquisition of Property Identified as Assessor's Parcel Number 6239-009-022 |
| 15. | <u>RESOLUTION NO.
19:013</u> | Electing to be Exempt from the Congestion Management Program as Described in California Government Code Section 65088 to 65089.10 |
| 16. | <u>RESOLUTION NO.
19:015</u>

<u>AND</u>

<u>RESOLUTION NO.
19:016</u> | Approving the Engineer's Report for Certain Landscaping Improvements for Landscaping and Maintenance Assessment District No. 81-1

Declaring Its Intention to Levy and Collect Assessments Within Landscaping and Maintenance Assessment District No. 81-1 for Fiscal Year 2019-2020 and Setting a Time and Place for a Public Hearing Thereon |
| 17. | <u>RESOLUTION NO.
19:014</u>

<u>AND</u>

<u>RESOLUTION NO.
19:017</u> | Granting Consent and Jurisdiction to the County of Los Angeles in the Matter of County Lighting District 10066 and County Lighting District Landscaping and Lighting Act-1, Paramount Zone, City of Paramount Petition No. 32-416 (Tract No. 73406) Atlantic Place and Joint Resolution

Approving and Accepting the Negotiated Exchange of Property Tax Revenues Resulting from Annexation of Petition No. 32-416 (Tract No. 73406) to County Lighting Maintenance District 10066 |
| 18. | <u>AWARD OF
CONTRACT</u> | Construction of the Arterial Street Resurfacing Improvements on Paramount Boulevard from Rosecrans Avenue to North City Limits (City Project No. 9930) |
| 19. | <u>PUBLIC HEARING</u> | Adoption of the One-Year Action Plan (FY 2019-2020) for the Community Development Block Grant (CDBG) and Home Investment Partnerships (HOME) Programs |

COMMENTS/COMMITTEE REPORTS

- Councilmembers
- Staff

ADJOURNMENT

To a meeting on May 21, 2019 at 5:00 p.m. at City Hall (Council Chambers), 16400 Colorado Avenue, Paramount.

MAY 7, 2019

PRESENTATION

GREEN LEADERSHIP AWARD

MAY 7, 2019

PROCLAMATION

NATIONAL KIDS TO PARKS DAY

MAY 18, 2019

MAY 7, 2019

PROCLAMATION

CHILDREN'S MENTAL HEALTH AWARENESS WEEK

MAY 2-9, 2019

MAY 7, 2019

EDUCATION MONTH

- ❖ PROCLAIMING MAY 2019 AS EDUCATION MONTH
- ❖ RECOGNITION OF VALEDICTORIAN AND SALUTATORIAN OF
PARAMOUNT HIGH SCHOOL, CLASS OF 2019
- ❖ RECOGNITION OF TOP 25 PARAMOUNT HIGH SCHOOL ACADEMIC
STUDENTS, CLASS OF 2019
- ❖ RECOGNITION OF TOP 5 PARAMOUNT HIGH SCHOOL
VOLUNTEERS, CLASS OF 2019
- ❖ RECOGNITION OF TOP 5 PARAMOUNT HIGH SCHOOL MOMENTUM
STUDENTS, CLASS OF 2019
- ❖ RECOGNITION OF PUSD TEACHERS OF THE YEAR

MAY 7, 2019

PARAMOUNT EDUCATION PARTNERSHIP

- ❖ RECOGNITION OF PEP BUSINESS DONORS
- ❖ RECOGNITION OF PEP SCHOLARSHIP RECIPIENTS
- ❖ RECOGNITION OF PENNIES FOR PEP FUNDRAISING SCHOOL CHAMPIONS

City Council Public Comment Updates

May 7, 2019

From the April 16, 2019 Council Meeting:

Resident	Request/Issue/Concern	Action/Comment
Ms. Dayana Dolores 15957 Hunsaker Ave.	Vehicles doing “donuts” and other dangerous maneuvers at intersection of Hunsaker Ave. and Motz St.	Staff contacted Ms. Dolores and informed her of extra traffic enforcement that will be deployed to the area. Staff is also evaluating possibility of installing “bots-dots” to the intersection.

MAY 7, 2019

APPROVAL OF MINUTES

PARAMOUNT CITY COUNCIL

MOTION IN ORDER:

APPROVE THE PARAMOUNT CITY COUNCIL MINUTES OF APRIL 2 AND
APRIL 16, 2019.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

**PARAMOUNT CITY COUNCIL
MINUTES OF A REGULAR MEETING
APRIL 2, 2019**

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER: The regular meeting of the Paramount City Council was called to order by Mayor Diane J. Martinez at 6:00 p.m. at City Hall, Council Chambers, 16400 Colorado Avenue, Paramount, California.

PLEDGE OF ALLEGIANCE: The Pledge of Allegiance was led by members of the Girl Scout Troop #70753.

INVOCATION: The invocation was delivered by Pastor Ken Korver, Emmanuel Reformed Church.

ROLL CALL OF COUNCILMEMBERS: Present: Councilmember Laurie Guillen
Councilmember Daryl Hofmeyer
Councilmember Peggy Lemons
Vice Mayor Tom Hansen
Mayor Diane J. Martinez

STAFF PRESENT: John Moreno, City Manager
John E. Cavanaugh, City Attorney
Adriana Figueroa, Public Works Director
David Johnson, Com. Serv. & Recreation Director
Karina Liu, Finance Director
Adriana Lopez, Public Safety Director
Clyde Alexander, Assistant Finance Director
Chris Callard, Public Information Officer
John Carver, Asst. Community Development Director
Lana Chikami, City Clerk
Marco Cuevas, Associate Planner
Jaime De Guzman, Senior Accountant
Danny Elizarraras, Management Analyst
Antulio Garcia, Building & Safety Manager
Magda Garcia, Senior Com. Serv. & Rec. Supervisor
Yecenia Guillen, Asst. Com. Serv. & Rec. Director
Sarah Ho, Assistant Public Works Director
John King, Principal Planner
Wendy Macias, Public Works Manager
Anthony Martinez, Management Analyst II
Daniel Martinez, Information Technology Analyst I
Jonathan Masannat, HR Manager

PRESENTATIONS

1. PRESENTATIONS
 Outgoing Mayor Diane J. Martinez
 CF 39.7, 11.5
- Outgoing Mayor Martinez was honored for her leadership.
- Mayor Martinez expressed her appreciation to her colleagues, staff, and the residents. She also acknowledged her family, friends, and members of Our Lady of the Rosary Church for their support.

MINUTES

2. APPROVAL OF
 MINUTES
 March 5 and March 19,
 2019
- It was moved by Councilmember Hofmeyer and seconded by Vice Mayor Hansen to approve the Paramount City Council minutes of March 5 and March 19, 2019. The motion was passed by the following roll call vote:
- AYES: Councilmembers Guillen, Hofmeyer,
 Lemons; Vice Mayor Hansen; and
 Mayor Martinez
- NOES: None
- ABSENT: None
- ABSTAIN: None

REORGANIZATION

3. REORGANIZATION
 Selection of Mayor and
 Vice Mayor
 CF 11.3
- City Clerk Chikami opened nominations for the office of Mayor. Councilmember Martinez nominated Councilmember Hansen. There being no further nominations, nominations were closed.

The roll call vote for Councilmember Hansen as Mayor:

AYES: Councilmembers Guillen, Hansen,
 Hofmeyer, Lemons, Martinez

NOES: None

ABSENT: None

ABSTAIN: None

Tom Hansen was unanimously declared **Mayor**.

Mayor Hansen expressed appreciation for the support and introduced his family.

Mayor Hansen opened nominations for the office of Vice Mayor. Councilmember Lemons nominated Councilmember Hofmeyer. There was a second nomination and Councilmember Guillen nominated Councilmember Guillen.

Daryl Hofmeyer was declared **Vice Mayor** by the following roll call vote:

AYES: Councilmembers Hofmeyer, Lemons,
Martinez; and Mayor Hansen
(voted for Councilmember Hofmeyer)
AYES: Councilmember Guillen
(voted for Councilmember Guillen)
NOES: None
ABSENT: None
ABSTAIN: None

Vice Mayor Hofmeyer expressed his appreciation for the opportunity to serve as Vice Mayor and acknowledged the citizens of Paramount.

Councilmember Guillen commented on the reorganization process and past rotational practice for Mayor and Vice Mayor. She also expressed her appreciation to the residents and commented on the importance of voting in 2020.

PRESENTATIONS

- | | |
|--|---|
| 4. Paramount Women's Club Essay Contest Winners
CF 39.7 | The City Council, joined by members of the Paramount Women's Club and Lincoln School Principal Topekia Jones, recognized Lincoln School's 4 th and 5 th grade essay contest winners. |
| 5. PROCLAMATION
National Library Week
April 7-13, 2019
CF 39.12 | Mayor Hansen, on behalf of the City Council, proclaimed April 7-13, 2019 as National Library Week, and a proclamation was presented to Ms. Andrea Crow of the Paramount Library. |
| 6. PRESENTATION
Paramount Student Art Show Winners
CF 39.7 | The City Council were joined by Paramount Unified School District Board Members, staff, Superintendent Ruth Perez and Ms. Jeanette Larson (Traditional Artists Guild), and they honored the student art show winners. |

- | | | |
|-----|---|--|
| 7. | PROCLAMATION
DMV/Donate Life
California Month
CF 39.12 | Mayor Hansen, on behalf of the City Council, proclaimed April as DMV/Donate Life California month and presented a proclamation to Ambassador Paulina Guevara (One Legacy). |
| 8. | PROCLAMATION
Arbor Day
CF 39.12 | Mayor Hansen, on behalf of the City Council, proclaimed April 26, 2019 as Arbor Day. |
| 9. | PROCLAMATION
Fair Housing Month
CF 39.12 | Mayor Hansen, on behalf of the City Council, proclaimed April as Fair Housing Month and presented a proclamation to Ms. Liz Castro (Fair Housing Foundation). |
| 10. | COMMENDATION
Deputy Scott Simpkins
CF 39.6 | The City Council expressed their appreciation to Deputy Scott Simpkins and presented him with a Commendation. |

Mayor Hansen recessed the meeting at 6:55 p.m.
The meeting reconvened at 7:11 p.m.

CITY COUNCIL PUBLIC COMMENT UPDATES

CF 10.4

City Manager Moreno responded to comments made by Ms. Gloria Fernandez at the March 19, 2019 City Council meeting.

PUBLIC COMMENTS

There were none.

CONSENT CALENDAR

11. Register of Demands
CF 47.2

It was moved by Councilmember Martinez and seconded by Vice Mayor Hofmeyer to approve the Paramount City Council Register of Demands. The motion was passed by the following roll call vote:

AYES:	Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen
NOES:	None
ABSENT:	None
ABSTAIN:	None

12. RESOLUTION NO. 19:007
Ordering the Annual Engineer's Report for Landscape Maintenance District No. 81-1
CF 25.3
- It was moved by Councilmember Martinez and seconded by Vice Mayor Hofmeyer to read by title only and adopt Resolution No. 19:007, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT ORDERING THE ANNUAL ENGINEER'S REPORT FOR LANDSCAPE MAINTENANCE DISTRICT NO. 81-1." The motion was passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen

NOES: None

ABSENT: None

ABSTAIN: None

OLD BUSINESS

13. Classification and Compensation Study
CF 76.1, 76.5
- Ms. Jennifer Ramos (CPS HR Consulting) gave the report and presented a PowerPoint presentation.

There was discussion regarding consideration of a career and pay scale ladder, part-time employee hours and benefits, and the City's existing pay scale.

It was moved by Councilmember Martinez and seconded by Councilmember Lemons to approve the classification and compensation study prepared by CPS HR Consulting. The motion was passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen

NOES: None

ABSENT: None

ABSTAIN: None

Mayor Hansen announced that a "Children's Day" event will be held on April 20, 2019 from 10:00 a.m. to 2:00 p.m. at Paramount Park.

NEW BUSINESS

14. Paramount/South Gate Station Area Plan
CF 99.16
- Assistant Community Development Director Carver and Mr. Orlando Gonzalez (Gruen Associates) gave a report and presented a PowerPoint presentation.
- Discussion followed regarding safety and the potential for increased crime, collaborating with law enforcement, and imposing mitigation measures on a project when an environmental assessment is done.
- It was moved by Vice Mayor Hofmeyer and seconded by Councilmember Martinez to receive and file the report. The motion was passed by the following roll call vote:
- AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen
NOES: None
ABSENT: None
ABSTAIN: None
15. RESOLUTION NO. 19:009
Affirming the Fiscal Year 2019-2020 Budget for the Use of Funds Provided by the Road Repair and Accountability Act of 2017 (SB 1)
CF 94
- Public Works Director Figueroa gave the report and presented a PowerPoint presentation.
- It was moved by Councilmember Martinez and seconded by Vice Mayor Hofmeyer to read by title only and adopt Resolution No. 19:009 "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT AFFIRMING THE FISCAL YEAR 2019-2020 BUDGET FOR THE USE OF FUNDS PROVIDED BY THE ROAD REPAIR AND ACCOUNTABILITY ACT OF 2017 (SB 1)." The motion was passed by the following roll call vote:
- AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen
NOES: None
ABSENT: None
ABSTAIN: None

16. Neighborhood Parking
Permit Distribution
Guidelines
CF 73

Public Safety Director Lopez gave the report and presented a PowerPoint presentation.

There was discussion regarding the following: on-street parking permits (per household), guest parking permits, parking permit fee, replacement parking permit fee, and the design of parking permits. Discussion also ensued regarding phasing in the neighborhood parking permit distribution guidelines in existing neighborhood parking permit areas.

Staff was directed to do a cost analysis study to determine if it would be beneficial to implement a \$5 parking permit fee and to also research existing neighborhood permit parking areas. Staff was to then report back to the City Council and provide residents an opportunity to express their concerns to them at a future meeting.

It was moved by Councilmember Martinez and seconded by Vice Mayor Hofmeyer to adopt the proposed formal guidelines to distribute neighborhood parking permits in an approved neighborhood permit parking area in the City of Paramount. The motion was passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons,
Martinez; Vice Mayor Hofmeyer; and
Mayor Hansen

NOES: None

ABSENT: None

ABSTAIN: None

17. RESOLUTION NO.
19:008
Authorizing the Adoption
of the Emergency
Operations Plan (EOP)
CF 46.3, 46.13

Public Safety Director Lopez gave the report and presented a PowerPoint presentation.

It was moved by Vice Mayor Hofmeyer and seconded by Councilmember Martinez to read by title only and adopt Resolution No. 19:008, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT AUTHORIZING THE ADOPTION OF THE EMERGENCY OPERATIONS PLAN (EOP)." The motion was passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons,
Martinez; Vice Mayor Hofmeyer; and
Mayor Hansen
NOES: None
ABSENT: None
ABSTAIN: None

COMMENTS/COMMITTEE REPORTS

Councilmembers

Councilmember Lemons explained her reason for how she voted on the reorganization item.

Councilmember Guillen responded to Councilmember Lemon's comments.

Mayor Hansen commented on his attendance at the Paramount Junior Athletic Association kick-off event and the soccer kick-off event.

Staff

There were none.

ADJOURNMENT

There being no further business to come before the City Council, Mayor Hansen adjourned the meeting in memory of Mrs. Chizue Ouchi at 8:35 p.m. to a meeting on April 16, 2019 at 5:00 p.m.

Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

**PARAMOUNT CITY COUNCIL
MINUTES OF AN ADJOURNED MEETING
April 16, 2019**

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER: The adjourned meeting of the Paramount City Council was called to order by Mayor Tom Hansen at 5:03 p.m. at City Hall, Council Chambers, 16400 Colorado Avenue, Paramount, California.

ROLL CALL OF COUNCILMEMBERS Present: Councilmember Laurie Guillen
Councilmember Diane J. Martinez
Councilmember Peggy Lemons
Vice Mayor Daryl Hofmeyer
Mayor Tom Hansen

STAFF PRESENT: John Moreno, City Manager
John E. Cavanaugh, City Attorney
Adriana Figueroa, Public Works Director
David Johnson, Com. Serv. & Recreation Director
Karina Liu, Finance Director
Adriana Lopez, Public Safety Director
Clyde Alexander, Assistant Finance Director
Chris Callard, Public Information Officer
John Carver, Asst. Community Development Director
Lana Chikami, City Clerk
Marco Cuevas, Associate Planner
Jaime De Guzman, Senior Accountant
Danny Elizarraras, Management Analyst
Antulio Garcia, Building & Safety Manager
Magda Garcia, Senior Com. Serv. & Rec. Supervisor
Yecenia Guillen, Asst. Com. Serv. & Rec. Director
Sarah Ho, Assistant Public Works Director
John King, Principal Planner
Wendy Macias, Public Works Manager
Anthony Martinez, Management Analyst II
Daniel Martinez, Information Technology Analyst I
Jonathan Masannat, HR Manager

PRESENTATIONS

1. **PROCLAMATION** Mayor Hansen, on behalf of the City Council, observed April 22-26, 2019 as Every Kid Healthy Week. He also acknowledged the Paramount-Tepic Sister Cities organization for their Children's Day/Dia del Niño event to be held on April 20, 2019.
Every Kid Healthy Week
(Paramount Tepic Sister
Cities)
CF 39.12

CITY COUNCIL PUBLIC COMMENT UPDATES

There were none.

PUBLIC COMMENTS

CF 10.3

The following individuals addressed the City Council and provided public comments: Ms. Andrea Crow (Paramount Library) and Ms. Dayana Dolores.

OLD BUSINESS

2. Six-Month Review of City Council Permit for Live Entertainment at the Paramount Swap Meet, 7900 All America City Way
CF 75.4

Public Safety Director Lopez gave the report and presented a PowerPoint presentation.

It was moved by Councilmember Martinez and seconded by Vice Mayor Hofmeyer to receive and file the report with the stipulation that staff conduct a six-month compliance review. The motion was passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen

NOES: None

ABSENT: None

ABSTAIN: None

3. Permit Parking Administrative Costs
CF 73

Public Safety Director Lopez gave the report and presented a PowerPoint presentation.

There was discussion regarding cities charging for parking permits and the permit fee amount. Mayor Hansen stated that he was not in favor of a fee for the permit and it was moved by Councilmember Lemons and seconded by Councilmember Martinez to approve the item with no fee for parking permits. The motion was passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen

NOES: None

ABSENT: None

ABSTAIN: None

4. RESOLUTION NO. 19:011
Amending the Authorized Position Listing for Full and Part-Time City Employees and Salary Table for Full-Time City Employees
CF 76.1, 76.5
- Assistant City Manager Chun gave the report and presented a PowerPoint presentation.
- Councilmember Guillen applauded implementing the first phase to increase salaries and commended staff for completion of the study.
- It was moved by Councilmember Martinez and seconded by Vice Mayor Hofmeyer to read by title only and adopt Resolution No. 19:011, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT AMENDING THE AUTHORIZED POSITION LISTING FOR FULL AND PART-TIME CITY EMPLOYEES AND SALARY TABLE FOR FULL-TIME CITY EMPLOYEES." The motion was passed by the following roll call vote:
- AYES: Councilmembers Guillen, Lemons, Martinez; Vice Mayor Hofmeyer; and Mayor Hansen
- NOES: None
- ABSENT: None
- ABSTAIN: None

NEW BUSINESS

5. ORAL REPORT
West Nile Virus (WNV) and Invasive Aedes Mosquitoes Update
CF 61.16
- Ms. Kelly Middleton (Los Angeles County Vector Control) gave the report and presented a PowerPoint presentation.
- There was discussion regarding mosquito repellants, swimming pools and fountains.
6. ORAL REPORT
Joint Bellflower-Paramount Active Transportation Plan (ATP) Update
CF 43.1067, 99.3
- Consultant Jacob Leon gave the report and presented a PowerPoint presentation.
7. RESOLUTION NO. 19:010
Approving the Application for Statewide
- Community Services & Recreation Director Johnson gave the report and presented a PowerPoint presentation. He also responded to Councilmember Guillen's question and stated that the City is using a

- | | |
|--|--|
| Park Development and

Community
Revitalization
(Proposition 68) Grant
Program Funds
CF 74, 74.2, 74.8, 74.9,
74.11, 74.21 | professional grant writer.

It was moved by Vice Mayor Hofmeyer and seconded
by Councilmember Lemons to read by title only and
adopt Resolution No. 19:010, "A RESOLUTION OF
THE CITY COUNCIL OF THE CITY OF
PARAMOUNT APPROVING THE APPLICATION
FOR STATEWIDE PARK DEVELOPMENT AND
COMMUNITY REVITALIZATION (PROPOSITION 68)
GRANT PROGRAM FUNDS." The motion was
passed by the following roll call vote:

AYES: Councilmembers Guillen, Lemons,
Martinez; Vice Mayor Hofmeyer; and
Mayor Hansen

NOES: None
ABSENT: None
ABSTAIN: None |
| 8. 2019 YMCA Summer
Swim Program
CF 43.1075, 62.11 | Community Services & Recreation Director Johnson
gave the report and presented a PowerPoint
presentation.

Ms. Alex Magnall (YMCA) was present and provided
answers to Councilmember Guillen regarding pool
capacity and lifeguards.

It was moved by Vice Mayor Hofmeyer and seconded
by Councilmember Lemons to receive and file the
report. The motion was passed by the following roll
call vote:

AYES: Councilmembers Guillen, Lemons,
Martinez; Vice Mayor Hofmeyer; and
Mayor Hansen

NOES: None
ABSENT: None
ABSTAIN: None |
| 9. Appointment of City
Commissioners
CF 27 | Mayor Hansen announced Commissioner re-
appointments.

It was moved by Councilmember Lemons and
seconded by Vice Mayor Hofmeyer to approve the
appointments to the Planning, Public Works, Parks
and Recreation, Public Safety, and Senior Services
Commissions. The motion was passed by the |

following roll call vote:

AYES: Councilmembers Guillen, Lemons,
Martinez; Vice Mayor Hofmeyer; and
Mayor Hansen
NOES: None
ABSENT: None
ABSTAIN: None

10. Mayor's Appointments
CF 10.5

Mayor Hansen made agency representative and
alternate representative appointments.

It was moved by Councilmember Martinez and
seconded by Vice Mayor Hofmeyer to confirm Mayor
Hansen's appointments. The motion was passed by
the following roll call vote:

AYES: Councilmembers Guillen, Lemons,
Martinez; Vice Mayor Hofmeyer; and
Mayor Hansen
NOES: None
ABSENT: None
ABSTAIN: None

COMMENTS/COMMITTEE REPORTS

Councilmembers

Vice Mayor Hofmeyer commented on his attendance
at the California Joint Powers Insurance Authority
conference and discussed reducing liability for trip
and fall claims.

Councilmember Guillen commented on attending a
water agency meeting and the City's successful Eco
Fair event. She mentioned that she was approached
about the possibility of putting gardening boxes in the
front yards of homes. Additionally, Councilmember
Guillen mentioned some actions at a recent
Paramount Unified School District meeting. She also
thanked Mayor Hansen for the agency appointments
and commented on the appointment process.

Councilmember Lemons also commented on the
appointment process.

Mayor Hansen noted that Assemblymember Anthony Rendon attended the Eco Fair event and praised the presentation given by Ms. Kelly Middleton on the WNV update.

Staff

City Manager Moreno remarked that trip and fall claims and insurance rates are down. He also introduced new Human Resources Manager Jonathan Masannat.

ADJOURNMENT

There being no further business to come before the City Council, Mayor Hansen adjourned the meeting at 6:38 p.m. to a meeting on May 7, 2019 at 6:00 p.m. at Progress Park Plaza, 15500 Downey Avenue, Paramount.

Tom Hansen, Mayor

ATTEST:

Christopher Callard, Public Information
Officer for Lana Chikami, City Clerk

MAY 7, 2019

REGISTER OF DEMANDS

PARAMOUNT CITY COUNCIL

MOTION IN ORDER:

APPROVE THE PARAMOUNT CITY COUNCIL REGISTER OF DEMANDS.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

**CITY OF PARAMOUNT
FINAL CHECK REGISTER
April 30, 2019
Printed Checks**

Check Number	Vendor Name	Amount	Description
311251	A & G FENCE AND SUPPLY SALES	1,798.00	PW - FENCE REPAIRS (ROSECRANS/105 FWY)
	Vendor Tota	1,798.00	
311252	A Y NURSERY, INC.	978.75	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	978.75	
311253	ADVANCE GRAPHIX IMAGING SOL	13.09	WTR DEP REF - 6409 ALONDRA
	Vendor Tota	13.09	
311254	AIR SOURCE INDUSTRIES, INC	273.75	CSR - EQUIPMENT MNTC SUPPLIES
	Vendor Tota	273.75	
311255	ALIN PARTY SUPPLY CO.	163.80	CSR - ENP EVENT SUPPLIES
		81.65	CSR - STAR SUPPLIES
		78.66	CSR - ENP EVENT SUPPLIES
		60.50	CSR - STAR SUPPLIES
		60.21	CSR - RECREATION SUPPLIES
		53.85	CSR - FRIDAY NIGHT MARKET SUPPLIES
	Vendor Tota	498.67	
311256	ARAMARK UNIFORM SERVICES, INC.	151.65	CSR - LAUNDRY SVCS (4/3)
		115.76	CSR - LAUNDRY SVCS (3/20)
	Vendor Tota	267.41	
311257	ARROYO R.	17.43	WTR DEP REF - 15923 ORIZABA
	Vendor Tota	17.43	
311258	B C INSTALLATION CO	56.22	WTR DEP REF - 15342 COLORADO
	Vendor Tota	56.22	
311259	BOND, WILLIAM	25.70	WTR DEP REF - 15137 GUNDRY #N
	Vendor Tota	25.70	
311260	BRIGHTVIEW LANDSCAPE	4,594.99	PW - LANDSCAPE MNTC SVCS
		3,216.81	PW - LANDSCAPE MNTC SVCS
		2,907.92	PW - LANDSCAPE MNTC SVCS
		2,907.92	PW - LANDSCAPE MNTC SVCS
		2,800.46	PW - LANDSCAPE MNTC SVCS
		2,495.47	PW - LANDSCAPE MNTC SVCS
		1,549.47	PW - LANDSCAPE MNTC SVCS
	Vendor Tota	20,473.04	
311261	BROWN BOLT & NUT CORP.	187.66	PW - FACILITY MNTC SUPPLIES
		91.10	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	278.76	
311262	CALWEST LIGHTING SERVICES, INC	536.93	PW - FACILITY MNTC SVCS
	Vendor Tota	536.93	
311263	CASIQUE	12.23	WTR DEP REF - 6608 MOTZ
	Vendor Tota	12.23	
311264	CDW GOVERNMENT, INC.	64.17	CSR - FACILITY SUPPLIES
	Vendor Tota	64.17	
311265	CITY OF SANTA FE SPRINGS	17,105.86	PW - TRAFFIC SIGNAL MNTC (12/18)
		9,084.73	PW - TRAFFIC SIGNAL MNTC (11/18)
	Vendor Tota	26,190.59	
311266	CLEANSTREET	16,308.54	PW - STREET SWEEPING (3/19)
	Vendor Tota	16,308.54	

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Check Number	Vendor Name	Amount	Description
311267	CONTINENTAL INTERPRETING	350.00	CC - COMMUNITY INTERPRETER (3/5)
		350.00	CC - COMMUNITY INTERPRETER (2/19)
		350.00	CC - COMMUNITY INTERPRETER (3/19)
	Vendor Tota	1,050.00	
311268	CORE & MAIN LP	1,517.24	PW - WATER OPER MNTC SUPPLIES
	Vendor Tota	1,517.24	
311269	DATA TICKET, INC	8,886.58	PS - PARKING CITATION SVCS (2/19)
		442.50	PS - ADMIN CITATION SVCS (2/19)
		200.00	PS - NOISE DISTURBANCE SVCS (2/19)
	Vendor Tota	9,529.08	
311270	DAVID VOLZ DESIGN	3,186.00	CIP - PARK RENOVATION DESIGN (2/19)
	Vendor Tota	3,186.00	
311271	DELPHIN COMPUTER SUPPLY	405.15	PW - WATER OPER MNTC SUPPLIES
	Vendor Tota	405.15	
311272	DEPT OF JUSTICE	96.00	PERS - FINGERPRINTING SVCS (2/19)
		96.00	CSR - STAR FINGERPRINTING SVCS (2/19)
	Vendor Tota	192.00	
311273	DION AND SONS, INC	2,183.45	PW - WATER OPER MNTC SVCS
	Vendor Tota	2,183.45	
311274	DISPENSING TECHNOLOGY CORP.	902.51	PW - STREET MNTC SUPPLIES
	Vendor Tota	902.51	
311275	DON MILLER & SONS PLUMBING	191.77	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	191.77	
311276	DOUGLAS ENVIRONMENTAL GROUP,	2,400.00	PW - WATER OPER MNTC SVCS
	Vendor Tota	2,400.00	
311277	EWING IRRIGATION PRODUCTS, INC	462.06	PW - LANDSCAPE MNTC SUPPLIES
		-132.52	PW - LANDSCAPE MNTC SUPPLIES (CREDIT)
	Vendor Tota	329.54	
311278	FERGUSON ENTERPRISES, INC	383.58	PW - FACILITY MNTC SUPPLIES
		345.72	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	729.30	
311279	FULLER ENGINEERING INC	1,035.05	PW - FACILITY MNTC SUPPLIES
		540.38	PW - FACILITY MNTC SUPPLIES
		520.78	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	2,096.21	
311280	FUN EXPRESS	80.19	CSR - STAR SUPPLIES
		6.67	CSR - STAR SUPPLIES (TAX)
		-6.67	FUN EXPRESS
	Vendor Tota	80.19	
311281	GRAINGER	726.32	PW - STREET MNTC SUPPLIES
		610.87	PW - WATER OPER MNTC SUPPLIES
		105.13	PW - STREET MNTC SUPPLIES
	Vendor Tota	1,442.32	
311282	HAL'S GLASS CO., INC.	196.66	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	196.66	

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Check Number	Vendor Name	Amount	Description
311283	HUMAN SERVICES ASSOCIATION	4,213.70	CSR - ENP MEALS (COM CTR) - 2/19
		1,278.90	CSR - ENP MEALS (HOME DEL) - 2/19
		-2,437.50	CSR - ENP MEALS (CAP LIMIT) - 2/19
		580.50	CSR - ENP EVENT MEALS (2/14)
	Vendor Tota	3,635.60	
311284	HUNTINGTON BUSINESS INTERIORS	1,142.30	GEN - CONFERENCE CHAIRS (2)
	Vendor Tota	1,142.30	
311285	J & B MATERIALS	180.84	PW - FACILITY MNTC SUPPLIES
		173.45	PW - FACILITY MNTC SUPPLIES
		130.14	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	484.43	
311286	JANKOVICH COMPANY	124.27	CD - FLEET FUEL (3/15 - 3/21)
		69.97	CD - FLEET FUEL (4/1 - 4/7)
		48.50	CD - FLEET FUEL (3/1 - 3/7)
		43.38	CD - FLEET FUEL (3/8 - 3/14)
		35.34	CSR - FLEET FUEL (2/22 - 2/28)
		32.96	AS - FLEET FUEL (3/22 - 3/31)
	Vendor Tota	354.42	
311287	JCS AUTOMATION, LLC	875.00	PW - WATER OPER MNTC SVCS
	Vendor Tota	875.00	
311288	JHM SUPPLY LANDSCAPE AND	201.38	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	201.38	
311289	JMD NET	2,500.00	GEN - COMPUTER NETWORK SUPPORT (3/19)
	Vendor Tota	2,500.00	
311290	JMG SECURITY SYSTEMS, INC	6,905.57	GEN - ALARM INSTALLATION (CITY YARD)
		276.00	GEN - SECURITY SYSTEM MNTC(4/19 - 6/19)
		136.17	GEN - CCTV MNTC (11/18-6/19)-CITY YARD
	Vendor Tota	7,317.74	
311291	JOHN L HUNTER	3,419.64	PW - STORMWATER MGMT SVCS (1/19)
	Vendor Tota	3,419.64	
311292	JP ORNAMENTAL	18.04	WTR DEP REF - 15947 MINNESOTA
	Vendor Tota	18.04	
311293	KELTERITE CORPORATION	218.52	PW - STREET MNTC SUPPLIES
	Vendor Tota	218.52	
311294	KLM, INC.	887.83	PW - A/C SYSTEM SVCS (CITY YARD)
		844.83	PW - A/C SYSTEM SVCS (CITY HALL)
		782.00	PW - A/C SYSTEM SVCS (WELL #13)
		505.68	PW - A/C SYSTEM SVCS (PROGRESS PLAZA)
		446.55	PW - A/C SYSTEM SVCS (CITY YARD)
		408.51	PW - A/C SYSTEM SVCS (PRESCHOOL)
		407.60	PW - KITCHEN REF MNTC (PROGRESS PLAZA)
		348.68	PW - A/C SYSTEM SVCS (WELL #14)
		309.32	PW - A/C SYSTEM SVCS (CLRWTR)
		268.00	PW - A/C SYSTEM SVCS (STATION)
		191.00	PW - A/C SYSTEM SVCS (SPANE PARK)
		175.00	PW - KITCHEN REF MNTC (CLRWTR)
		150.00	PW - A/C SYSTEM SVCS (WELL #13)
		150.00	PW - A/C SYSTEM SVCS (WELL #15)
		140.00	PW - A/C SYSTEM SVCS (FIREHOUSE)
	Vendor Tota	6,015.00	

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Check Number	Vendor Name	Amount	Description
311295	KONE, INC	1,990.00	PW - CLRWTR ELEVATOR MNTC (3/18)
	Vendor Tota	1,990.00	
311296	L A COUNTY SHERIFF	428,439.99	PS - GENERAL LAW ENFORCEMENT (2/19)
		243,431.50	PS - SPECIAL ASSIGNMENT OFFICER (2/19)
		19,655.25	PS - SERGEANT SERVICES (2/19)
		1,053.18	PS - VEHICLE MDC UNIT (2/19)
		387.50	PS - ALPR UNIT LEASE (2/19)
	Vendor Tota	692,967.42	
311297	L A SIGNS & BANNERS	2,088.90	CSR - MARIPOSA ARTWORK
		1,264.16	CSR - MARIPOSA ARTWORK
	Vendor Tota	3,353.06	
311298	LACO STEEL	120.45	PW - STREET MNTC SUPPLIES
	Vendor Tota	120.45	
311299	LARA	243.66	WTR DEP REF - 6636 SAN MATEO
	Vendor Tota	243.66	
311300	LEIVA	15.37	WTR DEP REF - 6709 CARO
	Vendor Tota	15.37	
311301	LINCOLN AQUATICS	550.00	PW - CPO CERTIFICATION (JG,MF)
	Vendor Tota	550.00	
311302	LINDSAY LUMBER CO., INC	85.33	CSR - HAUNTED HOUSE
		23.86	CSR - STAR SUPPLIES
		21.88	CSR - HAUNTED HOUSE
	Vendor Tota	131.07	
311303	LOCAL GOVERNMENT COMMISSION	2,318.18	PW - CIVIC SPARK (3/19)
	Vendor Tota	2,318.18	
311304	LOPEZ, JUAN	19.37	WTR DEP REF - 14704 ORANGE
	Vendor Tota	19.37	
311305	LYONS PARAMOUNT, LLC	49.45	WTR DEP REF - 7300 SOMERSET
	Vendor Tota	49.45	
311306	M. HARA LAWNMOWER CENTER	1,856.30	PW - GENERAL SMALL TOOLS
		678.90	PW - GENERAL SMALL TOOLS
		676.71	PW - GENERAL SMALL TOOLS
		423.13	PW - LANDSCAPE MNTC SUPPLIES
		226.11	PW - LANDSCAPE MNTC SUPPLIES
		222.83	PW - LANDSCAPE MNTC SUPPLIES
		187.25	PW - LANDSCAPE MNTC SUPPLIES
		162.95	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	4,434.18	
311307	M/D PLUMBING	175.00	PW - FACILITY MNTC SVCS
		150.00	PW - FACILITY MNTC SVCS
		150.00	PW - FACILITY MNTC SVCS
	Vendor Tota	475.00	
311309	MARTINEZ	13.96	WTR DEP REF - 13903 FLORINE
311308		720.75	WTR DEP REF - 15526 VERMONT CONSTRUCTIO
	Vendor Tota	734.71	
311310	MCMaster-CARR SUPPLY CO	475.32	PW - FACILITY MNTC SUPPLIES
		-182.08	PW - FACILITY MNTC SUPPLIES (CREDIT)
	Vendor Tota	293.24	

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311311	MIRACLE RECREATION EQUIPMENT	2,634.06	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	2,634.06	
311312	MONTALVO	6.42	WTR DEP REF - 8116 RANCHO PODEROSO
	Vendor Tota	6.42	
311313	NEARPASS	9.50	WTR DEP REF - 15922 VIRGINIA
	Vendor Tota	9.50	
311314	NOBEL SYSTEMS, INC	13,500.00	PW - GIS SYSTEM (GEOVIEWER)
	Vendor Tota	13,500.00	
311315	OFFICE DEPOT, INC.	1,362.55	PS - OFFICE CHAIRS (12)
		993.85	CSR - STAR SUPPLIES
		722.04	CSR - STAR SUPPLIES
		424.59	CSR - STAR SUPPLIES
		383.36	CSR - STAR SUPPLIES
		208.05	CSR - STAR SUPPLIES
		200.38	PS - OFFICE SUPPLIES
		181.59	GEN - PRINTER TONER
		119.55	PS - OFFICE SUPPLIES
		89.79	PS - OFFICE SUPPLIES
		80.34	PS - OFFICE SUPPLIES
		49.26	PS - OFFICE SUPPLIES
		28.46	PS - OFFICE SUPPLIES
	Vendor Tota	4,843.81	
311316	OFFICE SOLUTIONS	348.21	GEN - PAPER STOCK
		76.25	AS - OFFICE SUPPLIES
		11.67	PERS - OFFICE SUPPLIES
		84.10	CD - OFFICE SUPPLIES
		53.90	CD - OFFICE SUPPLIES
		50.91	CM - OFFICE SUPPLIES
		38.47	CM - OFFICE SUPPLIES
		30.46	CD - OFFICE SUPPLIES
	Vendor Tota	693.97	
311317	OREGEL MANZO	32.83	WTR DEP REF - 15121 EL CAMINO
	Vendor Tota	32.83	
311318	PACIFIC RIM AUTOMATION, INC.	3,450.70	PW - SCADA SOFTWARE MNTC
		1,050.00	PW - SCADA COMPUTER MNTC (4/19)
	Vendor Tota	4,500.70	
311319	PARAMOUNT JOURNAL	377.52	CM - PUBLISHED NOTICE (3/28)
		267.63	CM - PUBLISHED NOTICE (3/14)
		232.10	CM - PUBLISHED NOTICE (3/14)
		114.84	CD - PUBLISHED NOTICE (3/28)
	Vendor Tota	992.09	
311320	PARKINS & ASSOCIATES	100.00	PW - PARK MNTC CONSULTANT SVCS
	Vendor Tota	100.00	
311321	PIONEER CHEMICAL CO	30.11	CSR - FACILITY MNTC SUPPLIES
	Vendor Tota	30.11	
311322	PLACITO	23.72	WTR DEP REF - 8345 ACKLEY
	Vendor Tota	23.72	
311323	POLYMERSHAPES LLC	271.44	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	271.44	

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311324	Q DOXS	316.46	GEN - COLOR COPIER USAGE (3/19)
		13.73	GEN - COLOR COPIER OVERAGE (2/19)
		101.84	GEN - COPIER USAGE (3/19)
		65.70	CD - PRINTER USAGE (3/19)
		14.48	CD - PRINTER USAGE OVERAGE (2/19)
	Vendor Tota	512.21	
311325	RETAIL MARKETING SERVICES	1,820.00	PW - CART SERVICES (2/19)
	Vendor Tota	1,820.00	
311326	RIO VERDE NURSERY	1,305.53	PW - LANDSCAPE MNTC SUPPLIES
		757.74	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	2,063.27	
311327	RIVAS	28.29	WTR DEP REF - 6532 SAN JUAN
	Vendor Tota	28.29	
311328	ROBERT SKEELS & CO.	84.26	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	84.26	
311329	ROYAL PAPER CORPORATION	1,092.79	PW - HOUSEHOLD SUPPLIES
		328.50	PW - HOUSEHOLD SUPPLIES
	Vendor Tota	1,421.29	
311330	RUMARY	24.23	WTR DEP REF - 14044 ANDERSON
	Vendor Tota	24.23	
311331	S & J SUPPLY CO.	1,990.72	PW - WATER OPER MNTC SUPPLIES
		617.63	PW - FACILITY MNTC SUPPLIES
		511.37	PW - FACILITY MNTC SUPPLIES
		397.70	PW - FACILITY MNTC SUPPLIES
		208.66	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	3,726.08	
311332	S & S WORLDWIDE	1,912.17	CSR - STAR SUPPLIES
		289.82	CSR - STAR SUPPLIES
	Vendor Tota	2,201.99	
311333	SALAZAR	97.57	WTR DEP REF - 6836 SAN MATEO
	Vendor Tota	97.57	
311334	SALCO GROWERS, INC.	171.64	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	171.64	
311335	SHAW	6.95	WTR DEP REF - 15355 PIMIENTA
	Vendor Tota	6.95	
311336	SIEMENS INDUSTRY, INC	330.69	PW - WATER OPER MNTC SUPPLIES
	Vendor Tota	330.69	
311337	SMART & FINAL IRIS CO	461.40	GEN - KITCHEN SUPPLIES
		176.43	GEN - KITCHEN SUPPLIES
		59.73	GEN - KITCHEN SUPPLIES
	Vendor Tota	697.56	
311338	STOVER SEED COMPANY	1,752.00	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	1,752.00	
311339	SUPERCO SPECIALTY PRODUCTS	828.34	PW - GRAFFITI REMOVAL SUPPLIES
	Vendor Tota	828.34	
311340	TACTICAL DIGITAL CORP	6.76	GEN - EMAIL TO FAX SVCS (2/19)
	Vendor Tota	6.76	

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311341	TAUVEVE	30.43	WTR DEP REF - 15124 MINNESOTA
	Vendor Tota	30.43	
311342	TONY'S GLOVES & SAFETY SUPPLY	1,573.52	PW - HOUSEHOLD SUPPLIES
	Vendor Tota	1,573.52	
311343	UNIVERSITY TROPHIES	101.43	CP - PLAQUES (DM, AMC)
	Vendor Tota	101.43	
311344	WEST COAST ARBORISTS, INC	12,929.90	PW - TREE MNTC SVCS (3/1 - 3/15)
		6,778.25	PW - TREE MNTC SVCS (2/16 - 2/28)
	Vendor Tota	19,708.15	
311345	WILLDAN ASSOCIATES, INC	2,200.00	CIP - NEIGHBORHOOD STREET RESURF (2/19)
		8,800.00	CIP - NEIGHBORHOOD STREET RESURF (2/19)
		10,951.00	PW - GENERAL ENG SVCS (2/19)
		4,847.50	PW - TRAFFIC ENG SVCS (2/19)
		3,915.00	CIP - ROSECRANS BRIDGE REPAIR (2/19)
		2,100.00	CIP - ARTERIAL STREET RESURFACE (2/19)
		1,500.00	PW - GENERAL ENG SVCS (2/19)
		1,060.00	PW - GENERAL ENG SVCS (2/19)
		300.00	PW - I-710 TAC MEETINGS (2/19)
	Vendor Tota	35,673.50	
311346	ZUMAR INDUSTRIES, INC.	565.40	PW - STREET MNTC SUPPLIES
		234.70	PW - STREET MNTC SUPPLIES
	Vendor Tota	800.10	
A total of 96 checks were issued for		\$929,400.84	

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311120	4 IMPRINT	611.33	CSR - STAR SUPPLIES
311225		354.04	PS - COMMUNITY PROMO SUPPLIES
	Vendor Tota	965.37	
311003	ADMINISTRATIVE SERVICES CO-OP	3,428.70	CSR - MEDICAL TRANSIT SVCS (2/19)
311206		4,951.98	CSR - MEDICAL TRANSIT SVCS (3/19)
	Vendor Tota	8,380.68	
310930	ADT SECURITY SERVICES, INC.	143.67	PS - SECURITY CAMERA MNTC (4/19-6/19)
		48.52	PS - SECURITY CAMERA MNTC (4/19)
	Vendor Tota	192.19	
310947	ADVANCE ELEVATOR, INC	300.00	PW - ELEVATOR MNTC (4/19)
	Vendor Tota	300.00	
311004	ADVANCED AQUATIC TECHNOLOGY	975.00	PW - CIVIC CENTER FOUNTAIN MNTC (2/19)
	Vendor Tota	975.00	
311207	AFLAC	1,848.48	AFLAC INSURANCE PAYABLE (2/19)
	Vendor Tota	1,848.48	
311064	AGUILAR, GLORIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311153	ALFARO, RAUL	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311140	ALL CITIES LOCK & SAFE	1,258.06	PW - FACILITY MNTC SVCS
311234		200.99	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	1,459.05	
310901	ALL CITY MANAGEMENT SERVICES	15,976.80	PS - CROSSING GUARD SVCS (2/24 - 3/9)
311034		15,976.80	PS - CROSSING GUARD SVCS (3/10 - 3/23)
311171		15,976.80	PS - CROSSING GUARD SVCS (3/24 - 4/6)
	Vendor Tota	47,930.40	
311035	ALLIANT INSURANCE SERVICES, INC	2,218.00	SPECIAL EVENT INSURANCE (1/19 - 3/19)
	Vendor Tota	2,218.00	
311121	ALVARADO, ERNESTINA	1,000.00	FACILITY DEPOSIT REFUND (ALVARADO)
	Vendor Tota	1,000.00	
310880	AMERICAN RED CROSS	1,000.00	PS - ARC CHAPTER BOARD MEMBERSHIP (AL)
	Vendor Tota	1,000.00	
310986	ANGULO, ORLANDO	140.00	DIST VIOLATION REFUND (ANGULO)
	Vendor Tota	140.00	
311235	APPLE INC	818.99	CSR - STAR SUPPLIES
	Vendor Tota	818.99	
310881	ARELLANO, DAVID	340.00	PW - BACKFLOW CERTIFICATION (DA)
	Vendor Tota	340.00	
310969	ASHAM, MAGED	48.00	PARKING CITATION REFUND (ASHAM)
	Vendor Tota	48.00	
311065	AT & T	90.00	GEN - COM CTR INTERNET (4/19)
311236		109.25	GEN - CLRWTR INTERNET (4/19)
		100.00	GEN - CLRWTR INTERNET (3/19)
311154		5,400.46	GEN - TELEPHONE SERVICE (3/19)
		1,068.93	PW - WATER SYSTEM SERVICE (3/19)
	Vendor Tota	6,768.64	

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310960	AT&T MOBILITY	65.41	PW - CELLULAR SERVICE (3/19)
311005		689.97	CSR - STAR CELLULAR SERVICE (3/19)
		11.43	CSR - CELLULAR SERVICE (3/19)
311066		109.31	AS - CELLULAR SERVICE (3/19)
		56.43	FIN - CELLULAR SERVICE (3/19)
311100		25.88	PS - FUME ALERT CELLULAR SVC (3/19)
311226		9.14	PS - FUME ALERT CELLULAR SVC (FINAL)
311237		12.99	CSR - CELLULAR SERVICE (4/19)
		757.50	CSR - STAR CELLULAR SERVICE (4/19)
		109.21	AS - CELLULAR SERVICE (4/19)
		55.82	FIN - CELLULAR SERVICE (4/19)
	Vendor Tota	1,903.09	
311036	AVILES, ARMIN E.	100.00	CD - AIR PURIFIER & HVAC REBATE PROGRAM
	Vendor Tota	100.00	
310882	BARRACUDA NETWORKS, INC	2,653.51	GEN - WEB SECURITY (ATP)
		1,038.40	GEN - WEB SECURITY (IR)
	Vendor Tota	3,691.91	
310902	BARTLE WELLS ASSOCIATES	3,443.00	PW - WATER RATE STUDY (2/19)
	Vendor Tota	3,443.00	
311037	BECERRA, ALFRED	100.00	CD - AIR PURIFIER & HVAC REBATE PROGRAM
	Vendor Tota	100.00	
311067	BECERRA, VICTORIANO	157.00	PARKING CITATION REFUND (BECERRA)
	Vendor Tota	157.00	
311101	BEE PRINTING	1,587.22	PS - PARKING CITATION BOOKLETS
		1,587.22	PS - PARKING CITATION BOOKLETS
	Vendor Tota	3,174.44	
310970	BEIGHTON, DAVE	1,900.00	PS - DETECTIVE SPECIALIST (3/16 - 3/29)
311155		2,350.00	PS - DETECTIVE SPECIALIST (3/30 - 4/12)
	Vendor Tota	4,250.00	
311156	BETANCOURT, ALICIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311006	BRAUN, ERIC	100.00	CD - AIR PURIFIER & HVAC REBATE PROGRAM
	Vendor Tota	100.00	
311102	BRIGHTVIEW LANDSCAPE	21,532.44	PW - LANDSCAPE MNTC SVCS (4/19)
		150.00	PW - LANDSCAPE MNTC (SOMERSET) - 4/19
		300.00	PW - LANDSCAPE MNTC (STATION) - 4/19
		2,000.00	PW - LANDSCAPE MNTC (DOWNTOWN) - 4/19
		7,637.00	PW - MEDIAN MNTC SVCS (4/19)
		1,667.50	PW - DILLS PARK MNTC SVCS (4/19)
		3,248.45	PW - PARAMOUNT PARK MNTC SVCS (4/19)
	Vendor Tota	36,535.39	
310961	BROOKS, FREDERICK	63.00	PARKING CITATION REFUND (BROOKS)
	Vendor Tota	63.00	
311122	C J CONCRETE CONSTRUCTION,	82,300.00	PW - SIDEWALK CONCRETE MNTC (2019)
		37,915.00	PW - SIDEWALK CONCRETE MNTC (2019)
		29,785.00	PW - SIDEWALK CONCRETE MNTC (2019)
	Vendor Tota	150,000.00	
311007	CALIFORNIA BUILDING STANDARDS	196.20	CD - REMITTANCE SB1473 (1/19 - 3/19)
		21.80	CD - ADMIN FEE SB1473 (1/19 - 3/19)
		-21.80	CD - ADMIN FEE SB1473 (1/19 - 3/19)
	Vendor Tota	196.20	

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Check Number	Vendor Name	Amount	Description
13119	CALIFORNIA PUBLIC EMPLOYEES'	2,981.54	PERS RETIREMENT - CC 3/19
13120		151.78	PERS RETIREMENT - CC 3/19
13121		38,799.63	PERS RETIREMENT - PPE 3/15
13122		6,087.99	PERS RETIREMENT - PPE 3/15
13154		38,799.21	PERS RETIREMENT - PPE 3/29
13155		5,732.28	PERS RETIREMENT - PPE 3/29
13156		101,369.39	MEDICAL INSURANCE (ACTIVE) - 4/19
		5,712.00	MEDICAL INSURANCE (RETIRED) - 4/19
		313.60	MEDICAL INSURANCE (ADMIN FEE) - 4/19
13172		2,981.54	PERS RETIREMENT - CC 4/19
13173		151.78	PERS RETIREMENT - CC 4/19
13174		38,608.93	PERS RETIREMENT - PPE 4/12
13175		5,777.11	PERS RETIREMENT - PPE 4/12
	Vendor Tota	247,466.78	
310883	CALPERS LONG-TERM CARE PROGRAM	31.27	CALPERS LTC - PPE 3/15 (AF)
310987		31.27	CALPERS LTC - PPE 3/29 (AF)
311172		31.27	CALPERS LTC - PPE 4/12 (AF)
	Vendor Tota	93.81	
311185	CAR CARE BY ALEX	255.00	CSR - RECREATION SUPPLIES
	Vendor Tota	255.00	
311157	CARDENAS, JUSTINE	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310988	CARLOS, JUAN	210.00	CSR - GUITAR CLASS (3/19)
	Vendor Tota	210.00	
311068	CARMAX	48.00	PARKING CITATION REFUND (CARMAX)
	Vendor Tota	48.00	
311069	CARTER, ALONDRA	76.00	PARKING CITATION REFUND (CARTER)
	Vendor Tota	76.00	
311070	CARVER, JOHN	125.93	CD - METRO DOOR HANGERS
	Vendor Tota	125.93	
311008	CASAS, VICTORIA	189.99	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	189.99	
311186	CASINO DE PARIS	2,985.00	CSR - PEP EVENT SUPPLIES
	Vendor Tota	2,985.00	
311071	CASTLE, MISAYE	500.00	FACILITY DEPOSIT REFUND (CASTLE)
	Vendor Tota	500.00	
311038	CASTRO, CARLOTA	109.49	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	109.49	
310903	CENTRAL BASIN MUNI WATER DIST	32,027.76	PW - PURCHASED WATER (2/19)
311238		32,897.93	PW - PURCHASED WATER (3/19)
	Vendor Tota	64,925.69	
311009	CERTIFIED INSPECTIONS & CODE	27,720.00	CD - PLAN CHECK SVCS (3/19)
	Vendor Tota	27,720.00	
310962	CHAMBLISS, MONICA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311039	CHAVEZ, ORLANDO	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311158	CHAVEZ, VERONICA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	

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Check Number	Vendor Name	Amount	Description
310936	CHILDRENS DENTAL HEALTH CLINIC	5,000.00	CP - COMMUNITY ORG FUNDING
	Vendor Total	5,000.00	
310989	CINDY'S JUMPERS, LLC	607.00	CSR - FRIDAY NIGHT MARKET SUPPLIES
	Vendor Total	607.00	

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Check Number	Vendor Name	Amount	Description		
310948	CINTAS #053	18.00	PW - UNIFORM SVC (ADMIN)		
		37.68	PW - UNIFORM SVC (FACILITIES)		
		38.53	PW - UNIFORM SVC (LANDSCAPE)		
		49.58	PW - UNIFORM SVC (ROADS)		
		55.02	PW - UNIFORM SVC (WTR PROD)		
		61.30	PW - UNIFORM SVC (WTR DIST)		
		22.48	PW - UNIFORM SVC (WTR CUST SVC)		
		18.00	PW - UNIFORM SVC (ADMIN)		
		34.83	PW - UNIFORM SVC (FACILITIES)		
		38.53	PW - UNIFORM SVC (LANDSCAPE)		
		28.34	PW - UNIFORM SVC (ROADS)		
		35.68	PW - UNIFORM SVC (WTR PROD)		
		60.35	PW - UNIFORM SVC (WTR DIST)		
		22.48	PW - UNIFORM SVC (WTR CUST SVC)		
		34.83	PW - UNIFORM SVC (FACILITIES)		
		38.53	PW - UNIFORM SVC (LANDSCAPE)		
		18.00	PW - UNIFORM SVC (ADMIN)		
		28.34	PW - UNIFORM SVC (ROADS)		
		35.68	PW - UNIFORM SVC (WTR PROD)		
		41.01	PW - UNIFORM SVC (WTR DIST)		
		22.48	PW - UNIFORM SVC (WTR CUST SVC)		
		18.00	PW - UNIFORM SVC (ADMIN)		
		34.83	PW - UNIFORM SVC (FACILITIES)		
		38.53	PW - UNIFORM SVC (LANDSCAPE)		
		28.34	PW - UNIFORM SVC (ROADS)		
		35.68	PW - UNIFORM SVC (WTR PROD)		
		41.01	PW - UNIFORM SVC (WTR DIST)		
		22.48	PW - UNIFORM SVC (WTR CUST SVC)		
		311072		18.00	PW - UNIFORM SVC (ADMIN)
				34.83	PW - UNIFORM SVC (FACILITIES)
28.34	PW - UNIFORM SVC (ROADS)				
35.68	PW - UNIFORM SVC (WTR PROD)				
41.01	PW - UNIFORM SVC (WTR DIST)				
22.48	PW - UNIFORM SVC (WTR CUST SVC)				
153.37	PW - UNIFORM SVC (LANDSCAPE)				
18.00	PW - UNIFORM SVC (ADMIN)				
34.83	PW - UNIFORM SVC (FACILITIES)				
38.53	PW - UNIFORM SVC (LANDSCAPE)				
28.34	PW - UNIFORM SVC (ROADS)				
35.68	PW - UNIFORM SVC (WTR PROD)				
41.01	PW - UNIFORM SVC (WTR DIST)				
22.48	PW - UNIFORM SVC (WTR CUST SVC)				
18.00	PW - UNIFORM SVC (ADMIN)				
34.83	PW - UNIFORM SVC (FACILITIES)				
38.53	PW - UNIFORM SVC (LANDSCAPE)				
28.34	PW - UNIFORM SVC (ROADS)				
35.68	PW - UNIFORM SVC (WTR PROD)				
41.01	PW - UNIFORM SVC (WTR DIST)				
22.48	PW - UNIFORM SVC (WTR CUST SVC)				
18.00	PW - UNIFORM SVC (ADMIN)				
34.83	PW - UNIFORM SVC (FACILITIES)				
38.53	PW - UNIFORM SVC (LANDSCAPE)				
28.34	PW - UNIFORM SVC (ROADS)				
35.68	PW - UNIFORM SVC (WTR PROD)				
41.01	PW - UNIFORM SVC (WTR DIST)				
22.48	PW - UNIFORM SVC (WTR CUST SVC)				
Vendor Tota				1,948.86	

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Check Number	Vendor Name	Amount	Description
310904	CINTAS FIRE PROTECTION	630.83	PW - CLRWTR ELEVATOR INSPECTION (2019)
	Vendor Tota	630.83	
311010	CIT TECHNOLOGY FIN SERV, INC	156.69	PW - COPIER (3/19)
	Vendor Tota	156.69	
13104	CITY OF PARAMOUNT PAYROLL	566.34	NET PAYROLL - SPEC 3/20
13116		232.89	NET PAYROLL - SPEC 3/21
13123		300.91	NET PAYROLL - SPEC 3/27
13126		22.45	NET PAYROLL - SPEC 3/28
13129		2,083.24	NET PAYROLL - SPEC 3/28
13133		12,073.51	NET PAYROLL - SPEC 3/28
13137		204.88	NET PAYROLL - SPEC 3/29
13140		126.68	NET PAYROLL - SPEC 4/2
13143		282,515.90	NET PAYROLL - PPE 03/29
13157		323.47	NET PAYROLL - SPEC 4/12
13161		291,565.79	NET PAYROLL - PPE 04/12
	Vendor Tota	590,016.06	
310971	CITY OF PARAMOUNT WATER DEPT	14,256.62	GEN - PARKS & FACILITIES (1/19-2/19)
		12,050.53	PW - MEDIAN IRRIGATION (1/19 - 2/19)
		1,093.01	GEN - ASSESSMENT DISTRICT (1/19 - 2/19)
		37.08	GEN - CLRWTR BLDG (1/19 - 2/19)
		240.04	GEN - PARAMOUNT PARK (1/19 - 2/19)
		174.04	PW - PARAMOUNT PARK (1/19 - 2/19)
	Vendor Tota	27,851.32	
311239	CLAVEL, JUANA	50.00	FACILITY DEPOSIT REFUND (CLAVEL)
	Vendor Tota	50.00	
311123	COLE HUBER LLP	4,283.47	PS - LEGAL SERVICES (15131 GUNDRY)
	Vendor Tota	4,283.47	
311073	COLORS PRINTING	284.67	CSR - SENIOR NEWSLETTER (4/19)
	Vendor Tota	284.67	
310884	CORELOGIC SOLUTIONS, LLC	170.50	PS - PROPERTY DATA SVCS (3/19)
311173		170.50	PS - PROPERTY DATA SVCS (4/19)
	Vendor Tota	341.00	
311040	COVARRUBIAS, ERIKA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310972	DATA TICKET, INC	123.00	PARKING CITATION REFUND (DATA TICKET)
311227		7,324.03	PS - PARKING CITATION SVCS (3/19)
	Vendor Tota	7,447.03	
311187	DE LAGE LANDEN	203.67	CSR - COM CTR COPIER (4/19)
	Vendor Tota	203.67	
310885	DELGADO, MIGUEL ANGEL	225.00	CSR - SENIOR ENTERTAINMENT (3/28)
311159		225.00	CSR - SENIOR ENTERTAINMENT (4/25)
	Vendor Tota	450.00	
310949	DEPARTMENT OF WATER AND POWER	500.00	PW - RIGHT-OF-WAY USE (4/19 - 3/20)
	Vendor Tota	500.00	
310973	DEPT OF CONSERVATION	873.47	CD - SMI FEE (1/19 - 3/19)
	Vendor Tota	873.47	
311124	DIAMOND ENVIRONMENTAL SERVICES	313.04	PW - SALUD PARK RESTROOM (1/19)
		313.04	PW - SALUD PARK RESTROOM (3/19)
	Vendor Tota	626.08	

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Check Number	Vendor Name	Amount	Description
311188	DIANA'S FLOWERS	120.00	CSR - STAR SUPPLIES
		78.00	CSR - STAR SUPPLIES
		75.00	CSR - STAR SUPPLIES
	Vendor Tota	273.00	
311074	DICK MADSEN ROOFING	20,525.00	CIP - CLEARWATER BLDG REPAIRS
	Vendor Tota	20,525.00	
311075	DIRECTV	77.95	PS - EOC SATELLITE SVCS (4/19)
	Vendor Tota	77.95	
311240	DISCOUNT SCHOOL SUPPLY	2,428.56	CSR - STAR SUPPLIES
		612.25	CSR - STAR SUPPLIES
	Vendor Tota	3,040.81	
311076	DISCOVERY CUBE	1,125.00	CP - SUSTAINABILITY FAIR SUPPLIES
	Vendor Tota	1,125.00	
311011	DIVISION OF THE STATE	2,748.00	SB 1186 BUSINESS ACCESS FEE (1/19-3/19)
		-2,748.00	SB 1186 BUSINESS ACCESS FEE (1/19-3/19)
		274.80	SB 1186 FEE - STATE PORTION (1/19-3/19)
	Vendor Tota	274.80	
311077	DOUG MOCKETT & COMPANY, INC	161.21	GEN - COMPUTER MNTC SUPPLIES
	Vendor Tota	161.21	
13108	EMPLOYMENT DEVELOPMENT DEPT	10,717.44	STATE PAYROLL TAX - PPE 3/15
13131		39.52	STATE PAYROLL TAX - SPEC 3/28
13135		400.00	STATE PAYROLL TAX - SPEC 3/28
13145		10,226.80	STATE PAYROLL TAX - PPE 3/29
13163		10,527.19	STATE PAYROLL TAX - PPE 4/12
	Vendor Tota	31,910.95	
311160	ESCOBEDO, MA IRMA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310974	ESQUER, LOURDES	50.00	FACILITY DEPOSIT REFUND (ESQUER)
	Vendor Tota	50.00	
310990	ESTRADA, BALTAZAR	200.00	CSR - SENIOR ENTERTAINMENT (4/11)
	Vendor Tota	200.00	
311161	ESTRADA, JOSE G.	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310937	FACILITY WERX, INC	1,046.75	PW - HOUSEHOLD SUPPLIES
		605.10	PW - HOUSEHOLD SUPPLIES
311012		155.05	PW - HOUSEHOLD SUPPLIES
311189		214.40	PW - HOUSEHOLD SUPPLIES
	Vendor Tota	2,021.30	
311190	FAIR HOUSING FOUNDATION	1,729.97	FIN - FAIR HOUSING SVCS (2/19)
		1,433.15	FIN - FAIR HOUSING SVCS (3/19)
	Vendor Tota	3,163.12	
310886	FEDEX	82.71	GEN - POSTAGE EXPENSE
311013		78.08	GEN - POSTAGE EXPENSE
		24.46	GEN - POSTAGE EXPENSE
		23.23	GEN - POSTAGE EXPENSE
311141		41.07	GEN - POSTAGE EXPENSE
	Vendor Tota	249.55	
311078	FEDEX OFFICE	53.23	CSR - STAR SUPPLIES
	Vendor Tota	53.23	

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Check Number	Vendor Name	Amount	Description
310905	FERNANDO TOURS INC	550.00	CSR - RECREATION EXCURSION (3/19)
	Vendor Tota	550.00	
311162	FERRELL, RACHEL	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310906	FIELDS, CHRISTOPHER	50.00	FACILITY DEPOSIT REFUND (FIELDS)
	Vendor Tota	50.00	
311079	FILARSKY & WATT LLP	1,395.00	PERS - LEGAL SVCS (3/19)
	Vendor Tota	1,395.00	
311163	FLORES, AMELIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310887	FRANCHISE TAX BOARD	50.00	PAYROLL DECUCTION - PPE 3/15
310991		50.00	PAYROLL DEDUCTION - PPE 3/29
311174		50.00	PAYROLL DEDUCTION - PPE 4/12
	Vendor Tota	150.00	
311041	FRANKLIN, LISA	193.04	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	193.04	
310907	FRONTIER COMMUNICATIONS OF CA	65.87	GEN - PS CIRCUIT LINE (3/19)
311208		56.79	GEN - PS CIRCUIT LINE (4/19)
	Vendor Tota	122.66	
310938	FUSION	200.99	GEN - STATION INTERNET (4/19)
		184.18	GEN - PROGRESS PARK INTERNET (4/19)
		157.87	GEN - PARAMOUNT PARK INTERNET (4/19)
311219		200.99	GEN - STATION INTERNET (5/19)
		184.18	GEN - PROGRESS PARK INTERNET (5/19)
		157.87	GEN - PARAMOUNT PARK INTERNET(5/19)
	Vendor Tota	1,086.08	
311080	GARCIA, DARIO	71.00	PARKING CITATION REFUND (GARCIA)
	Vendor Tota	71.00	
311042	GARCIA, EVA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310888	GARCIA, LILIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311043	GARCIA, VERONICA	159.99	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	159.99	
311142	GAS COMPANY	4,498.12	GEN - FACILITIES NATURAL GAS (3/19)
		8,260.60	PW - WELLS #13 & #14 NATURAL GAS (3/19)
		161.37	GEN - CLRWTR NATURAL GAS (3/19)
	Vendor Tota	12,920.09	
311103	GBS LINENS	156.00	CSR - LAUNDRY SVCS (3/29)
	Vendor Tota	156.00	
311104	GOLDEN STATE WATER COMPANY	518.79	PW - MEDIAN IRRIGATION (3/19)
		833.30	GEN - ALL AMERICAN PARK WATER (3/19)
	Vendor Tota	1,352.09	
311014	GOMEZ, ALLEN	100.00	CD - AIR PURIFIER & HVAC REBATE PROGRAM
	Vendor Tota	100.00	
310939	GOMEZ, CARMEN	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	

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311164	GONZALEZ, ARMANDO	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311044	GONZALEZ, MARIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311105	GOODIE'S UNIFORMS	43.75	PS - UNIFORMS
	Vendor Tota	43.75	
310992	GOPHER	127.48	CSR - STAR SUPPLIES
	Vendor Tota	127.48	
311081	GOVCONNECTION, INC	3,712.50	GEN - WINDOWS 10 UPGRADE LICENSE
		1,904.00	GEN - COMPUTER MNTC SUPPLIES
		1,189.39	GEN - COMPUTER MNTC SUPPLIES
311106		4,228.89	GEN - HARD DISK CARTRIDGES (8)
	Vendor Tota	11,034.78	
311045	GUILLEN, MAGDALENA	100.00	CD - AIR PURIFIER & HVAC REBATE PROGRAM
	Vendor Tota	100.00	
310975	GUZMAN, EDGARDO	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311046	GUZMAN, VERONICA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311015	H & H NURSERY INC.	114.60	PW - LANDSCAPE MNTC SUPPLIES
	Vendor Tota	114.60	
310908	HARRELL & COMPANY ADVISORS	3,900.00	SA - ROPS 19-20 PREPARATION
	Vendor Tota	3,900.00	
13171	HASLER MAILING SYSTEMS	2,500.00	GEN - POSTAGE METER (4/11)
	Vendor Tota	2,500.00	
310940	HEALTHFIRST-NORTH MEDICAL GRP	147.00	PERS - HEALTH SCREENINGS (2/19)
	Vendor Tota	147.00	
311047	HEMEDES, JOSEPH	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311048	HERNANDEZ, ERIK	20.00	CSR - PARAMOUNT CUP MARCH MADNESS
	Vendor Tota	20.00	
311228	HOLLAND, DAVE VICTORINO	200.00	CSR - SENIOR ENTERTAINMENT (5/2)
	Vendor Tota	200.00	
311165	HOME DEPOT CRC/GECF	34.98	PW - FACILITY MNTC SUPPLIES
		397.18	CP - SUSTAINABILITY FAIR SUPPLIES
		791.64	CSR - FACILITY MNTC SUPPLIES
	Vendor Tota	1,223.80	

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Check Number	Vendor Name	Amount	Description
311017	HOME DEPOT/GECP	33.27	PW - FACILITY MNTC SUPPLIES
		45.86	PW - STREET MNTC SUPPLIES
		11.45	PW - FACILITY MNTC SUPPLIES
		67.08	PW - FACILITY MNTC SUPPLIES
		70.89	PW - FACILITY MNTC SUPPLIES
		25.56	PW - GRAFFITI REMOVAL SUPPLIES
		115.87	PW - FACILITY MNTC SUPPLIES
		15.30	PW - FACILITY MNTC SUPPLIES
		36.78	PW - FACILITY MNTC SUPPLIES
		180.86	PW - GRAFFITI REMOVAL SUPPLIES
		28.99	PW - FACILITY MNTC SUPPLIES
		69.36	PW - GRAFFITI REMOVAL SUPPLIES
		55.85	PW - GRAFFITI REMOVAL SUPPLIES
		27.35	PW - FACILITY MNTC SUPPLIES
		40.83	PW - GRAFFITI REMOVAL SUPPLIES
		34.95	PW - STREET MNTC SUPPLIES
		55.61	PW - FACILITY MNTC SUPPLIES
		47.69	PW - FACILITY MNTC SUPPLIES
		52.69	PW - FACILITY MNTC SUPPLIES
		69.93	PW - GRAFFITI REMOVAL SUPPLIES
		27.96	PW - GRAFFITI REMOVAL SUPPLIES
		52.99	PW - FACILITY MNTC SUPPLIES
		50.23	PW - GRAFFITI REMOVAL SUPPLIES
		11.47	PW - FACILITY MNTC SUPPLIES
		26.04	PW - GRAFFITI REMOVAL SUPPLIES
		98.49	PW - FACILITY MNTC SUPPLIES
		10.89	PW - FACILITY MNTC SUPPLIES
		61.82	PW - LANDSCAPE MNTC SUPPLIES
		76.53	PW - FACILITY MNTC SUPPLIES
		84.34	PW - GRAFFITI REMOVAL SUPPLIES
		47.36	PW - GRAFFITI REMOVAL SUPPLIES
		230.58	PW - FACILITY MNTC SUPPLIES
		85.55	PW - FACILITY MNTC SUPPLIES
		762.12	PW - GRAFFITI REMOVAL SUPPLIES
		36.00	PW - STREET MNTC SUPPLIES
		249.39	PW - GRAFFITI REMOVAL SUPPLIES
		18.01	PW - FACILITY MNTC SUPPLIES
		58.85	PW - FACILITY MNTC SUPPLIES
		71.88	PW - GRAFFITI REMOVAL SUPPLIES
		33.56	PW - FACILITY MNTC SUPPLIES
		221.57	PW - FACILITY MNTC SUPPLIES
		54.65	PW - FACILITY MNTC SUPPLIES
		17.64	PW - FACILITY MNTC SUPPLIES
		69.48	PW - GRAFFITI REMOVAL SUPPLIES
		236.98	PW - LANDSCAPE MNTC SUPPLIES
		14.17	PW - FACILITY MNTC SUPPLIES
		15.69	PW - GRAFFITI REMOVAL SUPPLIES
		28.34	PW - LANDSCAPE MNTC SUPPLIES
		90.79	PW - FACILITY MNTC SUPPLIES
		512.03	PW - GRAFFITI REMOVAL SUPPLIES
Vendor Tota		4,441.57	
311082	IBARRA, VELVET	50.00	FACILITY DEPOSIT REFUND (IBARRA)
Vendor Tota		50.00	

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Check Number	Vendor Name	Amount	Description
310941	INK HEAD DESIGN & PRINTS	1,311.81	PS - UNIFORMS
310950		742.41	CP - SUSTAINABILITY EVENT SUPPLIES
310993		177.39	CSR - STAR UNIFORMS
311107		432.53	CSR - STAR SUPPLIES
311143		435.81	CSR - UNIFORMS
		32.85	CP - SUSTAINABILITY FAIR SUPPLIES
311241		306.60	PW - UNIFORMS
	Vendor Tota	3,439.40	
310951	INTERFACE SYSTEMS, LLC	305.25	PS - FIRE MONITORING SVC (4/19 - 6/19)
311108		195.00	PS - FIRE MONITORING SVCS (3/12)
	Vendor Tota	500.25	
13105	INTERNAL REVENUE SERVICE	13.52	FED PAYROLL TAX - SPEC 3/20
		18.48	MEDICARE PAYMENT - SPEC 3/20
13107		31,434.85	FED PAYROLL TAX - PPE 3/15
		10,442.62	MEDICARE PAYMENT - PPE 3/15
13117		7.42	MEDICARE PAYMENT - SPEC 3/21
13124		17.76	FED PAYROLL TAX - SPEC 3/27
		10.16	MEDICARE PAYMENT - SPEC 3/27
13127		.72	MEDICARE PAYMENT - SPEC 3/28
13130		187.05	FED PAYROLL TAX - SPEC 3/28
		78.00	MEDICARE PAYMENT - SPEC 3/28
13134		1,000.00	FED TAX PAYMENT - SPEC 3/28
		706.16	MEDICARE PAYMENT - SPEC 3/28
13138		6.52	MEDICARE PAYMENT - SPEC 3/29
13141		4.04	MEDICARE PAYMENT - SPEC 4/2
13144		30,332.16	FED PAYROLL TAX - PPE 3/29
		9,973.96	MEDICARE PAYMENT - PPE 3/29
13158		20.31	FED PAYROLL TAX - SPEC 4/12
		10.96	MEDICARE PAYMENT - SPEC 4/12
13162		30,961.61	FED PAYROLL TAX - PPE 4/12
		10,324.34	MEDICARE PAYMENT - PPE 4/12
	Vendor Tota	125,550.64	
310994	IQAIR NORTH AMERICA, INC.	2,325.80	PW - HVAC SVCS (SPANE PARK)
		634.48	PW - HVAC SVCS (SPANE 2020)
		634.48	PW - HVAC SVCS (SPANE 2021)
		634.48	PW - HVAC SVCS (SPANE 2022)
		319.76	PW - HVAC SVCS (SPANE 2019)
	Vendor Tota	4,549.00	

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Check Number	Vendor Name	Amount	Description
310889	JANKOVICH COMPANY	1,296.65	PS - FLEET FUEL (2/15 - 2/21)
		1,226.88	PS - FLEET FUEL (3/1 - 3/7)
		135.51	PS - FLEET FUEL (2/22 - 2/28)
		114.69	CSR - FLEET FUEL (3/1 - 3/7)
310909		190.91	PS - FLEET FUEL (3/8 - 3/14)
		69.29	PS - FLEET FUEL (3/8 - 3/14)
310931		1,255.94	PS - FLEET FUEL (3/8 - 3/14)
310952		41.92	CSR - FLEET FUEL (3/8 - 3/14)
310995		1,305.37	PS - FLEET FUEL (3/15 - 3/21)
		189.02	PS - FLEET FUEL (3/15 - 3/21)
		21.91	PS - FLEET FUEL (3/15 - 3/21)
311049		1,376.06	PS - FLEET FUEL (2/22 - 2/28)
		163.06	PS - FLEET FUEL (3/1 - 3/7)
		120.61	PS - FLEET FUEL (3/1 - 3/7)
311109		874.75	PW - FLEET FUEL (3/22 - 3/31)
		857.60	PW - FLEET FUEL (3/1 - 3/7)
		714.39	PW - FLEET FUEL (3/15 - 3/21)
		685.93	PW - FLEET FUEL (3/15 - 3/21)
		612.97	PW - FLEET FUEL (3/8 - 3/14)
		595.17	PW - FLEET FUEL (3/1 - 3/7)
		528.18	PW - FLEET FUEL (3/8 - 3/14)
		496.15	PW - FLEET FUEL (3/22 - 3/31)
		258.70	PW - FLEET FUEL (3/8 - 3/14)
		192.10	PW - FLEET FUEL (3/22 - 3/31)
		191.04	PW - FLEET FUEL (3/22 - 3/31)
		187.31	PW - FLEET FUEL (3/8 - 3/14)
		185.85	PW - FLEET FUEL (3/15 - 3/21)
		155.83	PW - FLEET FUEL (3/8 - 3/14)
		135.42	PW - FLEET FUEL (3/1 - 3/7)
		118.99	PW - FLEET FUEL (3/1 - 3/7)
		111.42	PW - FLEET FUEL (3/1 - 3/7)
		99.39	PW - FLEET FUEL (3/8 - 3/14)
		82.15	PW - FLEET FUEL (3/22 - 3/31)
		77.30	PW - FLEET FUEL (3/15 - 3/21)
		66.28	PW - FLEET FUEL (3/15 - 3/21)
		58.71	PW - FLEET FUEL (3/1 - 3/7)
		49.64	PW - FLEET FUEL (3/8 - 3/14)
		44.89	PW - FLEET FUEL (3/15 - 3/21)
311175		150.88	CSR - FLEET FUEL (4/1 - 4/7)
		97.60	CSR - FLEET FUEL (3/15 - 3/21)
		57.08	CSR - FLEET FUEL (3/22 - 3/31)
311220		1,685.38	PS - FLEET FUEL (4/1 - 4/7)
		1,596.10	PS - FLEET FUEL (3/22 - 3/31)
	Vendor Tota	18,475.02	
311144	JASON GOLSON CONSTRUCTION, INC	20,857.00	CIP - CLRWTR BLDG ELEVATOR LOBBY
	Vendor Tota	20,857.00	
311018	JAUREGUI, MARICELA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310932	JOHN'S WHOLESALE ELECTRIC, INC	1,946.20	PW - FACILITY MNTC SUPPLIES
		1,637.03	PW - FACILITY MNTC SUPPLIES
311019		677.81	PW - FACILITY MNTC SUPPLIES
		380.87	PW - FACILITY MNTC SUPPLIES
311145		1,272.06	PW - FACILITY MNTC SUPPLIES
		645.89	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	6,559.86	

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311083	KEN MATSUI IMAGES PHOTOGRAPHY	425.00	CP - CC MEETING PHOTOS (4/2)
311110		425.00	CP - SUSTAINABILITY FAIR SUPPLIES
311191		325.00	CSR - PEP EVENT SUPPLIES
	Vendor Tota	1,175.00	
311146	KEN'S WELDING	285.00	PW - FACILITY MNTC SVCS
		260.00	PW - FACILITY MNTC SVCS
		240.00	PW - FACILITY MNTC SVCS
311242		90.00	PW - FACILITY MNTC SVCS
	Vendor Tota	875.00	
310910	KILEY COMPANY	2,900.00	CD - APPRAISAL SVCS (6608 SAN LUIS)
	Vendor Tota	2,900.00	
310976	L A COUNTY DEPT OF PUBLIC WORK	7,440.02	PW - STORMWATER INSPECTION (2/19)
		3,203.88	PW - INDUSTRIAL WASTE SVCS (2/19)
311020		337.00	PW - INDUSTRIAL WASTE FEE (WELL #15)
	Vendor Tota	10,980.90	
310977	L A COUNTY DISTRICT ATTORNEY	23,303.65	PS - D.A. LEGAL SVCS (2/19)
311229		21,362.60	PS - D.A. LEGAL SVCS (3/19)
	Vendor Tota	44,666.25	
310911	L A COUNTY SHERIFF	27,809.88	PS - CRIME SUPPRESSION (1/19)
		10,270.19	PS - SUPERVISOR OVERTIME (1/19)
		8,498.56	PS - TRANSIT ENFORCEMENT (GRANT) - 1/19
		5,864.21	PS - TRUANCY SWEEP (JAG18) - 1/19
		3,749.04	PS - PARTY PATROL (SCOPS) - 1/19
		1,899.83	PS - PARK PATROL (1/19)
		215.89	PS - TRAFFIC ENFORCEMENT (1/19)
311125		607.23	PS - PRISONER MNTC (2/19)
311176		1,058.26	PS - HELICOPTER SVCS (2/19)
	Vendor Tota	59,973.09	
311177	L A COUNTY TREASURER	13.00	PW - GIS SYSTEM (BOUNDARY MAP)
	Vendor Tota	13.00	
311084	L A SIGNS & BANNERS	174.11	PW - FACILITY MNTC SUPPLIES
311166		164.25	CSR - MILITARY BANNERS
	Vendor Tota	338.36	
310890	L A TIMES	450.01	GEN - PUBLICATIONS (4/19 - 4/20)
	Vendor Tota	450.01	
311167	LA ESPIGA	350.00	CP - SUSTAINABILITY FAIR SUPPLIES
311178		200.00	CP - SUSTAINABILITY FAIR SUPPLIES
	Vendor Tota	550.00	
311192	LAKEWOOD RENT-ALL	103.00	CSR - FRIDAY NIGHT MARKET SUPPLIES
	Vendor Tota	103.00	
311168	LAM, CLAUDIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310912	LARACUENTE, ANNA MARIA	50.00	FACILITY DEPOSIT REFUND (LARACUENTE)
	Vendor Tota	50.00	
311193	LASCARI'S AND SONS, INC	2,948.01	CSR - PEP EVENT SUPPLIES
	Vendor Tota	2,948.01	

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Check Number	Vendor Name	Amount	Description
310913	LDI COLOR TOOLBOX	38.07	PW - COPIER USAGE (3/19)
		19.38	PW - COPIER OVERAGE (2/19)
311209		38.33	PW - COPIER USAGE (4/19)
		27.09	PW - COPIER OVERAGE (3/19)
	Vendor Tota	122.87	
311126	LIEBERT CASSIDY WHITMORE	43.00	PERS - EMPLOYEE TRAINING
	Vendor Tota	43.00	
311127	LINCOLN NATIONAL LIFE INS CO	571.85	DENTAL INSURANCE (HMO) - 4/19
		8,686.44	DENTAL INSURANCE (PPO) - 4/19
		1,274.80	LIFE INSURANCE (4/19)
		2,966.13	DISABILITY INSURANCE (4/19)
		686.71	VOLUNTARY LIFE INSURANCE (4/19)
311243		8,504.30	DENTAL INSURANCE (PPO) - 5/19
		571.85	DENTAL INSURANCE (HMO) - 5/19
		-154.14	DENTAL INSURANCE (PPO) - 2/19 ADJ
	Vendor Tota	23,107.94	

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Check Number	Vendor Name	Amount	Description
311112	LINDSAY LUMBER CO., INC	323.52	PW - GRAFFITI REMOVAL SUPPLIES
		189.16	PW - FACILITY MNTC SUPPLIES
		161.14	PW - GRAFFITI REMOVAL SUPPLIES
		149.58	PW - GRAFFITI REMOVAL SUPPLIES
		147.61	PW - GRAFFITI REMOVAL SUPPLIES
		147.03	PW - FACILITY MNTC SUPPLIES
		132.91	PW - GRAFFITI REMOVAL SUPPLIES
		121.01	PW - GRAFFITI REMOVAL SUPPLIES
		94.82	PW - GRAFFITI REMOVAL SUPPLIES
		81.19	PW - GRAFFITI REMOVAL SUPPLIES
		72.46	PW - FACILITY MNTC SUPPLIES
		70.67	PW - FACILITY MNTC SUPPLIES
		61.30	PW - FACILITY MNTC SUPPLIES
		53.70	PW - STREET MNTC SUPPLIES
		53.20	PW - FACILITY MNTC SUPPLIES
		51.43	PW - FACILITY MNTC SUPPLIES
		51.38	PW - FACILITY MNTC SUPPLIES
		48.46	PW - FACILITY MNTC SUPPLIES
		45.00	PW - LANDSCAPE MNTC SUPPLIES
		43.99	PW - LANDSCAPE MNTC SUPPLIES
		42.66	PW - FACILITY MNTC SUPPLIES
		41.34	PW - GRAFFITI REMOVAL SUPPLIES
		40.41	PW - GRAFFITI REMOVAL SUPPLIES
		40.23	PW - GRAFFITI REMOVAL SUPPLIES
		36.72	PW - WATER OPER MNTC SUPPLIES
		33.04	PW - FACILITY MNTC SUPPLIES
		32.83	PW - FACILITY MNTC SUPPLIES
		32.37	PW - FACILITY MNTC SUPPLIES
		29.90	PW - GRAFFITI REMOVAL SUPPLIES
		28.44	PW - LANDSCAPE MNTC SUPPLIES
		28.19	PW - GRAFFITI REMOVAL SUPPLIES
		27.55	PW - GRAFFITI REMOVAL SUPPLIES
		27.33	PW - FACILITY MNTC SUPPLIES
		26.86	PW - STREET MNTC SUPPLIES
		24.35	PW - LANDSCAPE MNTC SUPPLIES
		21.88	PW - LANDSCAPE MNTC SUPPLIES
		20.77	PW - LANDSCAPE MNTC SUPPLIES
		17.84	PW - LANDSCAPE MNTC SUPPLIES
		16.95	PW - STREET MNTC SUPPLIES
		16.51	PW - FACILITY MNTC SUPPLIES
		16.40	PW - LANDSCAPE MNTC SUPPLIES
		16.39	CSR - RECREATION SUPPLIES
		15.32	PW - FACILITY MNTC SUPPLIES
		13.12	PW - FACILITY MNTC SUPPLIES
		13.11	PW - FACILITY MNTC SUPPLIES
		12.01	PW - FACILITY MNTC SUPPLIES
		11.82	PW - FACILITY MNTC SUPPLIES
		10.48	PW - FACILITY MNTC SUPPLIES
		7.22	PW - FACILITY MNTC SUPPLIES
		5.31	PW - STREET MNTC SUPPLIES
		5.03	PW - STREET MNTC SUPPLIES
		3.93	PW - LANDSCAPE MNTC SUPPLIES
		1.66	PW - STREET MNTC SUPPLIES
Vendor Tota		2,817.53	
311050	LITTLE HOUSE FURNITURE MFG,	1,375.00	PW - CABINET INSTALLATION (CH)
Vendor Tota		1,375.00	

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Check Number	Vendor Name	Amount	Description
311210	LONG BEACH TRANSIT	21,850.00	CSR - LB TRANSIT SVCS (2/19)
		34,965.00	CSR - LB TRANSIT SVCS (3/19)
	Vendor Tota	56,815.00	
311021	LONG, LYDIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311128	LOPEZ, NEREYDA	50.00	FACILITY DEPOSIT REFUND (LOPEZ)
	Vendor Tota	50.00	
310963	M/D PLUMBING	51,213.00	CIP - PMT PARK GYM RESTROOM REMODEL
	Vendor Tota	51,213.00	
311085	MAGIC JUMP RENTALS, INC	304.20	CP - SUSTAINABILITY FAIR SUPPLIES
	Vendor Tota	304.20	
311179	MAJESTIC TROPHY & AWARDS	1,444.40	CP - TRADITIONAL ARTIST GUILD(ART SHOW)
	Vendor Tota	1,444.40	
310891	MAMEA, NORMAN	110.00	PW - WATER TREATMENT CERTIFICATION (NM)
	Vendor Tota	110.00	
311051	MANZANO, NANCY	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311180	MARAVILLA FOUNDATION	49.02	BUILDING PERMIT REFUND (MARAVILLA)
		49.02	BUILDING PERMIT REFUND (MARAVILLA)
	Vendor Tota	98.04	
310978	MARTINEZ, JENNIFER LOPEZ	100.00	FACILITY DEPOSIT REFUND (MARTINEZ)
		-5.00	FACILITY CANCELLATION FEE (MARTINEZ)
	Vendor Tota	95.00	
311052	MARTINEZ, MANUEL	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311147	MASTERCARD - W F BANK	110.00	FIN - CSMFO MEMBERSHIP (KL)
		-25.56	FIN - OFFICE SUPPLIES (CREDIT)
		-2.43	FIN - OFFICE SUPPLIES (TAX) (CREDIT)
		2.43	MC - FRANKLINCOVEY
		57.76	FIN - MEETING SUPPLIES
		29.35	FIN - OFFICE SUPPLIES
		2.13	FIN - OFFICE SUPPLIES (TAX)
		-2.13	MC - FRANKLINCOVEY
		75.00	FIN - CSMFO CHAPTER MTG (KL,CA,JG)-4/25
	Vendor Tota	246.55	
311148	MASTERCARD - WF BANK	142.00	CD - MEETING SUPPLIES (3/7)
		35.90	PERS - WORKERS COMP BROCHURES
		14.35	GEN - POSTAGE EXPENSE
		1,000.00	CD - RADIUS MAP & NOTIF. (CLR WTR EAST)
		90.00	CD - ICC CERTIFICATION (SB)
	Vendor Tota	1,282.25	

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311230	MASTERCARD W F	93.50	PW - JPIA CONFERENCE EXP
		9.00	PW - JPIA CONFERENCE EXP
		598.63	PW - STREET MNTC SUPPLIES
		36.48	PW - STREET MNTC SUPPLIES (TAX)
		-36.48	MC - NEENAH FOUNDRY COMPANY
		210.00	PW - AWWA MEMBERSHIP (DA, IV)
		210.00	PW - AWWA MEMBERSHIP (MH, HM)
		210.00	PW - AWWA MEMBERSHIP (AB, JM)
		41.19	PW - OFFICE SUPPLIES
		3.04	PW - OFFICE SUPPLIES (TAX)
		-3.04	MC - APWA STORE
		61.80	PW - PW OFFICER'S EXPO EXPENSE
		9.00	PW - PW OFFICER'S EXPO EXPENSE
		195.00	PW - AWWA GROUNDWATER WORKSHOP (NM)
		390.00	PW - AWWA GROUNDWATER WORKSHOP (RL, DA)
		750.00	PW - AWWA WATER USE WORKSHOP (MH, HM)
		320.00	PW - AWWA WELL OPER WORKSHOP (RL, DA)
		320.00	PW - AWWA WELL OPER WORKSHOP (NM, IV)
		585.00	PW - AWWA CORROSION WRKSHP (RL, DA, IV)
		195.00	PW - AWWA CORROSION WRKSHP (NM)
	Vendor Total	4,198.12	

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311194	MASTERCARD WF BANK	58.12	CSR - EASTER EVENT SUPPLIES
		4.75	CSR - EASTER EVENT SUPPLIES (TAX)
		-4.75	MC - HYNEWHOME
		63.89	CSR - MEETING SUPPLIES
		2,337.06	CSR - STAR SUPPLIES
		2,225.12	CSR - STAR SUPPLIES
		-1.27	CSR - STAR SUPPLIES (CREDIT)
		131.32	CSR - STAR SUPPLIES
		131.32	CSR - STAR SUPPLIES
		389.00	GEN - CC MEETING (04/02)
311244		75.00	PS - PEACE OFFICERS ASSOCIATION (AL)
		109.48	PS - MEETING SUPPLIES
		274.15	PS - OFFICE SUPPLIES
		26.05	PS - OFFICE SUPPLIES (TAX)
		-26.05	MC - OFFICE WORLD
		193.83	PS - OFFICE SUPPLIES
		18.42	PS - OFFICE SUPPLIES (TAX)
		-18.42	MC - OFFICE WORLD
		14.22	PS - AMAZON PRIME MEMBERSHIP
		350.00	PS - POALAC SEM. (PA,KA,KD,JF,JT,IM,AJ)
		26.46	PS - BUSINESS CARDS (JF)
		23.82	PS - MEETING SUPPLIES
		135.15	PS - OFFICE SUPPLIES
		10.37	PS - OFFICE SUPPLIES (TAX)
		-10.37	MC - PAPER DIRECT
		199.00	PS - SKILL PATH SEMINAR (RR)
		85.26	PS - EQUIPMENT MNTC SUPPLIES
310914		2.99	CP - GOOGLE SUBSCRIPTION
		87.59	CC - OFFICE SUPPLIES
		6.89	CM - LOCC CITY MANGER'S CONF (JM)
		592.40	CM - LOCC CITY MANGER'S CONF (JM)
		1,165.96	GEN - METAL PRINTS FOR CC
		110.77	GEN - METAL PRINTS FOR CC (TAX)
		-110.77	MC - ADORAMAPIX
		25.99	GEN - OFFICE SUPPLIES
		2.47	GEN - OFFICE SUPPLIES (TAX)
		-2.47	MC - FRESH COLONY
		225.00	AS - CAPIO MEMBERSHIP (CC)
		489.96	CM - MEETING EXPENSE (KC)
		2.99	AS - ICLOUD STORAGE
311245		2.99	CP - GOOGLE SUBSCRIPTION
		450.23	GEN - METAL PRINTS
		55.38	GEN - METAL PRINTS (TAX)
		-55.38	MC - ADORAMAPIX
		22.00	CM - CCCA LEGISLATIVE ACTION DAY (JM)
		14.35	GEN - POSTAGE EXPENSE
		56.30	CM - MEETING EXPENSE (PUSD)
		36.12	CM - OFFICE SUPPLIES
		14.35	GEN - POSTAGE EXPENSE
		200.00	CM - PCC GOLF TOURNAMENT
		-200.00	CM - PCC GOLF TOURNAMENT (CANCELLED)
		2.99	AS - ICLOUD STORAGE
310954		25.13	CSR - STAR SUPPLIES
		63.00	CSR - STAR SUPPLIES
		57.05	GEN - CC MEETING (02/05)
		102.00	GEN - CC MEETING (02/05)
		46.12	CSR - STAR SUPPLIES
		945.00	CSR - STAR SUPPLIES
		79.50	CSR - STAR SUPPLIES
		76.85	CSR - STAR SUPPLIES

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310954	MASTERCARD WF BANK	119.97	CSR - MEETING SUPPLIES
		5.99	CSR - STAR SUPPLIES
		20.00	CSR - STAR SUPPLIES
		175.20	CSR - STAR SUPPLIES
		12.32	CSR - STAR SUPPLIES
		16.97	CSR - STAR SUPPLIES
		975.83	CSR - EQUIPMENT MNTC SUPPLIES
		81.74	CSR - EQUIPMENT MNTC SUPPLIES (TAX)
		-81.74	MC - THE WEBSTAIRANT STORE
		140.20	CSR - STAR SUPPLIES
		58.10	CSR - MEETING SUPPLIES
		22.59	CSR - STAR SUPPLIES
		163.63	CSR - EQUIPMENT MNTC SUPPLIES
		63.97	CSR - STAR SUPPLIES
		6.08	CSR - STAR SUPPLIES (TAX)
		-6.08	MC - YEKBEE
		18.53	CSR - ENP PHOTOS
		23.98	CSR - STAR SUPPLIES
		79.38	CSR - STAR SUPPLIES
		-500.00	CSR - ENP EXCURSION (01/09) (CREDIT)
		14.39	CSR - FACILITY SUPPLIES
		1.37	CSR - FACILITY SUPPLIES (TAX)
		-1.37	MC - OCEAN TECHNOLOGY
		222.75	CSR - MEETING SUPPLIES
		150.88	CSR - FACILITY SUPPLIES
		3.14	CSR - FACILITY SUPPLIES (TAX)
		-3.14	MC - KOKAKO
		2.66	CSR - FACILITY SUPPLIES (TAX)
		-2.66	MC - HQSILK
		8.55	CSR - FACILITY SUPPLIES (TAX)
		-8.55	MC - COMFORTENA
		48.41	GEN - CC MEETING (02/19)
		74.00	CSR - STAR SUPPLIES
		1,092.75	CSR - STAR SUPPLIES
		347.96	CSR - FRIDAY NIGHT MARKET SUPPLIES
		147.69	CSR - STAR SUPPLIES
		157.68	CSR - UNIFORMS
		352.59	CSR - STAR SUPPLIES
		543.77	CSR - ENP SUPPLIES
		20.00	CSR - MEETING SUPPLIES
		40.44	CSR - STAR SUPPLIES
		248.00	CSR - PEP SUPPLIES
		61.36	CSR - STAR SUPPLIES
		145.29	CSR - STAR SUPPLIES
		319.42	CSR - MARIPOSA ARTWORK
		30.35	CSR - MARIPOSA ARTWORK (TAX)
		-30.35	MC - NA365
		40.14	CSR - STAR SUPPLIES
		1,979.26	CSR - FARMER'S MARKET EQUIPMENT
		256.89	CSR - PEP SUPPLIES
		19.10	CSR - MEETING SUPPLIES
		169.29	GEN - CC MEETING (03/05)
		350.55	CP - SUSTAINABILITY FAIR SUPPLIES
		33.31	CP - SUSTAINABILITY FAIR SUPPLIES (TAX)
		-33.31	MC - SHOPMASCOT.COM
		76.50	CSR - STAR SUPPLIES
		58.05	GEN - CC MEETING (03/05)
		37.50	CSR - STAR SUPPLIES
		26.28	CSR - ENP EVENT SUPPLIES
		204.60	CSR - ENP EVENT SUPPLIES

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Check Number	Vendor Name	Amount	Description
310954	MASTERCARD WF BANK	210.93	CSR - ENP EVENT SUPPLIES
		146.96	CSR - EASTER EVENT SUPPLIES
		313.23	CSR - RECREATION SUPPLIES
		33.15	CSR - STAR SUPPLIES
311197		385.95	CSR - PEP SUPPLIES
		32.87	CSR - PEP SUPPLIES (TAX)
		-32.87	MC- CUSTOMUSB
		35.02	CSR - EASTER EVENT SUPPLIES
		136.29	CSR - PEP EVENT SUPPLIES
		353.69	CSR - EASTER EVENT SUPPLIES
		19.50	CSR - STAR SUPPLIES
		64.53	CSR - RECREATION SUPPLIES
		20.00	CSR - RECREATION SUPPLIES
		19.98	CSR - RECREATION SUPPLIES
		139.56	CSR - STAR SUPPLIES
		1,647.50	CSR - STAR SUPPLIES
		156.52	CSR - STAR SUPPLIES (TAX)
		-156.52	MC - TRIPLEDIST
		300.00	CSR - STAR SUPPLIES
		100.03	CSR - MEETING SUPPLIES
		349.95	CSR - PARAMOUNT CUP SUPPLIES
		33.25	CSR - PARAMOUNT CUP SUPPLIES (TAX)
		-33.25	MC - CROWN AWARDS
		63.78	CSR - STAR SUPPLIES
		17.16	CSR - MEETING SUPPLIES
		76.69	CSR - PARAMOUNT CUP SUPPLIES
		125.35	CSR - STAR SUPPLIES
		842.63	CSR - STAR SUPPLIES
		104.19	CSR - ENP EVENT SUPPLIES
		597.86	CSR - STAR SUPPLIES
		310.94	CSR - MEETING SUPPLIES
		176.04	CSR - STAR SUPPLIES
		780.98	CSR - RECREATION SUPPLIES
		71.31	CSR - RECREATION SUPPLIES (TAX)
		-71.31	MC - UNITED STATES FLAGS.COM
		365.74	CP - HERITAGE FESTIVAL
		34.75	CP - HERITAGE FESTIVAL (TAX)
		-34.75	MC - SHOP MASCOT
		12.59	CP - SUSTAINABILITY FAIR SUPPLIES
		.82	CP - SUSTAINABILITY FAIR SUPPLIES(TAX)
		-.82	MC - SUPER BOOKSHELF
		46.91	GEN - CC MEETING (03/19)
		110.69	CP - SUSTAINABILITY FAIR SUPPLIES
		196.82	CP - SUSTAINABILITY FAIR SUPPLIES
		5.51	CP - SUSTAINABILITY FAIR SUPPLIES (TAX)
		-5.51	MC - YIWU YANMENG CULTURAL CREATIVE CO.
		1.90	CP - SUSTAINABILITY FAIR SUPPLIES (TAX)
		-1.90	MC - DRESSEVER
		1.42	CP - SUSTAINABILITY FAIR SUPPLIES (TAX)
		-1.42	MC - RELIVE LIFE
		45.76	CSR - FACILITY SUPPLIES
		611.14	CSR - ENP SUPPLIES
		310.93	CSR - STAR SUPPLIES
		90.59	CP - SUSTAINABILITY FAIR SUPPLIES
		76.61	CSR - STAR SUPPLIES
		151.37	CSR - STAR SUPPLIES
		191.08	CP - SUSTAINABILITY FAIR SUPPLIES
		72.00	CSR - STAR SUPPLIES
		6.84	CSR - STAR SUPPLIES (TAX)
		-6.84	MC - SPIRIT OF THE WOODS

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Check Number	Vendor Name	Amount	Description
311197	MASTERCARD WF BANK	32.03	CSR - STAR SUPPLIES
		281.91	CSR - EQUIPMENT MNTC SVCS
		240.87	CSR - EQUIPMENT MNTC SVCS
		90.30	CP - SUSTAINABILITY FAIR SUPPLIES
		58.73	CSR - RECREATION SUPPLIES
		15.02	CSR - STAR SUPPLIES
		132.45	CSR - EQUIPMENT MNTC SVCS
		60.31	CSR - STAR SUPPLIES
		1.23	CSR - STAR SUPPLIES (TAX)
		-1.23	MC - BAKERS BLING
		1.90	CSR - STAR SUPPLIES (TAX)
		-1.90	MC - WRALWAYSXL
		841.92	CSR - RECREATION SUPPLIES
		68.40	CSR - RECREATION SUPPLIES (TAX)
		-68.40	MC - DISPLAYS2GO
		41.96	CSR - STAR SUPPLIES
		507.50	CSR - STAR SUPPLIES
		59.02	CSR - STAR SUPPLIES
		78.84	CSR - ENP EVENT SUPPLIES
		32.49	CSR - STAR SUPPLIES
		316.16	CSR - STAR SUPPLIES
		250.00	CSR - STAR SUPPLIES
		124.05	CSR - STAR SUPPLIES
		105.46	CSR - STAR SUPPLIES
		124.69	CSR - FACILITY SUPPLIES
		783.65	CSR - STAR SUPPLIES
		154.28	CSR - FACILITY SUPPLIES
		12.46	CSR - FACILITY SUPPLIES (TAX)
		-12.46	MC - DISPLAYS2GO
		535.00	CSR - ENP EXCURSION (08/07)
		156.20	CSR - ENP EVENT SUPPLIES
		100.00	CSR - STAR SUPPLIES
		34.24	CSR - PEP EVENT SUPPLIES
		2.27	CSR - PEP EVENT SUPPLIES (TAX)
		-2.27	MC - CAFFE TRIESTE SUPERB COFFEES
		3.29	CSR - STAR SUPPLIES
		18.72	CSR - PEP EVENT SUPPLIES
		21.39	CSR - ENP PHOTOS
		39.00	GEN - OVER LIMIT FEE
	Vendor Tota	34,910.48	
311221	MATA-CUADROS, ANGELICA	1,000.00	FACILITY DEPOSIT REFUND (MATA-CUADROS)
	Vendor Tota	1,000.00	
311149	MATRIX TRUST TPA 000363	27,442.06	RETIREE HEALTH TRUST (6/19)
		389.84	RETIREE HEALTH TRUST (5/19)
	Vendor Tota	27,831.90	
310915	MAX & SALLY'S PARTY RENTALS	90.00	CSR - ENP EVENT SUPPLIES
311053		90.00	CSR - ENP EVENT SUPPLIES
	Vendor Tota	180.00	
311054	MAY TOOL INC.	21,024.00	PW - PORTABLE AIR COMPRESSOR
	Vendor Tota	21,024.00	
311181	MDG ASSOCIATES, INC	5,060.00	FIN - CDBG HOME PROGRAM ADMIN (3/19)
		720.00	CD - RES ADMIN (13227 DOWNEY) - 3/19
		990.00	CD - RES ADMIN (8842 VANS) - 3/19
		990.00	CD - RES ADMIN (15133 BELLOTA) - 3/19
		262.50	FIN - HOME PROGRAM ADMIN (3/19)
	Vendor Tota	8,022.50	

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Check Number	Vendor Name	Amount	Description
311055	MEDINA, JUAN	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310942	MEJIA, RON	164.24	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	164.24	
310996	MENDOZA, ROBERT	730.80	CSR - JU JITSU CLASS (3/19)
	Vendor Tota	730.80	
311246	MOBAR & CO	800.00	CSR - PEP EVENT SUPPLIES
	Vendor Tota	800.00	
310955	MOBILE RELAY ASSOCIATES	725.00	GEN - WIRELESS SITE RENT (4/19)
	Vendor Tota	725.00	
310964	MOORE, DEOSSHA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311086	MRC SMART TECHNOLOGY SOLUTIONS	1,099.51	GEN - PRINTER TONER
	Vendor Tota	1,099.51	
311087	MURRY, MONIQUE L	109.15	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	109.15	
311198	MYRON CORP.	454.04	PS - COMMUNITY PROMO SUPPLIES
	Vendor Tota	454.04	
310933	NAVARRO, OEN	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
310956	NETWORK INNOVATIONS US, INC	280.50	PS - SATELLITE PHONE SVC (2/19)
	Vendor Tota	280.50	
310957	NIEBLA, IVAN	135.79	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	135.79	
311129	OFFICE SOLUTIONS	63.73	PW - LANDSCAPE MNTC SUPPLIES
		89.65	PW - OFFICE SUPPLIES
		71.95	PW - OFFICE SUPPLIES
	Vendor Tota	225.33	
13153	OPENEDGE	1,624.25	GEN - UB WEB BANK CHARGES (3/19)
	Vendor Tota	1,624.25	
311056	ORTIZ, MARIA	100.00	FACILITY DEPOSIT REFUND (ORTIZ)
		-5.00	FACILITY RENTAL FEE (ORTIZ)
	Vendor Tota	95.00	
311022	PACIFIC OFFICE PRODUCTS	32.74	PERS - OFFICE SUPPLIES
	Vendor Tota	32.74	
311170	PAINT NITE, LLC	1,148.75	PERS - ADMINISTRATIVE TEAM BUILDING
	Vendor Tota	1,148.75	
310892	PARAMOUNT CHAMBER OF COMMERCE	697.00	CP - PULSE BEAT CITY SCAPE (3/19)
310934		10,000.00	CD - ECONOMIC DEVELOPMENT (PMT #4)
	Vendor Tota	10,697.00	
310893	PARAMOUNT EAST CENTER, LP	1,058.64	SA - PARKING LOT MAINTENANCE (CY 2018)
	Vendor Tota	1,058.64	
311130	PARKER, DARREN	200.00	FACILITY DEPOSIT REFUND (PARKER)
	Vendor Tota	200.00	
311088	PARTY UNLIMITED RENTAL	1,999.39	CP - SUSTAINABILITY FAIR SUPPLIES
	Vendor Tota	1,999.39	

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Check Number	Vendor Name	Amount	Description
311247	PEETE'S PARTY SUPPLY & GIFTS	497.84	CSR - PEP EVENT SUPPLIES
	Vendor Tota	497.84	
311169	PENNISI, BELINDA	173.36	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	173.36	
310997	PEREZ, DANALY	553.00	CSR - FOLKLORICO CLASS (3/19)
		147.00	CSR - SALSA CLASS (3/19)
	Vendor Tota	700.00	
310894	PETTY CASH	4,000.00	CSR - STAR SUPPLIES
310916		215.00	CSR - ENP EXCURSION (2/26)
310935		2,500.00	CSR - STAR SUPPLIES
310958		2,500.00	CSR - STAR SUPPLIES
		2,000.00	CSR - STAR SUPPLIES
310979		729.22	PETTY CASH REPLENISHMENT
310980		220.00	PC - PLANNING COMMISSION MEETING
311089		779.42	PETTY CASH REPLENISHMENT
311199		851.74	PETTY CASH REPLENISHMENT
311200		500.00	CSR - PEP EVENT SUPPLIES
	Vendor Tota	14,295.38	
310895	POLYDOT	3,337.50	CP - AROUND TOWN CARDS (3/19)
	Vendor Tota	3,337.50	
311057	PONCIANO, IMELDA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311211	PRESS-TELEGRAM	435.97	GEN - PUBLICATIONS (5/19 - 4/20)
	Vendor Tota	435.97	
311150	PRINTTIO	387.63	CP - SUSTAINABILITY FAIR SUPPLIES
		209.15	CP - SUSTAINABILITY FAIR SUPPLIES
		83.22	CSR - PARAMOUNT CUP SUPPLIES
311212		590.21	CSR - FRIDAY NIGHT MARKET SUPPLIES
311231		192.72	CD - PRINTING/REPRO SVCS
	Vendor Tota	1,462.93	
311023	Q DOXS	546.41	CSR - COPIER USAGE (3/19)
311131		101.84	GEN - COPIER USAGE (11/18)
		16.86	GEN - COPIER OVERAGE (10/18)
311213		101.84	GEN - COPIER USAGE (4/19)
		44.63	GEN - COPIER OVERAGE (3/19)
	Vendor Tota	811.58	
310981	RAINEY, ROYCE	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311024	RAMOS	200.00	PS - HOME SECURITY REBATE PROGRAM
311025		27.27	WTR DEP REF - 7812 ROSE
	Vendor Tota	227.27	
311132	RANGEL, YADIRA	50.00	FACILITY DEPOSIT REFUND (RANGEL)
	Vendor Tota	50.00	
310965	REGALADO, DANIEL	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	

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Check Number	Vendor Name	Amount	Description
13106	RELIANCE TRUST COMPANY	47.76	PT DEF COMP 457 - SPEC 3/20
13113		1,701.14	DEF COMP 457 ROTH - PPE 3/15
13114		15,690.00	FT DEF COMP 457 - PPE 3/15
13115		9,189.57	PT DEF COMP 457 - PPE 3/15
13118		19.18	PT DEF COMP 457 - SPEC 3/21
13125		26.25	PT DEF COMP 457 - SPEC 3/27
13128		1.85	PT DEF COMP 457 - SPEC 3/28
13139		16.88	PT DEF COMP 457 - SPEC 3/29
13142		10.44	PT DEF COMP 457 - SPEC 4/2
13150		1,702.61	DEF COMP 457 ROTH - PPE 3/29
13151		14,478.74	FT DEF COMP 457 - PPE 3/29
13152		8,953.61	PT DEF COMP 457 - PPE 3/29
13159		28.32	PT DEF COMP 457 - SPEC 4/12
13169		16,296.26	FT DEF COMP 457 - PPE 4/12
13170		9,155.60	PT DEF COMP 457 - PPE 4/12
13109		2,623.91	401A LOAN PAYMENT - PPE 3/15
13110		760.07	457 LOAN PAYMENT - PPE 3/15
13111		157.66	401A EXEC LOAN PAYMENT - PPE 3/15
13132		340.85	ICMA 401 LOAN PAYMENT - SPEC 3/28
13136		10,510.58	ICMA 401 LOAN PAYMENT - SPEC 3/28
13146		2,283.06	401A LOAN PAYMENT - PPE 3/29
13147		760.68	457 LOAN PAYMENT - PPE 3/29
13148		157.66	401A EXEC LOAN PAYMENT - PPE 3/29
13164		2,282.90	401A LOAN PAYMENT - PPE 4/12
13165		1,097.86	FT 457 LOAN PAYMENT - PPE 4/12
13166		157.66	401A EXEC LOAN PAYMENT - PPE 4/12
13168		1,698.69	DEF COMP 457 ROTH - PPE 4/12
13112		665.54	FT 401 QUAL COMP - PPE 3/15
13149		665.54	FT 401 QUAL COMP - PPE 3/29
13167		665.54	FT 401 QUAL COMP - PPE 4/12
	Vendor Tota	102,146.41	
311151	RESPOND SYSTEMS	442.87	PS - FIRST AID SUPPLIES
		286.38	CSR - RECREATION SUPPLIES
	Vendor Tota	729.25	
310896	RETTICH, DAVID	300.00	CP - HERITAGE FESTIVAL
	Vendor Tota	300.00	
310982	RIVERA, SONIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311090	RODGER'S CATERING	1,914.88	GEN - CC MEETING (4/2)
	Vendor Tota	1,914.88	
311091	RODRIGUEZ, DANIEL	48.00	PARKING CITATION REFUND (RODRIGUEZ)
	Vendor Tota	48.00	
311222	RODRIGUEZ, EDY	50.00	FACILITY DEPOSIT REFUND (RODRIGUEZ)
	Vendor Tota	50.00	
311093	RON'S MAINTENANCE	5,290.00	PW - CATCH BASIN MNTC (3/19)
	Vendor Tota	5,290.00	
311214	RONALD REAGAN LIBRARY & MUSEUM	494.00	CSR - ENP EXCURSION (4/24)
	Vendor Tota	494.00	
311092	RONALD ROBERSON	400.00	GEN - VIDEOTAPING SVCS (SOTC)
		300.00	GEN - VIDEOTAPING SVCS (SENIORS)
	Vendor Tota	700.00	
311058	ROSS, PAULA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	

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Check Number	Vendor Name	Amount	Description
311201	RWB PARTY PROPS, INC.	3,842.90	CSR - PEP EVENT SUPPLIES
	Vendor Tota	3,842.90	
311026	S & S WORLDWIDE	2,378.87	CSR - STAR SUPPLIES
		306.22	CSR - PARAMOUNT CUP SUPPLIES
311113		2,466.38	CSR - STAR SUPPLIES
		2,306.45	CSR - STAR SUPPLIES
		2,119.09	CSR - STAR SUPPLIES
		2,028.54	CSR - STAR SUPPLIES
		67.93	CSR - STAR SUPPLIES
311248		2,466.38	CSR - STAR SUPPLIES
		657.70	CSR - STAR SUPPLIES
		169.31	CSR - STAR SUPPLIES
	Vendor Tota	14,966.87	
311114	SAGE SOFTWARE, INC	2,135.00	GEN - FIXED ASSET SUPPORT (5/19- 4/20)
	Vendor Tota	2,135.00	
311223	SAIS, SANDRA	50.00	FACILITY DEPOSIT REFUND (SAIS)
	Vendor Tota	50.00	
311027	SANDOVAL, ROSA	164.24	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	164.24	
311133	SANTA MONICA TRUST	150.00	IMPOUND FEE REFUND (SANTA MONICA TRUST)
	Vendor Tota	150.00	
311094	SARAVIA, BARRY	250.00	CP - SUSTAINABILITY FAIR SUPPLIES
	Vendor Tota	250.00	
311115	SECTRAN SECURITY INC	491.12	GEN - ARMORED CAR SVC (4/19)
	Vendor Tota	491.12	
311095	SHAW HR CONSULTING, INC	230.00	PERS - EE ACCOMMODATION SVCS (AH)
	Vendor Tota	230.00	
311028	SHI INTERNATIONAL CORP	138.50	CSR - STAR SUPPLIES
	Vendor Tota	138.50	
310897	SMART & FINAL IRIS CO	25.10	PW - GWMA MEETING (3/14)
310917		53.95	CSR - STAR SUPPLIES
		18.57	CSR - RECREATION SUPPLIES
310998		119.46	CSR - MEETING SUPPLIES
		49.16	CSR - STAR SUPPLIES
		9.84	CSR - PEP SUPPLIES
311029		204.57	CSR - RECREATION SUPPLIES
311096		50.04	PS - NW MEETING SUPPLIES (4/2)
311116		419.86	CSR - PEP EVENT SUPPLIES
		310.59	CSR - PEP SUPPLIES
		196.15	CSR - PEP EVENT SUPPLIES
311117		82.46	PS - HOA SEMINAR
311202		447.54	CSR - STAR SUPPLIES
		208.17	CSR - FACILITY SUPPLIES
		187.26	CSR - FACILITY SUPPLIES
		152.44	CSR - STAR SUPPLIES
		125.95	CSR - STAR SUPPLIES
		105.71	CSR - FACILITY SUPPLIES
		40.25	CSR - ENP EVENT SUPPLIES
		28.25	CSR - STAR SUPPLIES
	Vendor Tota	2,835.32	
311215	SOURCE GRAPHICS	170.82	GEN - BUSINESS CARDS (DM,TH,DH)
	Vendor Tota	170.82	

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Check Number	Vendor Name	Amount	Description
311134	SOUTHERN CALIFORNIA EDISON CO.	23,823.40	GEN - FACILITIES & PARKS (2/19)
		956.47	GEN - CLRWTR BLDG (2/19)
		6,347.14	PW - STREET LIGHTS & MEDIANS (2/19)
		15,356.70	PW - WATER PRODUCTION WELLS (2/19)
		770.46	GEN - PARAMOUNT PARK (2/19)
	Vendor Tota	47,254.17	
310918	STAPLES - DEPT 51-7862079851	288.39	CSR - STAR SUPPLIES
		221.39	CSR - STAR SUPPLIES
		170.01	CSR - STAR SUPPLIES
311232		48.16	CSR - PEP SUPPLIES
		21.95	CSR - RECREATION SUPPLIES
		30.75	CSR - RECREATION SUPPLIES
		93.25	CSR - STAR SUPPLIES
		24.96	CSR - STAR SUPPLIES
		6.89	CSR - STAR SUPPLIES
		84.69	CSR - STAR SUPPLIES
		10.27	CSR - STAR SUPPLIES
		23.96	CSR - STAR SUPPLIES
		140.05	CSR - STAR SUPPLIES
		41.58	CSR - STAR SUPPLIES
		2,030.04	CSR - STAR SUPPLIES
		2,324.86	CSR - STAR SUPPLIES
		2,228.38	CSR - STAR SUPPLIES
		32.51	CSR - PEP SUPPLIES
		16.20	CSR - PEP SUPPLIES
		1,545.87	CSR - STAR SUPPLIES
		2,062.95	CSR - STAR SUPPLIES
		1,948.83	CSR - STAR SUPPLIES
	Vendor Tota	13,395.94	
310899	STATE DISBURSEMENT UNIT	224.76	PAYROLL DEDUCTION - PPE 3/15
311000		210.87	PAYROLL DEDUCTION - PPE 3/29
311183		175.73	PAYROLL DEDUCTION - PPE 4/12
310898		250.00	PAYROLL DEDUCTION - PPE 3/15
310999		250.00	PAYROLL DEDUCTION - PPE 3/29
311182		250.00	PAYROLL DEDUCTION - PPE 4/12
	Vendor Tota	1,361.36	
311135	STATION DIRECT	394.20	PS - UNIFORMS
	Vendor Tota	394.20	
311001	SUGAR FROM THE HEART	231.00	CSR - STAR SUPPLIES
	Vendor Tota	231.00	
310919	SUPERIOR COURT OF CALIFORNIA	14,757.25	PS - PARKING VIOLATIONS (2/19)
311184		15,729.97	PS - PARKING VIOLATIONS (3/19)
	Vendor Tota	30,487.22	
311059	SUPERIOR SERVICE, CORP	210.00	PW - FACILITY MNTC SVCS
	Vendor Tota	210.00	
310920	TAYLOR'S LOCK & KEY SVCS	309.61	CSR - STAR SUPPLIES
311097		316.56	PW - FACILITY MNTC SUPPLIES
		104.39	PW - FACILITY MNTC SUPPLIES
		65.59	PW - STREET MNTC SUPPLIES
		26.85	PW - FACILITY MNTC SUPPLIES
		24.63	PW - FACILITY MNTC SUPPLIES
	Vendor Tota	847.63	

**CITY OF PARAMOUNT
FINAL CHECK REGISTER
April 30, 2019
Pre-issue Checks**

Check Number	Vendor Name	Amount	Description
311118	TEST AMERICA LABORATORIES, INC	826.50	PW - WATER CHEMICAL TESTING
		576.50	PW - WATER CHEMICAL TESTING
		250.00	PW - WATER CHEMICAL TESTING
		110.00	PW - WATER CHEMICAL TESTING
	Vendor Tota	1,763.00	
310966	THE CAVANAUGH LAW GROUP, APLC	19,246.50	CA - CITY ATTORNEY SVCS (3/19)
		6,272.10	PS - CITY PROSECUTOR (3/19)
	Vendor Tota	25,518.60	
310921	THE SAUCE CREATIVE SERVICES	317.56	CSR - EASTER SUPPLIES (BANNER)
311136		1,681.25	CSR - STAR UNIFORMS
		1,627.72	CSR - STAR UNIFORMS
311152		599.69	CP - HERITAGE FESTIVAL
311216		1,728.78	CP - HERITAGE FESTIVAL
	Vendor Tota	5,955.00	
311203	THE TEAHOUSE COMPANY	1,200.00	CSR - PEP EVENT SUPPLIES
	Vendor Tota	1,200.00	
310922	TIME WARNER CABLE	323.94	GEN - CITY HALL INTERNET (3/19)
311030		353.02	GEN - CITY HALL PEG CHANNEL (3/19)
311031		144.98	GEN - CITY YARD INTERNET (3/19)
311204		113.90	GEN - CITY YARD CABLE (4/19)
311217		349.39	GEN - PEG CHANNEL END (4/19)
		339.85	GEN - PEG CHANNEL START (4/19)
		323.94	GEN - CITY HALL INTERNET (4/19)
		99.34	GEN - CITY HALL CABLE (4/19)
	Vendor Tota	2,048.36	
311205	TRIEPEI SMITH & ASSOCIATES	1,150.22	PW - ENVIRONMENTAL SVCS (3/19)
	Vendor Tota	1,150.22	
311098	TUCHALSKI, MELISSA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311137	TUIA, SISIFO	50.00	FACILITY DEPOSIT REFUND (TUIA)
	Vendor Tota	50.00	
310900	U S POSTAL SVC/ U S POSTMASTER	2,612.07	CP - AROUND TOWN POSTAGE (3/19)
310923		3,000.00	FIN - BULK MAIL PERMIT
	Vendor Tota	5,612.07	
310967	UMALIN, MARIA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311002	UNITED STATES TREASURY	636.00	PAYROLL DEDUCTION - PPE 3/29
	Vendor Tota	636.00	
310944	UNIVAR USA	1,197.22	PW - WATER OPER MNTC SUPPLIES
		861.96	PW - WATER OPER MNTC SUPPLIES
		687.86	PW - WATER OPER MNTC SUPPLIES
		586.00	PW - WATER OPER MNTC SUPPLIES
311099		769.37	PW - WATER OPER MNTC SUPPLIES
		594.14	PW - WATER OPER MNTC SUPPLIES
		500.43	PW - WATER OPER MNTC SUPPLIES
	Vendor Tota	5,196.98	
310959	US BANK VOYAGER FLEET	168.95	PW - CNG FUEL (3/19)
	Vendor Tota	168.95	
310983	VALLESTEROS, SOCORRO	50.00	FACILITY DEPOSIT REFUND (VALLESTEROS)
	Vendor Tota	50.00	

**CITY OF PARAMOUNT
FINAL CHECK REGISTER
April 30, 2019
Pre-issue Checks**

Check Number	Vendor Name	Amount	Description
310924	VALVERDE CONSTRUCTION	1,792.61	PW - SINKHOLE REPAIR (8347 JEFFERSON)
310945		7,861.76	PW - EMERGENCY HYDRANT (6719 SOMERSET)
		5,427.07	PW - EMERGENCY LEAK (8433 ALONDRA)
	Vendor Tota	15,081.44	
311060	VARELA, JULIO C.	200.00	PS - HOME SECURITY REBATE PROGRAM
311061		100.00	CD - AIR PURIFIER & HVAC REBATE PROGRAM
	Vendor Tota	300.00	
311062	VARGAS, ALDO	149.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	149.00	
311249	VARGAS, CRISTINA	50.00	FACILITY DEPOSIT REFUND (VARGAS)
	Vendor Tota	50.00	
310946	VEGA, JOSE	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Tota	200.00	
311032	VERIZON WIRELESS - LA	123.63	AS - CELLULAR SERVICE (3/19)
		25.17	CD - CELLULAR SERVICE (3/19)
		106.80	CM - CELLULAR SERVICE (3/19)
		53.40	FIN - CELLULAR SERVICE (3/19)
		206.40	PS - CELLULAR SERVICE (3/19)
		461.94	PS - CELLULAR SERVICE (3/19)
		485.48	PW - CELLULAR SERVICE (3/19)
		25.51	AS - SOCIAL MEDIA CELLULAR SVC (3/19)
		13.98	GEN - EOC CELLULAR & P/R DEVICE (3/19)
		38.01	PW - USB AIRCARD WELL #13 & #14 (3/19)
		206.99	PW - CELLULAR EQUIPMENT (PL)
		316.49	PW - CELLULAR EQUIPMENT (RL)
	Vendor Tota	2,063.80	
310925	VETERAN FARMS	7,500.00	CSR - STAR GARDEN CLEAN-UP
	Vendor Tota	7,500.00	
310926	VISION SERVICE PLAN	1,939.05	VISION INSURANCE (4/19)
	Vendor Tota	1,939.05	
310984	VIZANT TECHNOLOGIES	840.00	FIN - CREDIT CARD RFP ANALYSIS (3/19)
	Vendor Tota	840.00	

**CITY OF PARAMOUNT
FINAL CHECK REGISTER
April 30, 2019
Pre-issue Checks**

Check Number	Vendor Name	Amount	Description
310927	WALMART COMMUNITY	378.70	CSR - STAR SUPPLIES
		141.36	CSR - STAR SUPPLIES
		61.00	CSR - STAR SUPPLIES
		83.16	CSR - STAR SUPPLIES
		23.76	CSR - STAR SUPPLIES
		65.40	CSR - STAR SUPPLIES
		47.64	CSR - STAR SUPPLIES
		75.96	CSR - STAR SUPPLIES
		46.33	CSR - STAR SUPPLIES
		267.65	CSR - STAR SUPPLIES
		40.43	CSR - STAR SUPPLIES
		125.65	CSR - STAR SUPPLIES
		298.06	CSR - STAR SUPPLIES
		17.32	CSR - STAR SUPPLIES
		92.29	CSR - STAR SUPPLIES
		342.70	CSR - STAR SUPPLIES
311119		376.68	CSR - STAR SUPPLIES
		13.11	CSR - PRESCHOOL SUPPLIES
		67.57	CSR - ENP EVENT SUPPLIES
		353.81	CSR - STAR SUPPLIES
		331.46	CSR - STAR SUPPLIES
		90.70	CSR - STAR SUPPLIES
		42.14	CSR - STAR SUPPLIES
		368.31	CSR - STAR SUPPLIES
		130.25	CSR - STAR SUPPLIES
		137.26	CSR - STAR SUPPLIES
		494.21	CSR - STAR SUPPLIES
		41.63	CSR - STAR SUPPLIES
		122.99	CSR - STAR SUPPLIES
		125.22	CSR - STAR SUPPLIES
		602.74	CSR - STAR SUPPLIES
		67.85	CSR - STAR SUPPLIES
	Vendor Tota	5,473.34	
310928	WALTERS MUSIC AGENCY	120.00	CSR - SUMMER CONCERT (8/15)
	Vendor Tota	120.00	
310968	WATER REPLENISHMENT DISTRICT	135,738.99	PW - GROUNDWATER PRODUCTION (1/19)
311250		117,853.35	PW - GROUNDWATER PRODUCTION (2/19)
	Vendor Tota	253,592.34	
13160	WELLS FARGO BANK	376.28	GEN - CITY BANK ANALYSIS (3/19)
	Vendor Tota	376.28	
311063	WELLS FARGO FINANCIAL LEASING	214.62	FIN - COPIER (4/19)
	Vendor Tota	214.62	
311224	WILLDAN ASSOCIATES, INC	2,955.00	FIN - COST ALLOCATION PLAN (3/19)
		750.00	FIN - FEE STUDY (3/19)
	Vendor Tota	3,705.00	
311138	WINNER INTERNATIONAL, INC	545.35	PS - COMMUNITY PROMO SUPPLIES
		40.34	PS - COMMUNITY PROMO SUPPLIES (TAX)
		-40.34	WINNER INTERNATIONAL
	Vendor Tota	545.35	
311233	WOODS, YVONNE	110.00	CE CITATION REFUND (WOODS)
	Vendor Tota	110.00	

**CITY OF PARAMOUNT
FINAL CHECK REGISTER
April 30, 2019
Pre-issue Checks**

Check Number	Vendor Name	Amount	Description
310929	XEROX FINANCIAL SERVICES, LLC	394.89	GEN - CITY HALL COPIER/PRINTER (3/19)
		172.85	GEN - CITY HALL COLOR PRINTER (3/19)
		181.79	CD - COPIER (3/19)
		361.08	CSR- COPIER (3/19)
	Vendor Total	1,110.61	
311033	ZAINO TENNIS COURTS, INC.	3,743.60	CIP - ALL AMERICAN BASKETBALL COURTS
	Vendor Total	3,743.60	
310985	ZAMORA, DISNARDA	200.00	PS - HOME SECURITY REBATE PROGRAM
	Vendor Total	200.00	
311218	ZOLL MEDICAL CORPORATION	9,687.87	CSR - AED EQUIPMENT (5)
	Vendor Total	9,687.87	
311139	ZUNABY, JULIO R	200.00	CSR - SENIOR ENTERTAINMENT (5/16)
	Vendor Total	200.00	
A total of 437 checks were issued for		\$2,549,057.36	

MAY 7, 2019

REPORT

TREASURER'S REPORT FOR THE QUARTER ENDING MARCH 31, 2019

MOTION IN ORDER:

RECEIVE AND FILE THE TREASURER'S REPORT.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Karina Liu, Finance Director
Clyde Alexander, Assistant Finance Director
Date: May 7, 2019

Subject: TREASURER'S REPORT FOR THE QUARTER ENDING MARCH 31, 2019

Background

The City's Finance Department is responsible for managing the cash and investment portfolio for the City, Successor Agency for the Paramount Redevelopment Agency, and Paramount Housing Authority. All funds are invested according to Section 53601 of the California Government Code and the City's Investment Policy, which is annually revised and approved by the City Council.

Cash Management Objectives

The City's investment objectives are to preserve the safety of funds and to maintain an adequate level of liquidity to meet anticipated expenditure demands. Investments are made in short term instruments where they earn competitive yields while maintaining safety and liquidity as primary objectives. As of March 31, 2019, total cash and investments equaled \$35,060,507. Of this amount, \$33,426,998 has same day liquidity. This comfortably ensures that sufficient funds are available to meet the City's expenditure requirements for at least the next six months. As of March 31, 2019, the investments held by the City had a market value of \$24,307,212.

Compliance

All investment transactions have been executed in conformance and compliance with the City's adopted annual investment policy and California Government Codes. This report satisfies the reporting requirements of both the Government Code and the City's Investment Policy.

RECOMMENDED ACTION

It is recommended that the City Council receive and file the Treasurer's Report.

City of Paramount
TREASURER'S REPORT
Cash and Investments
March 1 to March 31, 2019
Page 1

SCHEDULE I: SUMMARY OF CASH AND INVESTMENTS

ACCOUNTS	CASH March 31, 2019 (SCH II)	INVESTMENTS (1) March 31, 2019 (SCH III)	TOTAL March 31, 2019
General Operation Account	\$ 3,512,284	24,302,390	27,814,674
Successor Agency Account	4,761,846	4,822	4,766,668
Paramount Housing Authority Account	825,832	-	825,832
Payroll Account	19,824	-	19,824
Cash and Investments Held By City	\$ 9,119,786	24,307,212	33,426,998
Cash and Investments Held By Fiscal Agent	-	1,633,509	1,633,509
Total Cash and Investment Outstanding	\$ 9,119,786	25,940,721	35,060,507

SCHEDULE II: SUMMARY OF CHECKING ACCOUNTS ACTIVITY

ACCOUNTS	BALANCE March 1, 2019	RECEIPTS	DISBURSEMENTS	BALANCE March 31, 2019
General Operation Account (2)	\$ 3,147,644	3,070,864	2,706,224	3,512,284
Successor Agency Account (3)	4,761,846	-	-	4,761,846
Paramount Housing Authority Account (4)	825,832	-	-	825,832
Payroll Account	21,921	590,334	592,431	19,824
Total All Accounts	\$ 8,757,243	3,661,198	3,298,655	9,119,786

NOTES:

(1) Investments are shown at their value at maturity.

(2) Receipts include \$0 from matured investments. Disbursements include \$0 for newly purchased investments.

(3) Receipts include \$0 from matured investments. Disbursements include \$0 for newly purchased investments.

(4) Receipts include \$0 from matured investments. Disbursements include \$0 for newly purchased investments.

Based upon existing cash reserves and projected cash receipts and disbursements, there are sufficient funds to meet the City of Paramount's estimated future expenditure requirements for a period of six months. Additionally, all investments are made in accordance with the Statement of Investment and Reporting Policy for Fiscal Year 2019 as approved by the Paramount City Council in June 2018.

City of Paramount
TREASURER'S REPORT
Investments
March 1 to March 31, 2019
Page 2

SCHEDULE III: INVESTMENT SCHEDULE

SECURITY BY ACCOUNT/INSTITUTION	PURCHASE DATE	MATURITY DATE	INTEREST RATE (3)	INVESTMENT AT COST	INVESTMENT AT MATURITY	INVESTMENT AT MARKET VALUE (4)
I. Cash and Investments Held By City (1)						
<u>General Operating Account</u>						
Local Agency Investment Fund						
State of California	Open	Open	2.436%	\$ 24,302,390	24,302,390	24,302,390
<u>Successor Agency - RDA</u>						
Local Agency Investment Fund						
State of California	Open	Open	2.436%	4,822	4,822	4,822
<i>Weighted Average Number of Days Invested Equals 1 Day</i>						
Total Cash and Investments Held By City				\$ 24,307,212	24,307,212	24,307,212
<u>II. Cash and Investments Held By Fiscal Agent (2)</u>						
<u>2010/2015 Bond Issues:</u>						
Fidelity Treasury Money Market	Open	Maturity	Varies (5)	1,633,508	1,633,509	1,633,509
Total 2010/2015 Bond Issue				1,633,508	1,633,509	1,633,509
<i>Weighted Average Number of Days Invested Equals 1 Day</i>						
Total Cash and Investments Held By Fiscal Agent				\$ 1,633,508	1,633,509	1,633,509
Total Outstanding Cash and Investments				\$ 25,940,720	25,940,721	25,940,721

NOTES:

- (1) The City maintains separate cash and investment pools for the general operations of the City, the Paramount Housing Authority and the Successor Agency for the Paramount Redevelopment Agency.
- (2) Represents cash held by The Bank of New York Mellon, as trustee for the Paramount Redevelopment Agency's outstanding bond issues. Funds relate to the Reserve and Interest Accounts.
- (3) Represents annualized investment yield rate rounded to 3 decimal places.
- (4) The market value of investments are obtained from The Bank of New York Mellon Account Statements and State of California LAIF statements.
- (5) The current investment yield rate for the Fidelity Treasury Money Market is 0.00%.

MAY 7, 2019

PARADE PERMIT APPLICATION FOR HYNES D.E.S. INC. – JUNE 23,
2019

MOTION IN ORDER:

APPROVE OR DENY THE PARADE PERMIT APPLICATION WITH THE
UNDERSTANDING THAT HYNES D.E.S. INC. REIMBURSES THE CITY FOR
APPROXIMATELY \$3,500 FOR THE COST TO PROVIDE TRAFFIC
CONTROL.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council

From: John Moreno, City Manager

By: Adriana Lopez, Public Safety Director
Mario Ponce Jr., Community Service Officer
Supervisor

Date: May 7, 2019

Subject: PARADE PERMIT APPLICATION FOR HYNES D.E.S. INC. — JUNE 23, 2019

BACKGROUND

Hynes D.E.S. Incorporated has submitted a parade permit application for its Divine Spirit of the Saint Parade, which is scheduled for Sunday, June 23, 2019. This is an annual event, which has taken place every June since 1923. Approximately 300-400 people are expected to participate this year. Included in the parade will be three small bands and a car.

For many years, the parade route departed from the Hynes D.E.S. Hall located at 7812 Alondra Boulevard at 9:30 a.m. and headed eastward from Vermont Avenue along Alondra Boulevard and then northbound on Paramount Boulevard until it reached Our Lady of the Rosary Church. After attending mass, the participants returned to the Hynes D.E.S. Hall by retracing the above route. In order to ensure the safety of the parade participants, Public Safety along with the Los Angeles County Sheriff's Department (LASD) provided approximately twelve Community Service Officers and two motorcycle deputies to work the event. Hynes D.E.S. Inc. reimbursed the City of Paramount \$1,500 to cover partial cost of the resources the City provided. The City advised Hynes D.E.S. Inc. that the actual cost to provide traffic control exceeded the cost of the \$1,500 reimbursement amount. As a means to reduce personnel cost in 2016, Hynes D.E.S. used an alternate route which kept them away from Paramount Boulevard for most of the parade and reduced the amount of staff needed to provide traffic control from the Hynes D.E.S. Hall to Our Lady of the Rosary Church and back. In 2018, Hynes D.E.S. agreed to reimburse the City of Paramount for the actual personnel cost associated for the event and they were notified that in 2019 they would need to reimburse the City for the cost to provide traffic control.

This year the group will once again depart from Hynes D.E.S. Hall located at 7812 Alondra Boulevard at 9:15 a.m. and head northbound on Colorado Avenue from Alondra Boulevard. The parade will turn onto eastbound Somerset Boulevard and then onto northbound Paramount Boulevard and continue along that course, until it reaches Our Lady of the Rosary Church, at 14815 Paramount Boulevard. At approximately 12:30 p.m., after attending mass, the participants will return to the Hynes D.E.S. Hall by retracing the above route. Please refer to the parade map (Attachment A) and a copy of the parade application (Attachment B).

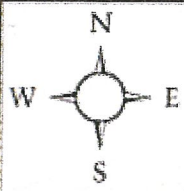
Mrs. Vevette Marie Cota of Hynes D.E.S. Inc. has been notified that this year's reimbursement amount will be approximately \$3,500. Mrs. Cota agreed to reimburse the City this amount.

At the April 23, 2019 meeting, the Public Safety Commission recommended that the City Council approve the parade permit application with the understanding that Hynes D.E.S. Inc. will reimburse the City for the cost to provide traffic control.

RECOMMENDED ACTION

It is recommended that the City Council approve or deny the parade permit application with the understanding that Hynes D.E.S. Inc. reimburses the City for approximately \$3,500 for the cost to provide traffic control.

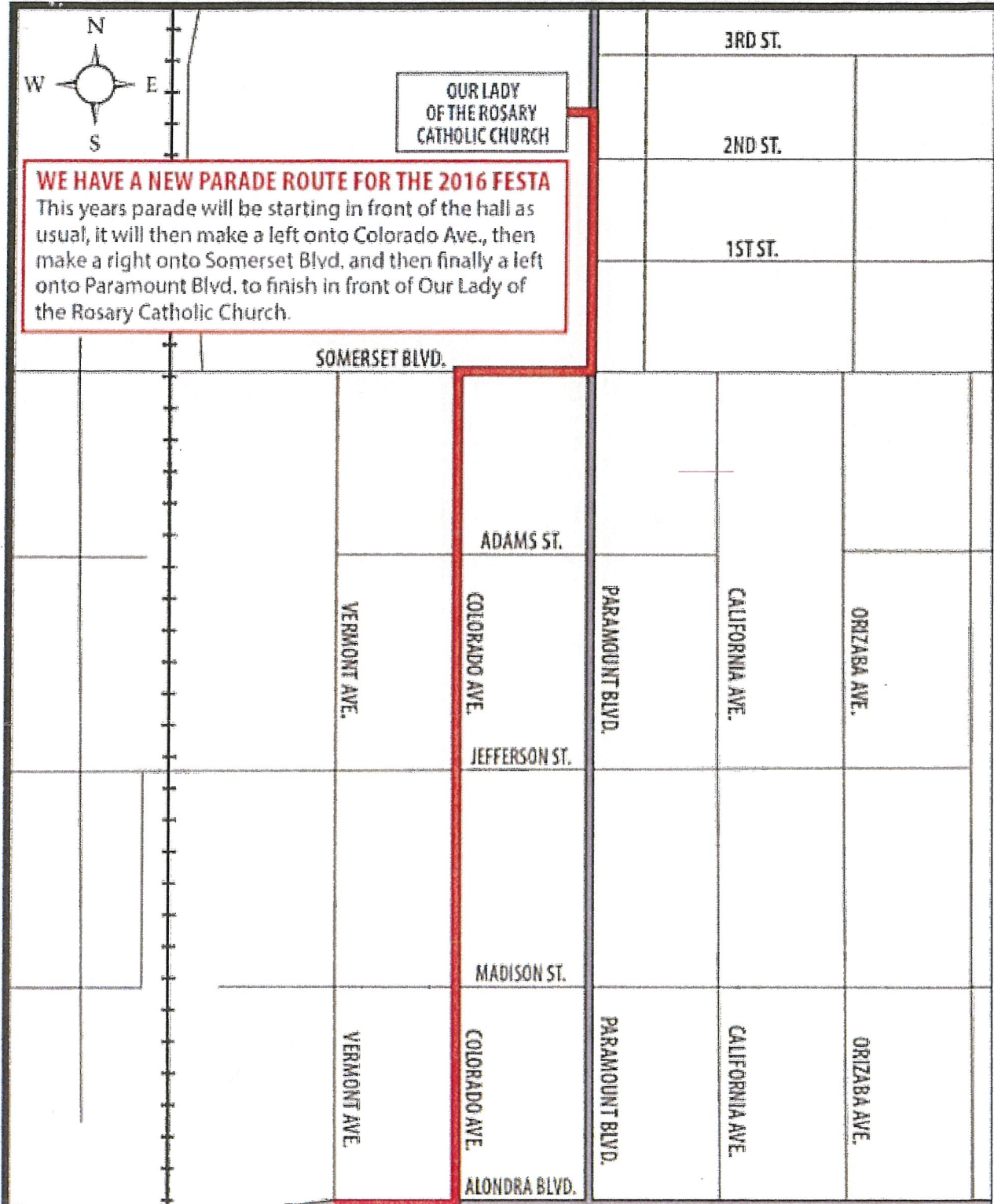
ATTACHMENT A



OUR LADY
OF THE ROSARY
CATHOLIC CHURCH

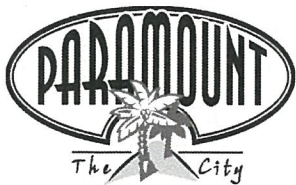
WE HAVE A NEW PARADE ROUTE FOR THE 2016 FESTA

This years parade will be starting in front of the hall as usual, it will then make a left onto Colorado Ave., then make a right onto Somerset Blvd. and then finally a left onto Paramount Blvd. to finish in front of Our Lady of the Rosary Catholic Church.



HYWES HALL

ATTACHMENT B



City of Paramount
Public Safety Department
15001 Paramount Boulevard
Paramount, CA 90723-5050
(562) 220-2002
www.paramountcity.com

Parade Application

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

First Name:	<u>Vevette</u>	Last Name:	<u>Cota</u>	Middle Name:	<u>marie</u>
Home Address:	<u>8312 EL Pescador Ln. La Palma, CA 90623</u>				
Home Phone Number:	<u>(714) 995-3326</u>	Cell Phone Number:	<u>(714) 408-5116</u>		
E-Mail Address:	<u>VevetteCota@gmail.com</u>				
Driver's License or California State Identification Number:	<u>N7872694</u>				
Organization Name:	<u>Hynes DES.</u>				
Organization Address:	<u>7812 Alondra Blvd Paramount, CA</u>				
Office Phone Number:	<u>(562) 634-6376</u>	Website:	<u>www.hynesdes.org</u>		
E-Mail Address:	<u>N/A</u>				
Date of Parade:	<u>June 23, 2019</u>	Hours of Parade:	<u>9:15am to 1:15pm</u>		
Assembly Location:	<u>7812 Alondra Blvd Paramount, CA</u>				
Starting Location:	<u>7812 Alondra Blvd Paramount, CA</u>				
Ending Location:	<u>Return to Same address</u>				
Number of Animals:	<u>6</u>	Description of Animals:			
Number of Parade Participants:	<u>400</u>	Number of Vehicles:	<u>1</u>	Description of Vehicles:	<u>See below</u>
<u>Vehicle Description:</u> <u>unknown @ this time.</u>					
License Plate:	Make:	Year:	Color:	Type:	
<u>Vehicle Description:</u>					
License Plate:	Make:	Year:	Color:	Type:	
<u>Vehicle Description:</u>					
License Plate:	Make:	Year:	Color:	Type:	
<u>Vehicle Description:</u>					
License Plate:	Make:	Year:	Color:	Type:	



City of Paramount
Public Safety Department
15001 Paramount Boulevard
Paramount, CA 90723-5050
(562) 220-2002
www.paramountcity.com

Parade Application

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Type of Equipment Used (Musical Instruments, Flags, Banners, etc.):

Number: 3 Equipment Type: Bands

Number: Unknown @ This Time Equipment Type: Queens & Baners

Number: 2 Equipment Type: Flags American & Portuguese

Number: _____ Equipment Type: _____

Number: _____ Equipment Type: _____

Time intervals to be maintained between units? ☐ Yes ☐ No

If so, please outline the time intervals: _____

Area of Street(s) to be used (One lane, two lanes, etc.):

Middle of Street on Vermont Ave one lane on
Alondra Ave. middle of Street on Colorado Ave. +
Somerset Blvd one lane on Paramount Blvd. and Same
On Return Route.

Parade Route Description:

Vermont Ave to Alondra Blvd to
East to Colorado Ave Left to Somerset
Right to Paramount Blvd Left on Paramount Blvd.
to Church Our Lady of the Rosary 14815 Paramount
Blvd.

Please attach a map of the parade route: Attached

Department Use Only

Received By: Marc M Date: 4/18/19

Processed By: _____ Date: _____

Approved By: _____ Date: _____

MAY 7, 2019

CONSECUTIVE THREE-MONTH REVIEW OF CITY COUNCIL PERMIT FOR
LIVE ENTERTAINMENT AT DELUCIA BAR, 14123 GARFIELD AVENUE

MOTION IN ORDER:

RECEIVE AND FILE THE REPORT WITH THE STIPULATION FOR A SIX-
MONTH REVIEW.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council

From: John Moreno, City Manager

By: Adriana Lopez, Public Safety Director
Margarita Matson, Assistant Public Safety Director

Date: May 7, 2019

Subject: CONSECUTIVE THREE-MONTH REVIEW OF CITY COUNCIL PERMIT FOR LIVE ENTERTAINMENT AT DELUCIA BAR, 14123 GARFIELD AVENUE

BACKGROUND

This item is a consecutive three-month review of a Live Entertainment Permit at DeLucia Bar located at 14123 Garfield Avenue, in the M-2 (Heavy Manufacturing) zone. The subject bar is licensed by the California Department of Alcoholic Beverage Control (ABC) for "Type-42" sales, which allows for the sale of beer and wine for on-site consumption with no building access to minors. Business hours are Sundays to Wednesdays from 11:00 a.m. to 1:00 a.m. and Thursdays to Sundays from 11:00 a.m. to 2:00 a.m.

At its October 2, 2018 meeting, the City Council approved a City Council Permit for live entertainment in the following formats:

- Musicians (trios, flamenco, rumba flamenco, bossa nova, pop music, Afro Cuban, charanga music, Latin jazz) and DJ (Top 40) from 8:00 p.m. to 12:00 a.m. on Fridays.
- Musicians (Spanish rock, '80s tribute bands, Top 40) and DJ (Top 40) from 8:00 p.m. to 1:00 a.m. on Saturdays.
- Mariachi from 12:00 p.m. to 4:00 p.m. on Sundays.

The City Council adopted Resolution No. 18:027 approving live entertainment at DeLucia Bar and reviewed the status of compliance three months after the approved live entertainment performances commenced. That review went before the City Council on January 22, 2019 and the report was received and filed with a stipulation for a subsequent three-month review (Exhibit A).

Since the initial review, Public Safety staff has worked with operations manager Joseph Hernandez in an effort to gain compliance on some of the concerns that were presented to the City Council on January 22, 2019. One of the violations noted was condition #4, requiring a monthly calendar of proposed live entertainment being submitted electronically (via email) to the Public Safety Department for review and approval, no later than one week before the next month. During the past three months, the calendars were emailed to Public Safety as follows:

- February 2019 submitted via email on January 25, 2019
- March 2019 submitted via email on February 21, 2019
- April 2019 submitted via email on April 3, 2019 (late)

Public Safety staff received the calendar for February and March on time and the calendar for the month of April was received late. Mr. Hernandez contacted Public Safety staff to apologize for the delay in submission. Mr. Hernandez believed that he had submitted the calendar in March. Public Safety staff recommended that a reminder be programmed on DeLucia Bar's calendar for the operations manager to ensure that the calendar of live entertainment is submitted on time.

During the previous review in January, staff noted that the live entertainment calendars submitted by DeLucia did not reflect the same music format which was approved by the City Council on October 2, 2018. This was a violation of condition #4. Mr. Hernandez has been more cognizant of this and has provided calendars that reflect the approved music format during approved time frames. The deputy providing the extra patrol checks has confirmed that the business has adhered to their live entertainment calendar.

LAW ENFORCEMENT ACTIVITY

During the three-month review, a total of 22 routine patrol checks were conducted throughout the weekend from January 15 through April 19, 2019. None of these calls were generated by dispatch as calls for service or were related to disturbances, noise concerns, or public nuisance related. Per the deputy conducting the patrol checks, the business establishment is in compliance. Occasionally, the deputy may issue a parking citation pursuant to disabled parking for the parking spaces directly in front of the business establishment, but no other violations have been observed or reported.

SECURITY AND PARKING PLAN

Condition #22 states that the business owners shall maintain the existing security camera system in good working condition. DeLucia Bar has an approved security surveillance system that was reviewed by Public Safety staff. Additionally, condition #23 requires for the business to have a minimum of two (2) professional security guards on site during the hours of live entertainment. Typically, one security guard shall be stationed at the building entrance and the second security guard shall routinely patrol parking areas, intervene as needed indoors, and regularly scan the security camera monitors. Based on the deputy's assessment, the business has been inconsistent with this condition. There have been nights in which the requirements were met, and other nights where the business will only have one security guard and a valet parking attendant, or no valet attendant but will have security, or no valet attendant or security present. For public safety reasons, staff reminded the business to provide a minimum of two security guards and a valet parking attendant during the hours of live entertainment as depicted on the calendar--no exceptions.

DeLucia Bar has had to adhere to a parking plan under condition #38, which consists of valet parking and the use of off-site parking at 14537 Garfield Avenue. Per the agreement, DeLucia Bar shall maintain a minimum of 20 off-site parking spaces at 14537 Garfield Avenue, secured with written permission from the property owner to utilize parking. The business shall provide valet service to park customer vehicles at 14537 Garfield Avenue free of charge. Based on the continuous patrol checks, valet parking service has been observed when a live band is scheduled. At times, the deputy has noted that there is no valet present, but there is also a low amount of patrons at the business establishment. Staff reminded the business that valet parking is required during live entertainment hours.

CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL (ABC)

On April 19, 2019, Public Safety staff checked the California Department of Alcoholic Beverage Control (ABC) License Query System and verified that DeLucia Bar has a valid and active "Type-42" license. The license query also reflected that the disciplinary action against the business (Reg. Number: 18087457) pursuant to the California Business and Professions Code 25607(A); Alcoholic Beverage Not Permitted by License, that was noted during the last review is now closed. The license reflects a Petition for Offer in Compromise ("POIC") in lieu of the service of a suspension of 10 days.

ANALYSIS

From January 15 through April 19, 2019, no law enforcement responses occurred at DeLucia Bar. During the consecutive three-month review, Mr. Hernandez has adhered to the conditions of approval identified in the Live Entertainment Permit. However, Public Safety has had to remind the business that security and valet parking be present during the days and hours that correspond to live entertainment, regardless of the volume in attendance. Based on the live entertainment calendars submitted, the business is not always booking live entertainment; therefore, no security or valet is required. However, on any of the days in which live entertainment is scheduled to take place, a minimum of two professional security guards and valet parking must be provided. As Mr. Hernandez seems to be mostly in compliance with the conditions of his Live Entertainment Permit, staff is recommending the next review requirement move from a three-month cycle to a six-month cycle.

RECOMMENDED ACTION

It is recommended that the City Council receive and file the report with the stipulation for a six-month review.

EXHIBIT A



To: Honorable City Council

From: John Moreno, City Manager

By: Adriana Lopez, Public Safety Director
Maggie Matson, Assistant Public Safety Director

Date: January 22, 2019

Subject: THREE-MONTH REVIEW OF CITY COUNCIL PERMIT FOR LIVE ENTERTAINMENT OF DELUCIA BAR, 14123 GARFIELD AVENUE

BACKGROUND

This item is a three-month review of a Live Entertainment Permit for the DeLucia Bar located at 14123 Garfield Avenue, in the M-2 (Heavy Manufacturing) zone. The subject bar is licensed by the California Department of Alcoholic Beverage Control (ABC) for "Type-42" sales, which allows for the sale of beer and wine for on site consumption with no building access to minors. Business hours are Sundays to Wednesdays from 11:00 a.m. to 1:00 a.m. and Thursdays to Sundays from 11:00 a.m. to 2:00 a.m.

At its October 2, 2018 meeting, the City Council approved a City Council Permit for live entertainment in the following formats (Attachment A):

- Musicians (trios, flamenco, rumba flamenco, bossa nova, pop music, Afro Cuban, charanga music, Latin jazz) and DJ (Top 40) from 8:00 p.m. to 12:00 a.m. on Fridays.
- Musicians (Spanish rock, '80s tribute bands, Top 40) and DJ (Top 40) from 8:00 p.m. to 1:00 a.m. on Saturdays.
- Mariachi from 12:00 p.m. to 4:00 p.m. on Sundays.

The City Council adopted Resolution No. 18:027 approving live entertainment at De Lucia Bar and reviewed the status of compliance three (3) months after the approved live entertainment performances commenced. During the three-month review, staff determined that the applicants, property owner Jose Hernandez and operations manager Joseph Hernandez are desirous of complying with the live entertainment conditions set for this establishment but have encountered some challenges with adhering to all the conditions.

During the three-month review, the live entertainment calendars for November 2018, December 2018, and January 2019 were submitted past the due date. This is a direct violation of condition #4 of the Live Entertainment Permit. Condition #4 states that a monthly calendar of the proposed live entertainment shall be submitted electronically (via e-mail) to the Public Safety Department for review and approval at no later than one week before the next month. Public Safety has had to consistently remind Joseph

Hernandez to send the monthly calendar of the proposed live entertainment events on a timely manner.

On November 2, 2018, Public Safety staff contacted Joseph Hernandez to inform him that the calendar of events for the month of November was not in accordance with the approved format. The live entertainment calendar did not reflect the same music format which was approved by the City Council on October 2, 2018, which was a violation of condition #4.

On Sunday, December 2, 2018, a Deputy conducting extra patrol noted that a live band was performing at 12:09 a.m. Per the approved format, Mariachi is authorized to perform from 12:00 p.m. to 4:00 p.m. on Sundays. Any live entertainment occurring outside of the approved entertainment format is a violation of condition #4 and condition #5 which states that no change or alteration to the approved entertainment format shall be effective without prior approval, in writing, from the City Council at a public meeting.

On Monday, December 31, the owner of DeLucia Bar hosted an unauthorized event in celebration of the New Year (Attachment B). The unauthorized event advertised an entry fee of \$15, which included champagne and party favors. This is a direct violation of condition #33 of the Live Entertainment Permit which states that any special events for the premises shall be reviewed in accordance with Special Event Permit regulations by the Community Development Department. Public Safety staff became aware of the event while conducting routine checks via social media of all the businesses that have a Live Entertainment Permit on file with the City of Paramount. As December 31 is a very busy night for large gatherings throughout the city, Public Safety staff conducts checks of any events in the city with the potential of unruly behavior. To ensure the safety of the public, staff requested Los Angeles County Sheriff's Department (LASD) personnel to conduct patrol checks at the business. LASD personnel conducted a patrol check at approximately 9:18 p.m. and observed about 15 to 18 patrons inside. Ambient music was playing in the background, which was not audible beyond the interior area. There were 3 vehicles in the front parking lot and 5 vehicles in the rear parking lot. No live band was present. DeLucia Bar had a parking lot attendant handling valet parking.

LAW ENFORCEMENT ACTIVITY

At the October 2, 2018 meeting, City Council directed staff to conduct a three-month review of the DeLucia Bar Live Entertainment Permit. DeLucia Bar began their Live Entertainment Permit on Saturday, October 6, 2018. No law enforcement responses have occurred from October 6, 2018 through January 14, 2019 other than routine patrol checks conducted throughout the weekend. The patrol checks are summarized as follows:

DATE	TAG	INCIDENT TYPE	RESULT
Saturday 10/06/18 10:30 p.m.	342	Extra Patrol	Patrol check conducted; 15 to 20 patrons. Entertainment setting up. Valet parking service on site. Per applicant security will be present.

DATE	TAG	INCIDENT TYPE	RESULT
Friday 10/12/18 10:01 p.m.	509	Extra Patrol	Patrol check conducted; 30 plus patrons. No issues observed.
Sunday 11/11/18 12:41 p.m.	OBS	Extra Patrol	Code Enforcement staff conducted extra patrol. No observation of live entertainment. No valet parking service.
Sunday 11/11/18 1:41 a.m.	30	Extra Patrol	Patrol check conducted. No issues observed.
Wednesday 11/21/18 10:15 p.m.	425	Extra Patrol	Patrol check conducted. No issues observed.
Saturday 12/01/18 12:57 a.m.	11	Extra Patrol	Patrol check conducted; 6 patrons on site. No issues observed. Per owner, low patron turnout.
Sunday 12/02/18 12:09 a.m.	8	Extra Patrol	Patrol check conducted; 35 to 40 patrons. Live band and valet parking staff by LA Auto Parking. Live entertainment conducted outside of authorized format.
Monday 12/03/18 11:05 p.m.	448	Extra Patrol	Patrol check conducted. No issues observed.
Friday 12/07/18 10:41 p.m.	470	Extra Patrol	Patrol check conducted; 50 plus patrons. No on-site valet parking observed.
Friday 12/07/18 11:30 p.m.	492	Extra Patrol	Patrol check conducted. No issues observed.
Saturday 12/08/18 7:35 p.m.	357	Extra Patrol	Patrol check conducted; 20 to 25 patrons. DJ setting up entertainment. Additional patrons arriving. No issues.
Sunday 12/09/18 12:48 a.m.	19	Extra Patrol	Patrol check conducted; 20 plus patrons. On-site valet parking observed. No issues observed.

DATE	TAG	INCIDENT TYPE	RESULT
Saturday 12/15/18 1:12 a.m.	19	Extra Patrol	Patrol check conducted; 50 plus patrons. No issues observed.
Saturday 12/15/18 5:46 p.m.	260	Extra Patrol	Patrol check conducted. No patrons.
Sunday 12/16/18 12:38 a.m.	13	Extra Patrol	Patrol check conducted; 25 to 30 patrons. No issues observed.
Monday 12/31/18 9:23 p.m.	314	Extra Patrol	Patrol check conducted. No issues inside or to the exterior. Music playing, no live band.
Friday 01/04/19 10:33 p.m.	449	Extra Patrol	Patrol check conducted. Location closed and scheduled to re-open on Monday, 01/07/19.
Friday 01/11/19 11:57 p.m.	563	Extra Patrol	Patrol check conducted; 27 patrons and live band observed. No issues observed.

CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL (ABC)

On January 2, 2019, Public Safety staff discovered that there was a pending disciplinary action against the business by the California Department of Alcoholic Beverage Control (ABC) and that the type-42 license had expired on December 31, 2018 (Attachment C). After contacting ABC, it was determined that on January 7, 2019 a payment along with a fifty-percent late penalty fee had been received. Having an expired ABC license is a violation of condition #3 of the Live Entertainment Permit, which states that at all times the applicants shall comply with all the requirements and conditions of approval by the California Department of Alcoholic Beverage Control, and condition #19 which states that all required permits and licenses from all applicable regulating agencies shall be valid and effective at all times.

Furthermore, the ABC License Query System indicates that a disciplinary action (Registration Number: 18087457) was posted against the establishment. It should be noted that ABC issued a citation to Joseph Hernandez on June 20, 2018 pursuant to having distilled spirits on site. A hearing has been scheduled to take place on January 23, 2019. ABC is seeking a 10-day suspension and/or a fine. A judge will have thirty days to render a decision which may lead to a suspension, fine, or dismissal of the citation.

SECURITY

On Tuesday, September 4, 2018, the station sergeant and Assistant Public Safety Director reviewed the security system at DeLucia Bar. Joseph Hernandez was present during the review of the security system; no issues were detected.

DeLucia Bar has had to adhere to a parking plan which consists of valet parking and the use of off-site parking at 14537 Garfield Avenue. Per the agreement, DeLucia Bar is permitted to park up to 75 vehicles at this location on Fridays and Saturdays from 7:00 p.m. to 2:00 a.m., and Sundays from 12:00 p.m. to 4:00 p.m., coinciding with the hours when live entertainment is scheduled. Based on the patrol checks, valet parking service has been observed when a live band is scheduled.

ANALYSIS

From October 6, 2018 through January 14, 2019, no law enforcement responses occurred at DeLucia Bar; however, the applicants, Jose Hernandez and Joseph Hernandez, have directly or indirectly violated some of the conditions. During the three-month review, it has been necessary for Public Safety staff to remind Joseph Hernandez to adhere to the conditions of approval identified in the Live Entertainment Permit. These condition violations include failure to submit a monthly calendar of entertainment on time; hosting a New Year's Eve event without the required special event permit; and allowing their ABC license to expire.

RECOMMENDED ACTION

It is recommended that the City Council receive and file the report with the stipulation for a subsequent three-month review.

ATTACHMENT A



To: Honorable City Council
From: John Moreno, City Manager
By: Kevin M. Chun, Assistant City Manager
John Carver, Assistant Community
Development Director
Date: October 2, 2018

Subject: RESOLUTION NO. 18:027

Background

This application is a request for a City Council Permit to allow live entertainment at DeLucia, a bar located at 14123 Garfield Avenue in the M-2 (Heavy Manufacturing) zone. This is an agenda item continued from last month. The 20,000 square foot site is developed with a 5,567 square foot building divided into three suites – the 4,430 square foot suite occupied by DeLucia, one suite leased by a plumbing company, and a vacant suite. Eight parking stalls, including two stalls compliant with the Americans with Disabilities Act (ADA), are at the front of the property, and 19 parking stalls are to the rear of the building for a total of 27 parking stalls. The City Council reviewed the live entertainment request at the City Council meeting on June 5, 2018 and passed a motion to continue the item pending submittal of security and parking management plans. The applicants submitted a security plan that was satisfactory to Public Safety, but were unable to secure an off-site parking agreement with a property owner to provide 20 additional spaces. This information was presented to the City Council at its September 4, 2018 meeting, and at that time, the City Council took the application off calendar due to the lack of a satisfactory parking plan. Subsequent to the September 4, 2018 City Council meeting, the applicants submitted an acceptable parking plan, which will be discussed below. Copies of the agenda reports from the June 5, 2018 and September 4, 2018 meetings are attached.

DeLucia Information

The applicants of the City Council Permit are Jose Hernandez and Joseph Hernandez. Jose Hernandez is president/chief financial officer of the business corporation and also one of the property owners. Joseph Hernandez is the operations manager of DeLucia and the primary representative of the business.

Request

The applicants are requesting a City Council Permit to allow live entertainment on the following days, hours, and formats from an existing platform inside the lounge:

Fridays	8:00 p.m. to 12:00 a.m.	Musicians (trios, flamenco, rumba flamenca, bossa nova, pop music, Afro Cuban, charanga music, Latin jazz) and DJ (Top 40)
Saturdays	8:00 p.m. to 1:00 a.m.	Musicians (Spanish rock, '80s tribute bands, Top 40) and DJ (Top 40)
Sundays	12:00 p.m. to 4:00 p.m.	Mariachi

Section 11-5 (n) of the Paramount Municipal Code states that a City Council Permit is required for live entertainment. Following the permit review process, the City Council may grant or deny a request for a City Council Permit based on the impact that the proposed use will have on the public peace, health, safety, or welfare. The City Council may also impose conditions upon a City Council Permit or require a follow-up review schedule to ensure compliance and that the use is not in conflict with surrounding land uses.

Parking

As mentioned above, the applicants submitted an acceptable parking plan that was reviewed by Public Safety and Community Development. The parking that was secured by the applicants is located at 14537 Garfield Avenue. This agreement is signed by the property owner and permits parking on Fridays and Saturdays from 7:00 p.m. to 2:00 a.m., and Sundays from 12:00 p.m. to 4:00 p.m., coinciding with the hours when live entertainment is proposed (see the attached letter). The applicants will have access to 75 parking spaces at this location. Public Safety and Community Development staff met with the applicants on September 20, 2018, to discuss the parking plan. Given the distance from the off-site parking to the DeLucia Bar, approximately one quarter mile, the applicants have agreed to offer a free valet service to park customer vehicles at 14537 Garfield Avenue. Given that the applicants will be offering valet service, we believe that the direction of the City Council has been met in regards to a parking plan. As part of the condition related to parking (condition 40), there is a requirement that if the parking agreement at 14537 Garfield Avenue is terminated, the applicants must secure a written parking agreement with a new property owner before any live entertainment can proceed.

RECOMMENDED ACTION

It is recommended that the City Council read by title only and adopt Resolution No. 18:027 approving live entertainment at the DeLucia Bar at 14123 Garfield Avenue, subject to the following conditions:

1. This City Council Permit for Live Entertainment shall not be effective for any purposes until the business owners/applicants have first filed with the office of the Community Development Department a sworn affidavit both acknowledging and accepting all conditions of approval to this City Council Permit. The affidavit shall be submitted by October 19, 2018. Failure to provide the City of Paramount with the requisite affidavit within the time stated hereinabove shall render the City Council Permit void.

2. The City Council shall review the status of compliance by the business owners or through their agents thereof with the approved conditions of approval of this City Council Permit at the first City Council meeting three (3) months after approved live entertainment performances commence on the premises.
3. At all times while this City Council Permit is effective, the applicants shall comply with all requirements and conditions of approval by the California State Department of Alcoholic Beverage Control (ABC).
4. At all times while this City Council Permit is effective, the City Council expressly limits live entertainment on the premises inside the bar/lounge to only musicians within the following categories of music:

Music Category	Day	Time
Musicians (trios, flamenco, rumba flamenca, bossa nova, pop music, Afro Cuban, charanga music, Latin jazz) and DJ (Top 40)	Fridays	8:00 p.m. to 12:00 a.m.
Musicians (Spanish rock, '80s tribute bands, Top 40) and DJ (Top 40)	Saturdays	8:00 p.m. to 1:00 a.m.
Mariachi	Sundays	12:00 p.m. to 4:00 p.m.

Live entertainment shall occur only within the designated performance area ("Approved Entertainment Format"). A monthly calendar of the proposed live entertainment shall be submitted electronically to the Public Safety Department for review and approval at no later than one week before the next month.

5. No change or alteration to the Approved Entertainment Format shall be effective without prior approval, in writing, from the City Council at a public meeting. All live entertainment shall be directly contracted through the business owners/applicants. Entertainment and other events produced by independent promoters or other individuals are expressly prohibited.
6. Should the Public Safety Director determine that a number of incidents are occurring at the bar/lounge arising from activity in connection with this City Council Permit and which are negatively impacting the public peace, health, safety, or general welfare, the City Council shall have the legal authority to conduct a public hearing to review the City Council Permit, and the City Council may suspend, revoke, or otherwise modify conditions of approval of this Permit in order to protect the public peace, health, safety, and general welfare.
7. The maximum number of occupants shall be established by the Fire Marshall according to each specific entertainment use and floor plan. A maximum occupancy placard shall be posted in a conspicuous location on the premises. This occupancy limitation shall not be violated.

8. It shall be unlawful for the business owners or the persons designated to be responsible for the operation of the business to sell, furnish, give, or causes to be sold, furnished, or given away any alcoholic beverage to any habitual or common drunkard or to any obviously intoxicated person pursuant to Business and Professions Code Section 25602(a) and as amended.
9. The person or persons designated to be responsible for the operation of the business are prohibited from performing any official police or investigative activities but shall immediately report every violation of law and every unusual occurrence to the Los Angeles County Sheriff's Department.
10. Approved Entertainment Format shall not be audible beyond the area under control of the applicants or persons designated to be responsible for the operation of the business. No amplified sound equipment shall be installed on the exterior of the building.
11. During the hours of entertainment, the owners, the managers or designated responsible persons 21 years of age or older shall be on the premises and shall be responsible for the operations during the hours of entertainment. These persons shall possess on his or her persons a valid driver license or identification card issued by the California Department of Motor Vehicles (DMV). These persons shall also be able to communicate effectively with regulatory officials and have the ability to immediately contact the owner. These persons will immediately introduce himself or herself to any regulatory officials.
12. The owners, managers, and persons designated to be responsible for the operation of the business shall cooperate fully with all City of Paramount officials and law enforcement personnel, and shall not obstruct or impede their entrance onto the premises while in the course of their official duties.
13. It shall be unlawful for the owners, managers, and persons designated to be responsible for the operation of the business who are engaged in the sale of alcoholic beverages, other than in the original package, to employ upon the premises where the alcoholic beverages are sold to any person for the purpose of procuring or encouraging the purchase or sale of such beverages, or to pay any person a percentage or commission on the sale of such beverages for procuring or encouraging such purchase or sale pursuant to California Penal Code Section 303 and as amended. The entire premises is subject to the inspection by the Sheriff's Department and/or the City of Paramount at any time. Any locked or otherwise secured rooms shall be opened upon demand.
14. The approved floor plan shall not be changed without prior approval by the Community Development Department and the Sheriff's Department.

15. A copy of all licenses, permits, conditions of approval of this City Council Permit and conditions of approval of the California State Department of Alcoholic Beverage Control (ABC) or any applicable agency shall be posted and maintained in a place conspicuous and readable by all employees and customers of the location.
16. All employees shall possess, while on the premises, a valid driver license or identification card issued by the California Department of Motor Vehicles (DMV). Employees shall present such identification upon demand by any regulatory official.
17. Smoking, including tobacco and marijuana, shall not be permitted within the premises in accordance with State of California regulations.
18. All doors shall be kept closed during the hours of operation except for ingress and egress.
19. All required permits and licenses from all applicable regulating agencies shall be valid and effective at all times.
20. The business owners, managers, persons designated to be responsible at all times for the operation of the business, and property owners shall be responsible for maintaining free of litter the premises over which they have control.
21. A single jukebox may only be maintained upon the premises; however, the music shall not be audible outside the premises.
22. The business owners shall maintain the existing security camera system or more technologically advanced versions of the approved system, including security cameras and network video recorder (NVR), in good working condition in perpetuity. The equipment shall be utilized at all times. In the event of an incident and upon request, the business owners shall allow unimpeded access and inspection of the security camera system as well as the retrieval of data to law enforcement and/or City representatives. Damaged or missing cameras and/or camera recording system shall be promptly repaired or replaced. The Public Safety Department shall review and approve any future changes to security camera equipment, locations, and orientations.
23. A security management plan shall be reviewed and approved to the satisfaction of the Public Safety Department and shall contain the following information for applicants compliance. A minimum of two (2) security guards in possession of valid security guard registration from the Bureau of Security and Investigative Service shall be onsite at all times during the hours of live entertainment until the business is closed and all patrons have left the premises. Security guards shall be plainly identifiable by uniform and shall patrol the parking lot at least twice each hour as needed. Security guard duties shall include monitoring and

- checking customer identifications, maintaining order, preventing and terminating aggressive and destructive behavior by any person at the subject property, guarding against theft, maintaining security of all areas of the premises, and ensuring the safety of patrons and staff. One security guard shall be stationed at the building entrance. One security guard shall routinely patrol parking areas, intervene as needed indoors, and regularly scan the security camera monitors. Security guards shall be independent of the business and have no business interests with the owners.
24. All permanent and temporary exterior signs shall comply with City of Paramount sign regulations. All exterior signage requires review and approval by the Community Development Department.
 25. An active City of Paramount business license shall be maintained and kept current at all times during operation of the business.
 26. No self-service of alcoholic beverages shall be permitted.
 27. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the property owners or business owners shall be removed or painted over to match the predominant surface color within twenty-four (24) hours.
 28. No obstructions or partitions shall be attached, fastened, or connected to separate the interior space of the business premises.
 29. No outside loitering shall be permitted on the premises. A professionally fabricated sign identifying language satisfying this condition of approval shall be posted visibly and maintained following Public Safety Department review and approval of the content and location.
 30. No owners, managers, persons designated to be responsible for the operation of the business, or employee shall be permitted to accept money or any other item of value from a customer for the purpose of sitting or otherwise spending time with customers while on the premises, nor shall any owners, managers, persons designated to be responsible for the operation of the business, or employee provide, permit, or make available male or female persons who act as escorts, companions, or guests of and for the customers, either with or without compensation.
 31. The sale of alcoholic beverages shall be for onsite consumption only. No alcoholic beverages shall be consumed outside the business building. Both the sale and consumption of alcoholic beverages off the premises is strictly prohibited. No alcoholic beverages shall be consumed on any property adjacent to and in control of the property owners or business owners.

32. Human signs, sign walkers, and sign spinners are prohibited on the premises and the public rights-of-way.
33. Any special events for the premises shall be reviewed in accordance with Special Event Permit regulations by the Community Development Department. The applicants shall submit a Special Event Permit application no later than two (2) weeks in advance of a proposed event.
34. Future tenant improvements shall meet all requirements of the Building and Safety Division.
35. The landscaping in the front setback shall be refurbished as needed with shrubs and brown mulch. At least one 36-inch-box tree shall be planted in the front setback following separate Community Development Department review and approval of the tree type and specific location. Landscaping shall be maintained in a thriving, clean condition in perpetuity. Trees shall be trimmed in accordance with Section 44-112 of the Paramount Municipal Code. Mature trees shall not be removed without written authorization by the Community Development Department.
36. Solicitors, peddlers, hawkers, itinerant merchants, and transient vendors of merchandise are prohibited on the premises.
37. The premises shall not be leased or rented for private events for any reason.
38. The applicants shall maintain a minimum of 20 off-site parking places at 14537 Garfield Avenue, secured with written permission from the property owner to utilize parking. The applicants shall provide valet service to park customer vehicles at 14537 Garfield Avenue. The valet service shall be free of charge. Should the parking agreement at 14537 Garfield Avenue be terminated, the applicants shall secure a written parking agreement with a new property owner before any live entertainment can proceed. A parking agreement at a new secondary location shall be reviewed and approved by the Public Safety and Community Development Departments.
39. City Council Permits for Live Entertainment expire and have no further effect upon the sale or transfer of the business to a new business owner. City Council Permits for Live Entertainment do not run with the land.
40. Final approval by the Community Development Department is required before live entertainment shall be permitted. All conditions of approval shall be satisfied prior to final approval by the Community Development Department.

41. Failure to comply with any of the conditions of approval of this City Council Permit and/or any applicable federal, state, or City laws shall be cause for the modification, suspension or revocation of this permit pursuant to the procedures identified herein under Condition of Approval No. 5.

ATTACHMENT B

Photos

NEW YEARS *Eve*



2018
2019
CELEBRATION

14123 GARFIELD AVE, PARAMOUNT CA 90723

\$15 COVER CHARGE INCLUDES PARTY FAVORS AND CHAMPAGNE

comment

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ATTACHMENT C



California Department of Alcoholic Beverage Control
License Query System Summary as of 01/02/2019

License Information					
License Number:	589696				
Primary Owner:	DE HERDEZ CORP				
ABC Office of Application:	03 - LB/LAKEWOOD				
Business Name					
DELUCIA BAR					
Business Address					
14123 GARFIELD AVE					
PARAMOUNT, CA, 90723					
County: LOS ANGELES	Census Tract: 5536.01				
Licensee Information					
Licensee: DE HERDEZ CORP					
Company Information					
OFFICER: HERNANDEZ, JOSE (PRESIDENT)					
OFFICER: HERNANDEZ, CARMEN (SECRETARY/ASST SEC)					
STOCKHOLDER: HERNANDEZ, CARMEN					
STOCKHOLDER: HERNANDEZ, JOSE					
License Types					
1) License Type:	42 - ON-SALE BEER AND WINE - PUBLIC PREMISES				
License Type Status:	ACTIVE				
Status Date:	29-JAN-2018	Term:	12 Month(s)		
Original Issue Date:	26-JAN-2018	Expiration Date:	31-DEC-2018		
Master:	Y	Duplicate:	0	Fee Code:	P40
License Type was Transferred On:		From:			
License Type was Transferred On:		To:			
Operating Restrictions					
Entertainment provided shall not be audible beyond the area under the control of the licensee(s) as depicted on the most recently certified ABC-257 dated 12/12/17 and ABC-253 dated 12/12/17.					
Disciplinary Action					
Reg. Number:		18087457			
Disciplinary History					
... No Disciplinary History found ...					
Holds					
... No Active Holds found ...					
Escrows					
... No Escrow found ...					

For a definition of codes, view our glossary.

MAY 7, 2019

INSTALLATION OF A SPEED HUMP ON MCCLURE AVENUE BETWEEN
HOWE STREET AND ROSE STREET

MOTION IN ORDER:

DENY OR APPROVE A REQUEST FOR THE INSTALLATION OF A
SPEED HUMP AND ALL APPROPRIATE SIGNAGE ON MCCLURE
AVENUE BETWEEN HOWE STREET AND ROSE STREET.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Adriana Figueroa, Public Works Director
Sarah Ho, Assistant Public Works Director
Date: May 7, 2019

**Subject: INSTALLATION OF A SPEED HUMP ON MCCLURE AVENUE BETWEEN
HOWE STREET AND ROSE STREET**

We have received a request from Ms. Cleo Watkins to install a speed hump on McClure Avenue between Howe Street and Rose Street.

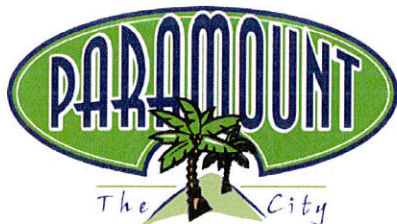
The attached petition contains 40 out of the 80 households (for a 50% survey rate, not accounting for vacancies) that would be directly affected by the proposed speed hump. These 80 households are located on McClure Avenue between Howe Street and Rose Street. The residents state that they are concerned for the safety of the residents and neighborhood children due to excessive speeds of vehicles traveling on the street.

Given the length of this street, the City Engineer determined that one speed hump could be installed approximately in front of 14030 McClure Avenue.

At their April meeting, the Public Works Commission recommended to the City Council approval of the request to install a speed hump. A notice indicating the City Council would hear this item was sent to each household in the designated area.

RECOMMENDED ACTION

It is recommended that the City Council deny or approve a request for the installation of a speed hump and all appropriate signage on McClure Avenue between Howe Street and Rose Street.



TOM HANSEN
Mayor

DARYL HOFMEYER
Vice Mayor

LAURIE GUILLEN
Councilmember

PEGGY LEMONS
Councilmember

DIANE J. MARTINEZ
Councilmember

April 15, 2019

Dear Resident:

Please be advised that the Public Works Commission at their meeting of April 4, 2019, recommended to the City Council the approval of the request to install one speed hump on McClure Avenue between Howe Street and Rose Street.

This is to inform you that the Paramount City Council will discuss this recommendation at their meeting of Tuesday, May 7, 2019. The meeting will begin at 6:00 p.m. and will be held in the Paramount City Hall Council Chambers located at 16400 Colorado Avenue.

At this meeting, a decision will be made by the Paramount City Council to accept or deny the recommendation of the Public Works Commission to install one speed hump in front of approximately 14030 McClure Avenue. If you have more information regarding this topic or would like to give further input, please attend this meeting.

Should you have further questions regarding this meeting, please call me at (562) 220-2020.

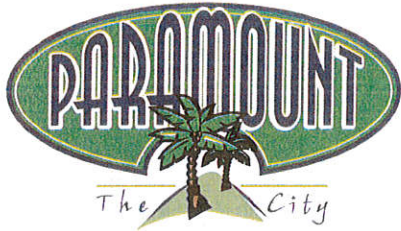
Para información en español, favor de llamar al (562) 220-2020.

CITY OF PARAMOUNT



Adriana Figueroa
Public Works Director

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DIANE J. MARTINEZ
Mayor

TOM HANSEN
Vice Mayor

LAURIE GUILLEN
Councilmember

DARYL HOFMEYER
Councilmember

PEGGY LEMONS
Councilmember

March 28, 2019

Dear Resident:

We have received a request to install a speed hump on McClure Avenue between Howe Street and Rose Street. This letter is to inform you that the Public Works Commission will discuss this request at their meeting of Thursday, April 4, 2019. The meeting will begin at 6:00 p.m. and will be held in the Paramount City Hall Council Chambers located at 16400 Colorado Avenue.

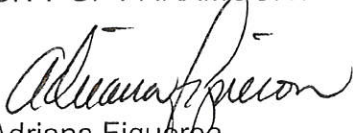
At this meeting, the Public Works Commission will decide to either deny or recommend the request to the Paramount City Council that a speed hump be installed on McClure Avenue between Howe Street and Rose Street. If you have more information regarding this topic or would like to give further input, please attend this meeting.

If approved, the speed hump would be located in front of approximately 14030 McClure Avenue. The speed hump would be similar in dimension to the speed hump detailed in the attached diagram. Unlike speed "bumps" which you are familiar with in places like shopping center parking lots, speed humps are wider and lower. If you would like to see a speed hump, there are some located near you on Arthur Avenue.

Should you have further questions regarding this meeting, please call me at (562) 220-2020.

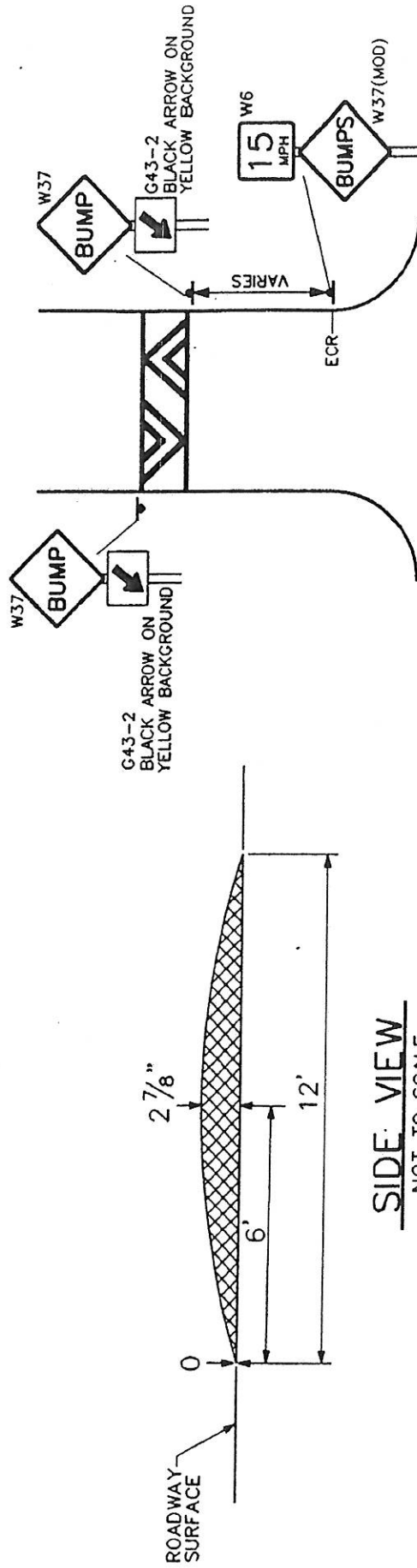
Para información en español, favor de llamar al (562) 220-2020.

CITY OF PARAMOUNT



Adriana Figueroa
Public Works Director

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SIDE VIEW
NOT TO SCALE

SPEED HUMP SIGN
INSTALLATION DETAIL

NOT TO SCALE



CITY OF PARAMOUNT

SPEED HUMP DETAIL



Public Works Department

15300 Downey Ave.

Paramount, CA 90723

Phone: 562-220-2020 Fax: 562-220-2105

Application for Traffic Safety Request

Select one: ☐ Disabled Parking Zone ☐ Limited-Time Parking Zone ☐ Speed Hump ☐ Stop Sign

Date: 2-26-2019

Last Name: WATKINS First Name: Cleo

Street Address: XXX

City & Zip Code: Paramount, CA. 90723

Telephone #: XXX

Email: XXX

Please explain why you are making the traffic safety request:

For safety reasons speed humps are needed.

(Continue on the back if needed)

Additional Questions:

Petition is attached *(Speed Hump/Stop Sign Request Only)*

Yes

☐

No

☐

*If the answer is no, please explain below:

My request meets all the installation criteria

(Disabled Parking Zone, Limited-Time Parking Zone, and Speed Hump Request Only)

(Continue on the back if needed)

I hereby confirm that the above information is correct. I have read and understand the Guidelines for Traffic Safety Requests and, to the best of my knowledge, my residence meets ALL the installation criteria, requirements, and conditions presented. I understand that the details in this application that I have given will be checked to determine eligibility.

Cleo Watkins
Signature

02-26-2019
Date

For office Use only:

☐ Document Received: _____ (Date) Staff Initials: _____
☐ \$100 Non Refundable Fee Received: _____ (Date) Staff Initials: _____

A petition requesting the installation of
(Una petición que solicita para la instalación de)

on
(en)

Speed Hump/Stop Sign
(Badén/Señal de stop)

Street name/Intersection
(Nombre de la calle)

Petition circulated by:
(Petición distribuida por)

Cleo Watkins
Name (Nombre)

XXX

Address (Domicilio)

Phone # (Numero de Teléfono)

NAME (Nombre)	ADDRESS (Domicilio)	PHONE # (Numero de Teléfono)	SIGNATURE (Firma)
1 Cleo Watkins	14041 McClure Ave #2	XXX	
2 German Valencia	14035 McClure Ave #2		
3 Betty Ford	14041 McClure Ave		
4 Shameem	14035 McClure Ave		
5 Lusina Crespo	14030 McClure Ave #104		
6 Nathan Garcia	14030 McClure Ave #103		
7 Yvonne	14030 McClure Ave #112		
8 Milton Juarez	14030 McClure Ave #113		
9 Mauricio Solis	14030 McClure Ave #213		
10 Juanita Trotter	14030 McClure Ave #212		
11 Letricia Peza	14030 McClure Ave #209		
12 Hilda Aguilar	14030 McClure Ave #109		
13 Reggie Abrams	14030 McClure Ave #208		
14 Roxanne Green	14030 McClure Ave #206		
15 Saul	14030 McClure Ave #101		
16 Ting	14030 McClure Ave #101		
17 Marshall	14030 McClure Ave #101		
18 Hugo Cardenas	14050 McClure		
19 Carlos Rosales	14050 1/2 McClure		
20 Mirna Guadalupe	1452 McClure		

NAME (Nombre)	ADDRESS (Domicilio)	PHONE # (Numero de Teléfono)	SIGNATURE (Firma)
21 Andrew Gutierrez	14050 McClure Ave	XXX	
22 Ana Rosa Jauregui	14056 McClure ave		
23 Bertha Carrera	14059 McClure ave		
24 MARIA ALI AVE	14053 McClure Ave		
25 Robert Martinez	14051 McClure Ave		
26 Jessica Penner	14048 McClure Ave		
27 Kathy Campbell	14008 McClure Ave #10		
28 Aaron Romero	14008 McClure ave.		
29 Eric McDondell	14008 McClure ave		
30 Jerdy Reyna	14008 McClure Ave		
31 Christian Walsh	14008 McClure Ave		
32 Arthur H Young	14008 McClure Ave		
33 Ruben Guzman	14008 McClure Ave		
34 Will Beard	14008 McClure Ave Apt A		
35 Victor Cruz	14000 McClure Ave		
36 Akisha Liggins	14037 McClure Ave #3		
37 Queen Nnorom	14044 McClure Ave, #3		
38 Sandra Ibarra	14037 McClure Ave #4		
39 Ivone Roman	14019 McClure Ave.		
40 Maria L. Rivera	14025 McClure Ave		
41			
42			
43			
44			

Speed Hump Location - 14030 McClure



MAY 7, 2019

PUBLIC HEARING

ORDINANCE NO. 1114/ZONING ORDINANCE TEXT AMENDMENT NO. 11
“AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT,
APPROVING ZONING ORDINANCE TEXT AMENDMENT NO. 11,
AMENDING CHAPTER 44, ARTICLE XXII, SECTION 44-259 OF THE
PARAMOUNT MUNICIPAL CODE TO ALLOW HOUSING USES AND
INCORPORATE REGULATIONS FOR HOUSING AND MIXED-USE
DEVELOPMENTS IN THE CLEARWATER EAST SPECIFIC PLAN AREA TO
IMPLEMENT THE 5TH CYCLE HOUSING ELEMENT AND COMPLY WITH
STATE LAW”

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

E. MOTION IN ORDER:

READ BY TITLE ONLY, WAIVE FURTHER READING, INTRODUCE
ORDINANCE NO. 1114/ZONING ORDINANCE TEXT AMENDMENT NO.
11, AND PLACE IT ON THE NEXT AGENDA FOR ADOPTION.

MOTION:

MOVED BY: _____

SECONDED BY: _____

☐ APPROVED

☐ DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Kevin M. Chun, Assistant City Manager/
Community Development Director
John King, Principal Planner
Date: May 7, 2019

**Subject: ORDINANCE NO. 1114
ZONING ORDINANCE TEXT AMENDMENT NO. 11 – CLEARWATER
EAST SPECIFIC PLAN AMENDMENT**

Request

This item is a request for City Council adoption of a Zoning Ordinance Text Amendment (ZOTA) to allow housing uses and incorporate regulations for housing and mixed-use developments in the Clearwater East Specific Plan Area to implement the 5th Cycle Housing Element and comply with State law. At its April 9, 2019 meeting, the Planning Commission unanimously approved Resolution No. PC 19:008, recommending adoption of this ZOTA request.

The Clearwater East Specific Plan presently allows for swap meet, retail/commercial, office, and light manufacturing uses; but housing is not permitted. The proposed ZOTA will bring the City of Paramount in compliance with State law, and approval will allow the California Department of Housing and Community Development (HCD) to certify the Paramount Housing Element.

Background

A specific plan is a regulatory tool in California for furthering a vision for a “sense of place” and implementing a jurisdiction’s general plan (the Paramount General Plan was last comprehensively revised in 2007). The Clearwater East Specific Plan is the zoning document that encompasses the 68-acre area south of Rosecrans Avenue, west of Paramount Boulevard, north of Somerset Boulevard, and east of the Union Pacific Railroad. The chronology of the Clearwater East Specific Plan is as follows:

- 1985 – The City Council adopted a comprehensive update to the General Plan that included a broad “policy level” specific plan for the Clearwater East area.
- 1987 – The City Council adopted Ordinance No. 708 for a complete Clearwater East Specific Plan (Article XXII of Chapter 44 of the Paramount Municipal Code) to serve a planning and regulatory function. The Plan implemented the General Plan and contained applicable land use regulations constituting zoning for the Clearwater East area.
- 1993 – The City Council adopted Ordinance No. 828, amending the Clearwater East Specific Plan to allow the expansion of swap meets and the sale of alcoholic beverages for onsite consumption with an approved Conditional Use Permit (CUP).

- 1996 – The City Council adopted Ordinance No. 869, amending the Clearwater East Specific Plan to allow movie theaters with an approved CUP.
- 2008 – The City Council adopted Ordinance No. 1005, amending the Clearwater East Specific Plan to include the storage of recreational vehicles and boats with an approved CUP.

Housing Element

On February 4, 2014, the City Council adopted the 2014-2021 Housing Element Update (5th Cycle). A housing element, one of the required general plan elements, is used to identify existing and projected local housing needs and to specify measures that will be undertaken to meet the housing needs of all economic segments of a community. The Paramount Housing Element was prepared in consultation with HCD, but HCD will not certify the Housing Element until the Clearwater East Specific Plan is amended to provide the 961 housing units specified in the adopted Housing Element.

On March 5, 2019, the City Council reviewed an update of the Housing Element compliance status. Assuming the City Council adopts this proposed ordinance amending the Clearwater East Specific Plan, the Housing Element will then be in compliance with State law. Community Development Department staff has been in close contact with HCD in recent months, and they have accepted our timeline.

Paramount/South Gate Station Area Plan

On March 12, 2019, the Planning Commission reviewed the Draft Paramount/South Gate Station Area Plan. The City Council reviewed the Station Area Plan on April 2, 2019. Gruen Associates, an established multidisciplinary firm in partnership with Eco-Rapid Transit, City of Paramount, and City of South Gate, began working in 2017 on this conceptual land use planning study for the areas along the West Santa Ana Branch (WSAB) transit corridor.

The Station Area Plan includes the land within one-half mile of the two station areas – an aerial station platform planned above the intersection of Paramount Boulevard and Rosecrans Avenue in Paramount; and a second station serving as a transfer station with the Metro Green Line will be located in South Gate, immediately to the north of the Paramount/South Gate boundary. The Vision Plan section of the Paramount/South Gate Station Area Plan includes a conceptual update to the Clearwater East Specific Plan Area that provides a strong framework for the Clearwater East Area.

Proposed Amendments

The primary amendment to the Clearwater East Specific Plan to obtain final certification with HCD is the inclusion of housing as an allowable use and development option. The proposed changes follow statute and the adopted Housing Element, and they also

reflect existing architectural and design regulations for the R-M (Multiple Family Residential) zone. Housing development regulations include criteria for parking, landscaping, objective architectural design standards, setbacks, and refuse storage and disposal.

Housing Element Compliance

As described last month with the City Council review of the Station Area Plan, the importance of approving a Zoning Ordinance Text Amendment to obtain Paramount Housing Element compliance cannot be understated. In 2017, Governor Brown signed AB 72, which increases accountability and State of California enforcement to ensure jurisdictions implement housing elements. AB 72 grants HCD authority to review any action or failure to act by a local government that it determines is inconsistent with an adopted housing element or housing element law. Cities that fail to implement program actions in an adopted housing element are subject to such enforcement. HCD may revoke housing element compliance if the local government's actions do not comply with State law.

AB 72 also authorizes HCD to notify the Attorney General if HCD finds that the housing element, or any city action or failure to act, does not comply with State law. As an example of Attorney General action, on January 25, 2019, HCD filed a lawsuit against the City of Huntington Beach. HCD is seeking a writ of mandate from the Superior Court to order Huntington Beach to bring their housing element into immediate compliance, all at exceptional legal and potentially punitive cost to that city. In the leadup to the State lawsuit, HCD had sent a series of letters to Huntington Beach, culminating in a notice of noncompliance on November 18, 2018.

Similar to Huntington Beach, HCD has been in written and verbal communication with City of Paramount staff. Additionally, Community Development Department staff met with the Deputy Director of Housing Policy Development and his staff at the HCD offices in Sacramento in October 2018 to discuss a compliance timeline for the Paramount Housing Element. On December 28, 2018, HCD issued a noncompliance letter (copy attached), which is clearly a "final warning" before HCD invokes the legal option. Fortunately, to date the proposed Clearwater East Specific Plan revision (building upon the Station Area Plan reviewed by the Planning Commission and City Council last month) has remained on schedule to the apparent satisfaction of HCD. However, any further delay of implementing the changes in the adopted Paramount Housing Element will surely trigger HCD notification of Attorney General Xavier Becerra to begin legal proceedings.

Aside from liability, a noncompliant housing element will also render the City ineligible for grant funding, and Governor Newsom is in the process of tying local transportation funds (used to pave streets, repair sidewalks, and other road projects) to compliant housing elements. In summary, a noncompliant housing element would jeopardize millions of dollars of transportation funds to the City (e.g., SB 1 Transportation Funds,

SB 1 Planning Grant funds, SB 1 Sustainable Communities grant funds, SB 2 Planning Grant funds, the Strategic Growth Council/HCD's Affordable Housing and Sustainable Communities programs, and potentially all transportation funds from Metro/Los Angeles County) and expose the City to inordinate legal expenses.

Alternatives

If the proposed Clearwater East amendment to allow housing is set aside, and if the City Council were to opt to expend funds to legally counter HCD and the State Attorney General, the Clearwater East Specific Plan would remain unchanged. As such, with the majority landowner considering development opportunities, the existing development options for the primary landowner would remain exclusively Commercial, Office/Professional, and Industrial. Of these non-housing possibilities, industrial/warehouse developers (such as Amazon-related distribution centers) have been soliciting the landowner more so than other developers. To date, City staff has been able to stall such development with looming implementation of the Paramount Housing Element, but any action to delay implementation and/or counter HCD and State law could quickly open up the site to serious industrial development proposals to meet market demands (and the resulting impacts from additional trucks on Paramount streets).

Another realistic result of resisting HCD and the Attorney General is a broader mandate by the State of California to usurp local authority and directly oversee City of Paramount zoning. In this scenario, local land use controls would fall to the State, and all land within one-half mile of the two planned West Santa Ana Branch light rail stations would potentially be subject to dense, multifamily residential zoning. Single-family neighborhoods would in effect lose their Single-Family Residential (R-1) designation and be open to apartment or condominium development, and the State could demand even higher density development in existing multiple-family residential (R-M) neighborhoods, such as the area known as Clearwater North with Arthur Avenue, McClure Avenue, Laredo Avenue, Denver Street, Pearle Street, Howe Street, and Rose Street.

As expressed to the City Council at its last meeting with review of the Station Area Plan, the existing housing crisis and chronic homeless situation are leading the State's position to aggressively enforce housing element compliance and encourage housing production. This position is vigorously supported by Governor Newsom and the State Legislature. Clearly, staff does not recommend countering the State's housing policies as the existing development alternatives would be detrimental to the City's planning goals and quality of life for Paramount residents.

Public Notification

Extensive public outreach was conducted to solicit public input about the Housing Element update. In addition to the publicly noticed Planning Commission public hearing on September 10, 2013 and the City Council public hearing on February 4, 2014, the City hosted community meetings on August 8, 2013 and August 22, 2013 to introduce the Housing Element revision and obtain comments. The meetings were advertised on

the City's webpage, in the Paramount Journal, as a bulletin board posting in various public facility locations, and through the distribution of flyers. Furthermore, the draft Housing Element was prominently posted on the City website for public opportunity to review the document in the course of its preparation.

Community engagement has also been a priority in the development of the associated Paramount/South Gate Station Area Plan, and a multitude of outreach types have taken place to solicit public input, including:

- Project website at www.ParamountSouthGateWSAB.com (active and updated since August 2017).
- Pop-up booth at Summer Concerts, Farmers Market, and Eco-Friendly Fair events (2017-2019).
- Community workshop that culminated in community groups presenting their proposed vision and improvements (August 19, 2017).
- Social media posts:
 - Project updates on multiple social media platforms (23 updates between August 2017 and April 2019).
 - City of Paramount social media posted workshop information and shared project invitation to workshop (August 2017).
- 5,000 project flyers hand-delivered around stations (August 2017).
- Additional project flyers available at entry of City Council Chambers for several months (August to November 2017).
- Directly phoned/emailed list of 21 neighborhood watch leaders (August 2017).
- Community Development Department staff announced workshop and pop-up events at a Public Safety Commission meeting (August 2017).
- Economic Development Board meeting presentations – (June 13, 2017 and August 14, 2017).
- Community Development Department staff presented Station Area concepts to the Youth Commission (March 11, 2019).
- Planning Commission and City Council meeting presentations – each with a variety of public notification types (June 6, 2017, August 8, 2017, December 12, 2017, March 12, 2019, and April 2, 2019).
- Business owner outreach. The project group met with Swap Meet management, the owner of property at northeast corner of Paramount Boulevard and Rosecrans Avenue, the owners of Contreras Furniture, and the owners of Shakey's Pizza (July 24, 2017).

Next Steps

While an adopted amendment to the Clearwater East Specific Plan will meet the minimum requirements of HCD, a more detailed and deliberative update to the Specific Plan will still be needed. In the coming months, Community Development Department staff will secure grant funding for a more robust Clearwater East Specific Plan, and will keep the City Council informed of progress.

RECOMMENDED ACTION

It is recommended that the City Council read by title only, waive further reading, introduce Ordinance No. 1114, and place it on the next agenda for adoption.

H:\ComDev\General\WP\JohnKing\reports2019\zota\zota11\ord1114_zota11rptcc.doc

**DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF HOUSING POLICY DEVELOPMENT**

2020 W. El Camino Avenue, Suite 500
Sacramento, CA 95833
(916) 263-2911 / FAX (916) 263-7453
www.hcd.ca.gov

RECEIVED

2019 JAN -4 AM 10:46

CITY OF PARAMOUNT



December 28, 2018

John Moreno, City Manager
City of Paramount
16400 Colorado Avenue
Paramount, CA 90723

RE: 5th Cycle (2013-2021) Housing Element Notice of Noncompliance

Dear John Moreno:

The Department of Housing and Community Development (HCD) is responsible for administering State Housing Element Law (Article 10.6 of the Government Code), including the review of local housing elements for compliance pursuant to Gov. Code, section 65585, subdivision (b). In 2017, Governor Brown signed the 2017 Housing Package, which provides a renewed focus on housing, one of the most basic needs for every Californian. Chapter 370 Statutes of 2017, Assembly Bill (AB) 72 expands and clarifies HCD's enforcement authorities. Under Gov. Code, section 65585, subd. (i)(1)(A), HCD must review any action or failure to act that it determines is inconsistent with an adopted housing element or Gov. Code, section 65583, and issue written findings to the locality as to whether the action or failure to act substantially complies with Article 10.6 of the Government Code.

The 5th cycle planning period for the City of Paramount is October 15, 2013 to October 15, 2021.

On December 30, 2013, the City of Paramount submitted a draft housing element to HCD for review.

On January 27, 2014, HCD issued findings stating Paramount's housing element would not be found in compliance unless and until zoning amendments pursuant to Gov. Code, section 65583, subd. (a)(4)(A) are implemented and the element adopted.

On February 13, 2014, Paramount submitted an adopted housing element to HCD.

On March 10, 2014, HCD issued findings stating Paramount's housing element would not be found in compliance unless and until zoning amendments required by Gov. Code, section 65583, subd. (a)(4)(A) are implemented.

On May 7, 2018, HCD issued a letter inquiring about the status of zoning amendments.

On May 14, 2018, the City of Paramount proposed a schedule for implementation of zoning amendments required pursuant to Gov. Code, section 65583, subd. (a)(4)(A).

On July 2, 2018, HCD accepted the proposed schedule, but reminded Paramount of additional zoning amendments required pursuant to Gov. Code, section 65584.09.

On July 31, 2018, Paramount submitted documentation demonstrating implementation of zoning amendments required by Gov. Code, section 65583, subd. (a)(4)(A).

On September 4, 2018, HCD issued findings to Paramount acknowledging completion of zoning amendments required pursuant to Gov. Code, section 65583, subd. (a)(4)(A). However, the city failed to implement zoning actions required pursuant to Gov. Code, section 65584.09. Therefore, the housing element remains noncompliant.

As of the date of this correspondence, Paramount has failed to adopt a 5th cycle housing element in compliance with State Housing Element Law.

This failure to act constitutes a violation of Gov. Code Article 10.6, including, but not limited to, sections 65583, 65589.5, 65863, 65915 and 65008. HCD has determined that the city failed to act in compliance with section 65583 when it failed to submit a compliant adopted housing element by its 5th cycle due date of October 15, 2013. Under Gov. Code, section 65585, subd. (i)(1)(A), HCD provides the city until January 25, 2019 to respond to these written findings. HCD reserves the right to take further action, including those actions authorized by Gov. Code, section 65585, subd. (i) and (j).

Many federal, state, and regional funding programs consider housing element compliance as a condition for receipt of funds. (Senate Bill 1 Sustainable Communities grants; the Strategic Growth Council and HCD's Affordable Housing and Sustainable Communities programs; and Senate Bill 2 Planning Grant). Without a compliant housing element, Paramount may be ineligible for such funding sources. HCD welcomes the opportunity to assist Paramount comply with housing element law. Please see the enclosure for a list of ways HCD can help.

If you have questions or need additional information, please contact Robin Huntley of our staff at (916) 263-7422.

Sincerely,



Zachary Olmstead
Deputy Director

Enclosure

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

ORDINANCE NO. 1114

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT, APPROVING ZONING ORDINANCE TEXT AMENDMENT NO. 11, AMENDING CHAPTER 44, ARTICLE XXII, SECTION 44-259 OF THE PARAMOUNT MUNICIPAL CODE TO ALLOW HOUSING USES AND INCORPORATE REGULATIONS FOR HOUSING AND MIXED-USE DEVELOPMENTS IN THE CLEARWATER EAST SPECIFIC PLAN AREA TO IMPLEMENT THE 5TH CYCLE HOUSING ELEMENT AND COMPLY WITH STATE LAW

WHEREAS, California Constitution Article XI, Section 7, enables the City of Paramount ("the City") to enact local planning and land use regulations; and

WHEREAS, the authority to adopt and enforce zoning regulations is an exercise of the City's police power to protect the public health, safety, and welfare; and

WHEREAS, the City desires to ensure that development occurs in a prudently effective manner, consistent with the goals and objectives of the General Plan as updated and adopted by the City Council on August 7, 2007 and reasonable land use planning principles; and

WHEREAS, a housing element is one of the required general plan elements as mandated by the State of California. On February 4, 2014, the City Council adopted the 2014-2021 Housing Element (5th Cycle); and

WHEREAS, the adopted Housing Element (5th Cycle) includes the Clearwater East Specific Plan Amendment Program, which commits the City to amend the Clearwater East Specific Plan to permit housing densities of a minimum of 20 units per acre and up to 22 housing units per acre;

WHEREAS, this project was considered under provisions of the California Environmental Quality Act (CEQA) at the time of adoption of the Housing Element (5th Cycle);

WHEREAS, the Planning Commission held a duly noticed public hearing on April 9, 2019 at which time it considered all evidence presented, both written and oral, and at the end of the hearing voted to adopt Resolution No. PC 19:008, recommending that the City Council adopt this Ordinance; and

WHEREAS, the City Council held a duly noticed public hearing on this Ordinance on May 7, 2019, at which time it considered all evidence presented, both written and oral.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PARAMOUNT DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 44-259 of the Paramount Municipal Code is hereby amended to read as follows:

"Section 44-259. Adoption by Reference.

There is hereby adopted by reference that document known as the Clearwater East Specific Plan, which shall contain all applicable land use regulations constituting zoning for the Clearwater East area. Said document shall be that document contained in Exhibit A of Ordinance No. 1114."

SECTION 2. If any section, subsection, subdivision, sentence, clause, phrase or portion of this Ordinance, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council hereby declares that it would have adopted this Ordinance and each section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof be declared invalid or unconstitutional.

SECTION 3. This Ordinance shall be certified as to its adoption by the City Clerk and shall be published once in the Paramount Journal within 15 days after its adoption together with the names and members of the City Council voting for and against the Ordinance.

PASSED, APPROVED, and ADOPTED this 21st day of May 2019.

Tom Hansen, Mayor

Attest:

Lana Chikami, City Clerk

EXHIBIT "A"

CLEARWATER EAST SPECIFIC PLAN

CLEARWATER EAST SPECIFIC PLAN

(DRAFT AMENDMENT BY ORDINANCE NO. 1114 – MAY 7, 2019)

CLEARWATER EAST SPECIFIC PLAN

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CLEARWATER EAST SPECIFIC PLAN

I. EXECUTIVE SUMMARY

- The Clearwater East Specific Plan area encompasses approximately 68 acres within North-Central Paramount.
- The Specific Plan is written under the authorization of California Government Code Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457.
- The plan is consistent with the Paramount General Plan.
- The plan implements the Paramount General Plan and serves a regulatory function which constitutes the zoning for the Clearwater area.
- The plan may be amended in the same manner and process by which it was originally adopted.
- The plan concept provides flexible land use options that allows maximum development potential. This land use mix may include “housing,” “industrial,” “business park,” “public/quasi-public,” “urban space” and “commercial” uses.
- Development regulations and design guidelines are included for each land use type in order to ensure quality products within the development and compatibility with adjacent land uses.

II. INTRODUCTION

A. PROJECT DESCRIPTION AND LOCATION

The Clearwater project area is approximately 68 acres located in the north-central area of Paramount. Existing development includes church, office, commercial, and industrial buildings that vary both in size and quality of structure, as well as a Swap Meet/Drive-in theater complex.

The site has access to three major streets that act as boundaries of the project area. The streets are Rosecrans Avenue to the north, Paramount Boulevard to the east and Somerset Boulevard to the south. A Union Pacific rail line right-of-way is the western boundary of the property. Access to the proposed West Santa Ana Branch light rail station at the intersection of Paramount Boulevard and Rosecrans Avenue makes the area a prime location for redevelopment.

Adjacent uses to the site include the Clearwater North and Howe/Orizaba Specific Plan areas to the north; Paramount Park and Paramount Park Community Center, the Paramount Park Middle School, Paramount High School – West Campus, and residential neighborhoods to the east; the Central Industrial and Central Business Districts to the south; and the Clearwater West Specific Plan area to the west.

B. SCOPE AND AUTHORITY

The California Government Code authorizes cities to adopt Specific Plans under Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457. Specific Plans may be adopted by resolution, becoming policy, or by ordinance, becoming regulation. Public hearings before the Planning Commission and City Council are required before adoption.

The Clearwater East Specific Plan is a regulatory plan. Development plans or agreements, tract or parcel maps, or any development of land use approval requiring ministerial or discretionary actions must be consistent with the Specific Plan which itself is consistent with the General Plan.

C. STATEMENT OF PURPOSE

When adopted by City ordinance, the Specific Plan serves a Planning and regulatory function. It implements the Paramount General Plan, contains applicable land use regulations, and constitutes zoning for the Clearwater East area.

D. AMENDING THE PLAN

Requirement and Procedures: This plan may be amended at any time in the same manner and process by which the plan was originally adopted. An amendment or amendments shall not require a concurrent General Plan amendment unless by determination of the Director of Community Development, the General Plan goals, objectives, policies, or programs would be substantially affected by the proposed change.

Ministerial Action: The addition of new information to the Specific Plan that does not change the effect of any concepts or regulations may be made administratively by the Director of Community Development, subject to appeal to the Planning Commission.

E. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

This Specific Plan Amendment is accompanied by a Negative Declaration which addresses potential impacts of the proposed amendment in conformance with the guidelines of the State of California.

III. DEVELOPMENT PLAN CONCEPT

A. INTRODUCTION

The Clearwater East Specific Plan area has been designed as a project of various land use types that have been carefully integrated into a multi-purpose redevelopment district. It is the intention of the plan to provide quality development, employment, and service opportunities for residents in and around the City, and to create a land use pattern that is compatible with the surrounding neighborhoods.

Specific land use recommendations include housing, light industrial, office/business park, commercial, and public/quasi-public uses. This concept was developed and based upon the objectives set forth by the Paramount General Plan and analysis of market conditions.

The development plan is the foundation by which the accompanying regulations and design guidelines have been developed. These will be used in the discretionary review and approval process for projects that are proposed for this area.

The development plan recognizes the need for land use flexibility in conjunction with reviewing usability potential and optimum market choices for specific sites within the project area.

B. OBJECTIVES AND POLICIES

The following list of objectives and policies for the Clearwater East Specific Plan was adopted from the Clearwater East Policy Level Specific Plan within the Paramount General Plan. These objectives were instrumental in formulating policy guidance, designing the development plan, and drafting supporting regulations.

Objectives;

1. Construct and maintain buildings and associated sites to support and improve community health and well-being.
2. Advocate for and require sustainable design to the maximum extent feasible.

3. Encourage and provide support for mixed-income developments.
4. Strive for pedestrian-oriented design with walkability-enhancing features.
5. Increase access to active transportation options to promote health living, provide mobility alternatives, and decrease dependency upon automobiles.
6. Create a pattern of development that allows the most efficient possible use of the land and establishes and develops a true sense of place.
7. Promote the highest quality of development that can be sustained by the market.
8. Eliminate vehicle congestion on Paramount Boulevard and at intersecting arterials.
9. Improve the appearance of existing development along major street corridors within the plan area.
10. Provide improved public street access to development parcels.
11. Resolve land use conflicts.
12. Encourage an appropriate mix of uses that are responsive to market opportunities and that yield strong revenue flow to the City.
13. Preserve and upgrade existing commercial and industrial land use.
14. Provide optimum development choices to property owners where such choices make sense from a land use compatibility standpoint.
15. Assist in maintaining and improving long-term community educational and empowerment opportunities.

Policies:

1. Development of office use is acceptable in-lieu of commercial land use with a Conditional Use Permit.
2. Development or expansion of “commercial” and “commercial/industrial” uses are allowed with a Conditional Use Permit.
3. Restricted and/or limited access will be observed for purposes of safety and circulation.

4. Appropriate design buffers will be established to ensure compatibility of land uses.

C. LAND USE PLAN

The Clearwater East Land Use Plan is designed to produce a quality multiple use district and provide a positive interaction between land use types.

Land Use	Acres	Percent of Total Acres
Industrial/Housing	45.00	60%
Business Park/Housing	15.00	22%
General Commercial/Housing	4.50	6.50%
Public/Quasi-Public	3.50	5.50%
TOTAL	68.00	100%

SPECIFIC PLAN AREA



IV. DEVELOPMENT REGULATIONS

A. INTRODUCTION

These Development Regulations implement the Clearwater East Specific Plan. The regulations are adopted by ordinance pursuant to Article 8, Authority for Scope of Specific Plans of the Government Code in compliance with Sections 65450 and 65453 thereof. The regulations are divided into sections as follows:

1. General Development Provisions: Statements of use regulation and management practices common to all land use types.
2. Commercial Provisions: Statements of use and development regulations for commercial land use development.

3. Office/Professional Provisions: Statements of permitted and unpermitted uses and development criteria for office development.
4. Industrial Provisions: Statements of permitted and unpermitted uses and project development criteria within industrial areas.
5. Housing Provisions: Statements of permitted and unpermitted uses and development criteria for housing development.

B. GENERAL DEVELOPMENT PROVISIONS

1. Conflict in Regulations: Whenever the regulations contained in this text conflict with the regulations of Chapter 44 of the Paramount Municipal Code, the regulations of the Clearwater East Specific Plan shall take precedence.
2. Property Owners' Association By-Laws: All Property Owners' by-laws and conditions, covenants, and restrictions (CC&Rs) shall be approved by the City Engineer and recorded concurrent with final map recordation where property is subdivided and prior to issuance of certificates of occupancy where property is not subdivided.
3. Property Maintenance: The Property Owners' Association shall be responsible for the maintenance, repair, replacement, restoration, operation, and management of all the common area and all facilities, improvements, equipment, and landscaping thereon, and all property that may be acquired by the Association. Maintenance shall include, without limitation, painting, maintaining and repairing and replacing all common areas, exterior building surfaces, landscaping, and parking areas. The Association shall also be responsible for maintaining and repairing all fences, walks, sewers, drains, curbs, sidewalks, roadways, and parking areas which are built or maintained within the Specific Plan area.

A financing and management mechanism for the community-wide property maintenance program shall be established prior to the recordation of the first tentative tract map approved under this Specific Plan.

Incremental phases of property improvements and the property maintenance program including, but not limited, to landscaping, hardscape, irrigation, equipment, lighting, signage, management, organization, financing, mechanism, and operation rules shall be in place and operational prior to any Certificate of Occupancy.

4. Landscape Plans: A master landscape and irrigation plan shall be submitted and approved by the Director of Community Development. The plan shall comply with the Model Water Efficient Landscape Ordinance (MWELO) of the State of California and Article XXIV (Water-Efficient Landscape Provisions) of Chapter 44 of the Paramount Municipal Code. The plan shall contain designs for the following components: Primary and secondary entrances, roadways, intersections, open space/pedestrian paths, and parking areas. The design of these components shall contain architecturally consistent wall materials, plant materials, and adequate lighting. Landscape plans shall place heavy emphasis on the use of mature trees and dense planting materials throughout the entire Specific Plan area, including streetscapes. All landscape improvement plans, including the Master Plan, developed pursuant to this requirement, will be prepared by a licensed landscape architect. Any changes to the approved master landscape plan must be approved by the Development Review Board.
5. Utilities: All utility lines shall be underground. No pipe, conduit, cable, line for water, gas, sewage, drainage, electricity or any other energy or service component shall be installed or maintained upon any lot (outside of any building) above the surface of the ground, except for hoses, movable pipes used for irrigation, or other purposes during construction or transformers.
6. Vehicular Access: Each building or lot shall have permanent access to a street or alley on which the building or lot abuts. Whenever possible, access to each lot or building shall be provided from the internal circulation system.
7. Outdoor Screening Materials: The use of exterior sun screens and awnings which are not approved as part of the initial building development review process shall be prohibited, unless prior approval is obtained from the Paramount Development Review Board.
8. Exterior Security Bars and Screens Prohibited: The use of exterior security bars, screens, and other security devices which are visible from the public right-of-way shall not be permitted within the Specific Plan area unless prior approval is obtained from the Paramount Development Review Board.

9. Alterations: No owner or tenant shall, whether at his or her own expense or otherwise, do, make, or suffer any alteration, addition, or modification to any portion of the Common Area nor shall he install, attach, paste, hinge, screw, nail, build, or construct any lighting, decoration, or other articles or thing thereto until plans and specifications showing the nature, kind, shape, height, materials, and locations of the same shall have been submitted to and approved in writing by the Paramount Development Review Board.
10. Storage: No storage shall be permitted outside of any building, unit, or lease space.
11. Parking: All required parking spaces are to be maintained by the owner and/or tenant within the respective development solely for the temporary parking of vehicles owned by tenants, building owners, or their guests.
12. Signs: The City of Paramount will review all proposed signage for individual projects. Review shall include, but not be limited to: size, uniformity, number, type-face style and uniformity, lighting conditions, installation conditions, and directional signage. Additional criteria is specified under individual land use types.
13. Art in Public Places: A mandatory one percent (1%) of construction cost assessment is to be contributed to the general "Art in Public Places" fund of the City of Paramount by the developer of projects within the Specific Plan area.
14. Color and Materials: Use of all color and material selected for projects is subject to the City review and approval prior to construction.

C. COMMERCIAL DEVELOPMENT PROVISIONS

1. Permitted Uses:
 - Appliance stores
 - Bakeries
 - Banks and saving and loan institutions
 - Barber and beauty shops
 - Blueprinting and printing establishments
 - Book and stationery stores
 - Dairy products, retails sales of
 - Dress shops
 - Drug stores
 - Dry cleaners
 - Dry goods, notion stores, and boutiques

- Florist shops
- Furniture stores
- Grocery stores and delicatessen shops
- Hardware stores
- Insurance agencies
- Jewelry stores
- Locksmiths
- Meat markets
- Photographic supply stores
- Real estate brokers and sales offices
- Shoe repair/stores
- Wearing apparel
- Other similar retail or service establishments, or businesses when interpreted by the Planning Commission as to performance standards set forth in this zone

2. Uses Subject to a Conditional Use Permit: The following uses may be permitted; provided that a conditional use permit is first obtained.

- Any new or expanded swap meet uses
- Any establishment offering alcoholic beverages for sale for consumption on the premises
- Drive-through establishments of any type
- Restaurants, coffee shops, fast food, take-out service or other such retail food establishment
- Stores with sale of liquor for off-site consumption that exceeds 50 percent of their gross sales
- Any exterior placement of public telephones, antennae, satellite antennae, or radio, microwave, or other such transmission device which is not in a fully-enclosed building
- All office and professional uses, including medical/dental clinics

3. Prohibited Uses: The following uses are prohibited in this zone.

- Bars or cocktail lounges, where no food is served
- Automotive repair or service
- Coin-operated or other laundries
- Exterior display of merchandise other than as part of an approved Special Event Sale or Grand Opening
- Game arcades
- Tire shops, sales or service
- Billiard parlors

- Churches
- Fraternal or social organizations
- Vocational schools
- Fabrications or manufacturing uses of any kind
- The use or handling of radioactive materials
- No exterior storage of vehicles, materials, supplies, equipment, or machinery shall be permitted whether open or in tanks, bins or other container devices.
- Retail or service establishments or business enterprises when interpreted by the Planning Commission to be in conflict with the development standards as set forth in this plan
- All other uses not specifically permitted or conditionally permitted by this ordinance

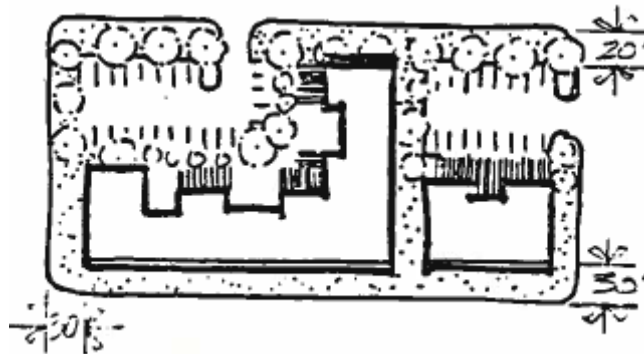
Any use which creates any of the following adverse effects shall be specifically prohibited:

- Any noise or vibration other than related to temporary construction work which is discernible without instruments at any lot line of the site
- Any electrical disturbance adversely affecting the operation of any equipment other than that of the creator of such disturbance
- Any direct or reflected glare or heat which is perceptible at any point outside of any building
- Hours of loading and unloading shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m.

4. Development Standards:

a. Setbacks:

- Front setbacks are not to be less than 20 feet from the right-of-way.
- Side and rear setbacks are not to be less than 30-feet from the project property lines.



b. Parking:

- One parking space is required for each 250 square feet of building area. Up to 25 percent of the required parking spaces may be designed for compact automobiles, with each compact space measuring at least 8 feet in width by 16 feet in length.

c. Sign Standards:

- Specific dimensions and specifications for development of particular sign types as listed in City of Paramount Central Business District Signage Guidelines should be followed.

- General Guidelines:

- 1) “Net Sign Area”: The “net sign area” is defined as the overall height and width of the sign (including all trim or molding). Other definitions as listed in the City ordinance shall be used in conjunction with this guideline.

No more than two rows of letters are permitted, provided their maximum total height does not exceed the height of the “net sign area.”

All lettering shall be restricted to the “net sign area”. (See design criteria for specific signage type.)

No projections above or below the “net sign area” will be permitted.

Individual logos may be located anywhere within the “net sign area”, provided their height does not exceed the height of the “net sign area”.

- 2) Sign Area Limitations: Suspended signs, individual letters, and individual letter plaques shall be limited to 1 ½ square feet per lineal foot of building façade frontage and a maximum of 60 percent of the premises width. See City ordinance for additional limitations. See specific criteria for signs not mentioned above.

- 3) Awning signs shall be permitted subject to individual letter sign criteria. An awning sign shall be defined as a sign which displays type-face and/or logo on canvas/other “fabric” material. Material is assumed attached to a structural framework.
- 4) The owner/occupant/tenant shall submit a sign drawing to the appropriate City authority or approval prior to the start of any sign construction or fabrications. Owners/occupants/tenants are encouraged to review adjacent signing conditions prior to establishing their sign to develop signing that is compatible and consistent.
- 5) The letter type, logos, and their respective colors shall be submitted to the City for written approval prior to fabrication.
- 6) Non-typical signs not mentioned in this guideline or the City ordinance shall be subject to review and approval by the Community Development Department.
- 7) One “sign space” shall be allowed for each building façade. The tenant shall verify the sign location and permitted sign with the City prior to fabrication.
- 8) Address numbers should be applied to each store by the owner/occupant/tenant’s sign company during the regular course of construction. For purposes of store identification, owner/occupant/tenant will be permitted to place upon each entrance to its demised premises not more than 14 square inches of gold leaf or decal application lettering not to exceed 2 inches in height, indicating hours of business, emergency telephone, etc. The number and letter type-face shall be subject to City approval.
- 9) The owner/occupant/tenant shall display only their established trade name of their basic product name or combination thereof.

- Prohibited Signs:
 - 1) Signs Constituting a Traffic Hazard: No person shall install or cause to be installed or maintained any sign which simulates or imitates in size, color, lettering, or design any traffic sign or signal, or which makes use of the words “STOP”, “LOOK”, “DANGER” or any other words, phrases, symbols, or characters in such a manner to interfere with, mislead, or confuse traffic.
 - 2) Signs on Doors, Windows, or Fire Escapes: No window signs affixed to the glass will be permitted; however, “temporary” signs will be permissible if set a minimum 30-inch distance from the glass on an easel. No signs shall be installed, relocated, or maintained so as to prevent free ingress to or egress from any door. No sign of any kind shall be attached to a stand pipe except those signs as required by code or ordinance. All “temporary” signs require approval by the City.
 - 3) Animated, Audible, or Moving Signs: Signs consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light are prohibited.
 - 4) Off-Premise Signs: Any signs installed for the purpose of advertising a project, event, person, or subject not related to the premises upon which said signs are located are prohibited.
 - 5) Vehicle Signs: Signs on or affixed to trucks, automobiles, trailers, or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles are prohibited.
 - 6) Signs on Public Property or Public Rights-of-Way: Signs are not to be erected, placed, or relocated such that any public properties or public areas are encroached upon. Signs shall not be built upon, over, or across such public facilities or areas. Pylon and monument signs

where allowed may be built within landscape setbacks.

- 7) Temporary Signs: Signs painted on building elevations, canopies, overhangs, parapets, etc., are not permitted.

d. Special Event Sales and Grand Openings

Special event sales and grand openings shall be as per Paramount Municipal Code Section 44-104.7.

e. Development Review Board Approval and Guidelines

Development must be approved by the Development Review Board prior to the issuance of a building permit for any building or structure. Modifications to any structure within this area shall comply with architectural guidelines as listed in this section.

D. OFFICE/PROFESSIONAL DEVELOPMENT PROVISIONS

The intention of these provisions is to provide business and professional office structures of superior design and quality. All improvements and operations shall conform to the following provisions:

1. Permitted Uses: The following uses are permitted in this zone:

- Advertising Agencies
- Arts and Craft studios subject to the condition that:
 - The major character be that of providing a service
 - All equipment or apparatus used be of a scale and construction that facilitate easy handling and operation by nonprofessionals
 - Operations not be noxious or objectionable to surrounding property or endanger those people coming in close contact to the subject operation
- Banks and Savings and Loan Institutions
- Barber Shops and Beauty Salons
- Coin Shops
- Dental Laboratories
- Employment Agencies
- Escrow Offices
- Insurance Agencies
- Laboratories (biochemical and X-ray)
- Libraries
- Medical – Dental Buildings

- Pharmacies
 - Professional Offices, including:
 - Accountants
 - Attorneys
 - Doctors, Dentists, Optometrists, Ophthalmologists, Chiropractors, and others licensed by the State to practice healing arts
 - Planners, Engineers, and Architects
 - Realtors
 - Studios, including:
 - Interior Decorating, Photography, Couturier, Artist, and Music
 - Travel Agencies
 - Other business and professional offices consistent with the purpose and intent of this zone as determined by the Planning Commission
2. Uses Subject to a Conditional Use Permit: The following uses may be permitted provided a conditional use permit is first obtained:
- Day Care Centers
 - Day Treatment Hospitals
 - Gymnasiums
 - Health Clubs
 - Hospitals
 - Private Clubs, Fraternities, Sororities, Lodges, and Nonprofit Organizations for Young People
 - Convalescent Homes
3. Limitations and Conditions: All permitted uses shall be subject to the following conditions and limitations:
- All uses shall be conducted within an enclosed building (excluding parking lots)
 - Storage shall be limited to the accessory storage of supplies utilized in the business on the premises and shall be within an enclosed building
 - All products made incidental to a permitted use which are manufactured, processed, or treated on the premises shall be sold on the premise and at retail only
4. Sign Standards:
- a. The sign shall display only the established trade or business name or basic product name, or a combination thereof

- b. Permitted sign types shall include wall, plaque, undercanopy, suspended, address, projecting, or monument

- c. The following sign types shall be prohibited:

Signs constituting a pedestrian or vehicular traffic hazard; unlawful advertising; off-premise signs; mobile billboards; vehicle signs attached to motor vehicles that are parked on or adjacent to property for more than 24 consecutive hours, the principal purpose of which is to attract attention to a product sold, service offered, or business located on the property; pole signs; light bulb strings and exposed tubing; banners, pennants, flags, and balloons used as permanent signs; signs in proximity to utility lines; signs on public property or public rights-of-way; can (cabinet) style wall signs; painted wall signs; flat, unframed metal/wood/acrylic "panel" signs; roof mounted signs; vinyl awnings; obscene or offensive signs containing statements, words, or pictures of an obscene or indecent character which appeal to the prurient interest in sex, or which are patently offensive and do not have serious literary, artistic, political, or scientific value; signs advertising home occupations; signs erected in a manner that a portion of their surface or supports will interfere with the free use of a fire escape, exit or standpipe, or obstruct a required ventilator, door, stairway, or window above the first floor, or create other hazards; signs not in compliance with the provisions of this chapter.

- d. Lettering shall be individual letters, and all lettering shall have trim caps

- e. Specific design criteria for wall, plaque, undercanopy and suspended signs shall be as follows:

One sign space shall be allowed for each occupant. The occupants shall verify the sign location and size with the City prior to installation or fabrication

- f. No more than two rows of letters are permitted, provided their maximum total height does not exceed the height of the net sign area (overall height and width of the sign, including all trim or molding).
- g. Maximum sign area shall be one and one-half (1-1/2) square feet of sign area per one lineal foot of building frontage.

- h. Maximum sign width shall not exceed sixty percent (60%) of the building width.

5. Specific design criteria for address signs shall be as follows:

- a) Each occupant shall be allowed to place upon each primary entrance not more than one hundred forty-four square inches of gold leaf or decal application lettering not to exceed two inches in height indicating hours of business, emergency telephone, etc. Type face shall be subject to approval by the Community Development Director.
- b) Premise numbers shall be placed on a wall facing the street on which the number is assigned, and shall be permanent in character and of contrasting color so as to be easily readable.

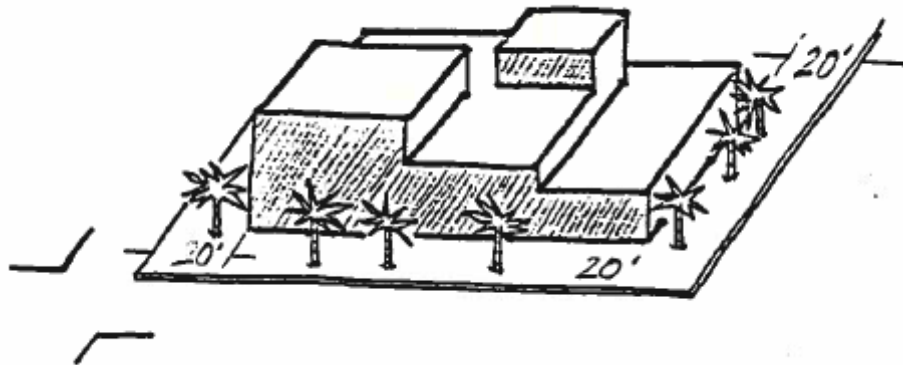
6. Specific design criteria for monument signs shall be as follows:

- a) Monument signs shall be allowed where the site area equals one-half acre or more, or on sites which have a minimum ten-foot landscaped setback.
- b) Monument signs shall be placed in a landscaped planter area which shall include a minimum of two hundred square feet
- c) One monument sign shall be allowed per one hundred fifty lineal feet of street frontage
- d) No more than two rows of letters are permitted, provided their maximum total height does not exceed the height of the net sign area (overall height times width of the signs, including all trim and molding)
- e) Monument signs shall display only the project title or name of the same of the major tenant
- f) Maximum sign area shall be one-half foot of sign area per lineal foot of street frontage, not to exceed 100 square feet of sign area

7. Development Standards

- a) Height. The height of buildings shall not exceed forty-five (45) feet

- b) Floor Area. The maximum permitted floor area contained in all buildings shall not exceed one and one-half (1-1/2) times the area of the lot
- c) Setbacks:
 - 1) Front Yard. Commercial buildings, walls or structures shall not be located closer than twenty (20) feet from the property line. Said setback shall be totally landscaped and shall not permit any off-street parking
 - 2) Side Yard. On corner lots and reverse corner lots, a minimum setback of ten (10) feet shall be provided. This area shall be totally landscaped. On interior lots, no side yard need be provided except as may be required by a variance, conditional use permit or unclassified use permit
 - 3) Rear Yard. There is no requirement for buildings in the rear of commercial parcels, except when such parcel borders a public street, in which case the setback shall be the same as front yard requirements



- d) Parking: Parking requirements shall be determined by use as follows:
 - 1) General and professional, medical, dental, and clinical – one space for every 300 square feet of gross floor area
 - 2) Banks: One space for every 200 square feet of gross floor area
 - 3) Hospitals: Two spaces for each bed

- e) Maximum sign area shall be one-half foot of sign area per lineal foot of street frontage, not to exceed one hundred square feet
- f) Landscaping
 - 1. Exclusive of driveways and walkways, all required setback areas shall be landscaped and improved in accordance with the provisions specified herein. Landscaping plans specifying the size, type, quantity, and location of all plant materials shall be submitted to the Director of Planning for approval. All required landscaping areas shall be subject to, but not limited to, the following minimum standards:
 - Irrigation: All landscaped areas shall be provided with a fixed and permanent watering system, consisting of piped water lines with sufficient sprinklers to insure complete coverage
 - Planters: All landscaping shall be planted in permanent planters surrounded by six-inch tall concrete curbing, except where a planter abuts a building or concrete block wall
 - Trees:
 - One 36-inch-box shade/canopy tree and three 24-inch-box shade/canopy trees shall be required for every fifty lineal feet of landscaping, adjacent to any public right-of-way.
 - All trees shall be a minimum twenty-four inch box size.
 - Turf: All setback areas shall be fully landscaped as a minimum requirement. Additional plant material, such as shrubs and groundcover, may be used to supplement turf areas.
 - Approval criteria for landscaping plans will consider, but not be limited to, the following items:
 - The adequacy of plant material in achieving a buffer along public streets.
 - The use of landscaping to enhance the aesthetic quality of property and buildings.

- The general suitability, relative to the placement and type, of plant material selected for screening purposes.

g) Refuse Storage Areas

All uses permitted in this category shall be provided with refuse storage facilities in the following manner.

- 1) There shall be provided and maintained within one hundred feet of each building an enclosure for the purpose of storing containers for garbage, waste, refuse and trash of all persons utilizing said parcel. Said enclosure shall have on each side thereof a solid reinforced masonry wall of not less than five feet in height. All openings shall be equipped with gates or doors which meet the height requirement of this subsection and the fence requirements for durability. Such gates or doors shall be equipped at all times with a fully operating, self-closing device. At least one opening, gate, or door shall be of sufficient width to provide reasonable and necessary access to the storage area and said opening door or gate shall at all times be located and maintained at such a place and in such fashion that access to the storage area for the deposit and removal of waste, trash, refuse and garbage is reasonably afforded. The City may approve substitution of a solid fence or other material when, in its opinion, such fence or other material will adequately comply with the provisions of this subsection.
- 2) All garbage stored within such enclosures shall be placed and maintained in a metal or plastic container which has an overlapping fly-tight lid. The lid shall be secured in-place at all times when the container is not being filled or emptied.
- 3) Waste, refuse, and trash (other than garbage) shall be placed, maintained, and stored in a container of substantial design and construction that will retain trash, refuse, and waste and may be readily emptied by trash collectors; which will not readily disintegrate, fall apart, blow, or scatter about the premises.

- 4) Garbage, waste, refuse, and trash may also be stored in metal bins equipped with wheels approved by the Community Development Director. All garbage, waste, refuse, and trash contained in such bins shall be maintained within the interior of the metal bins and shall be equipped with a lid which shall be completely closed at all times except when being filled or emptied.
- 5) All of said aforementioned containers shall be kept and maintained within the walls of said enclosure except when being emptied by a collector.

E. INDUSTRIAL DEVELOPMENT PROVISIONS

All improvements and operations shall conform to the industrial development provisions set forth herein.

1. Permitted Uses: The broad intent of the uses listed are to include light manufacturing, processing, packaging, treatment, fabrication of goods, and merchandise, as well as the creation of products or their distribution, research and technical processes. The following uses shall be permitted in this zone:
 - Medical-dental laboratories
 - Blueprinting and photostating
 - Glass edging, beveling and silvering in connection with the sale of mirrors and glass decorated furniture
 - Glass studios – stained, etc.
 - Laboratories
 - Printing establishments
 - Photo engraving
 - Bookbinding
 - Manufacturing of cosmetics
 - Garment manufacturing
 - Pharmaceutical – manufacturing, processing, packaging and storage
 - Research and electronic industries
 - Shoe manufacture
 - Other similar service establishments and industrial enterprises or businesses when interpreted by the Planning Commission as to the regulations and guidelines set forth in this section
2. Uses Subject to a Conditional Use Permit: The following uses may be permitted provided a Conditional Use Permit is obtained:

- Electric or neon sign manufacturing, service, and repairing
- Upholstery shops
- Cabinet or carpenter shops
- Manufacturing and assembly of electrical appliances
- Machine shop
- Manufacture, processing, or treatment of articles from previously prepared materials
- Rubber – fabrication of products made from finished rubber
- Textile manufacture, processing, or treatment
- New or expanded swap meet uses
- Restaurants
- Retail/Commercial
- Theaters
- Any establishment offering alcoholic beverages for sale for consumption on the premises
- Storage facility for recreational vehicles (RVs), boats, and commercial vehicles

3. Prohibited Uses: Any use which creates any of the following adverse effects shall be specifically prohibited:

- Any noise or vibrations other than that related to temporary construction work which is discernible without instruments at any lot line of the site
- Any electrical disturbance adversely affecting the operation of any equipment other than that of the creator of such disturbance
- The use or handling of radioactive materials shall not be permitted
- Any direct or reflected glare or heat which is perceptible at any point outside of any building
- The emission of odorous gases or matter in quantities such as to be perceptible at any lot line of the site
- No exterior storage of vehicles, materials, supplies, equipment, or machinery shall be permitted whether upon or in tanks, bins, or other container devices
- Automobile, truck, or tractor engine repair
- Automobile, truck, or tractor body and fender works, repair and painting
- Such retail or service establishments and industrial or business enterprises when interpreted by the Planning Commission to be in conflict with the performance standards as set forth in this section
- All uses shall be conducted within an entirely enclosed building except accessory parking

4. Development Standards:

- a. Minimum Lot Size – The minimum lot size for parcels in this zone shall be five acres with a minimum lot width of 200 feet.
- b. Building Coverage – Permissible building lot coverage shall be within the following limitations:
 - 1) Where the net area of the lot exceeds one acre, the allowable coverage may be increased by 1 percent for each acre in excess of the one acre. Said allowable coverage may be apportioned for fractional acres.
 - 2) When permanent landscaping is installed within the public parkway adjacent to streets, the area of such permanent landscaping may be added to the net area of the lot for the purpose of determining maximum building coverage.
 - 3) Where permanent landscaping in excess of that required by these standards is installed within the building site, the area of such permanent landscaping may be added to the net area of the lot for the purpose of determining maximum building coverage.
 - 4) In no case shall the building coverage exceed 60 percent of the net area of the property.
- c. Setbacks:
 - 1) Front Yard: Industrial building shall not be located any closer than 20 feet from the front property line of any lot. Said front yard shall be totally landscaped and shall not permit any off-street parking.
 - 2) Side Yard: Side yards adjacent to internal roadways shall be a minimum of 20 feet. Industrial buildings shall not be located closer than 10 feet from any side property line adjacent to a public right-of-way.
 - 3) Rear Yard: There is no setback requirement for buildings in the rear of industrial parcels except when such parcels border a public street, in which case the requirements shall be the same as front yard requirements, or where they abut areas of deed restrictions or easements.

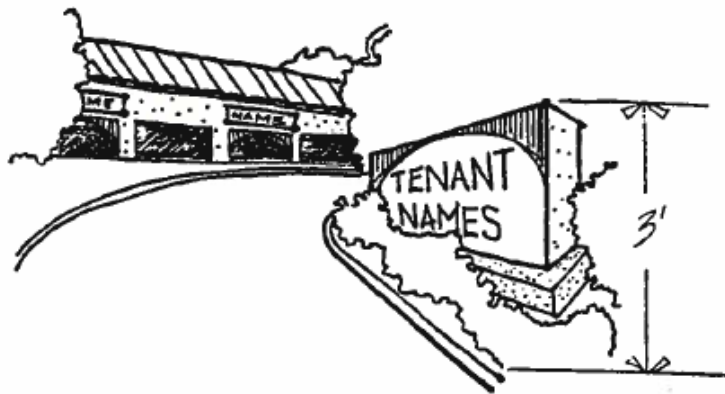
d. Parking: Parking requirements shall be determined by use as required by Paramount Municipal Code Section 44-130.

e. Sign Standards:

1) No freestanding signs shall be permitted. Industry identifications where desired shall be by attached signs consistent with the building architecture or with signs in planters or planter mounds not to exceed 3 feet in height measured from curb level.

2) A hierarchy of signs shall be established as follows:

- Special Entry/Corner Signs: Identifying overall developments
- Site/Major Tenant signs: Installed at key vehicular entrances to identify the tenants within the development
- Other signs: Directional, individual, tenant signs



f. Industrial Development Guidelines – The following industrial guidelines are tailored specifically to this land use type. The intent and purpose of the district is to provide medium density industrial uses.

1) Architecture: Architectural consideration shall include, but not be limited to, the following provisions:

- Exterior walls shall be of concrete or masonry construction. Metal, plastic, and wood may be used for exterior finish only if used in a decorative manner as approved by the Community Development Department.
- All exterior walls shall be surfaced with decorative materials.

- Colors, materials, finishes, and build forms are to be coordinated in a consistent manner on all elevations.
- All overhead doors visible from public rights-of-way shall be recessed a minimum of 3 feet.
- Height of structures will not exceed 50 feet.

- 2) Lighting: Lighting shall be designed not only to afford safety and security, but shall serve to enhance the general appearance of the proposed development. Parking lot lighting fixtures are to have a minimum 16 feet height and a maximum 25 feet height and shall be shielded from the public right-of-way. Walkway lighting fixtures are to have a height no greater than 12 feet. Security lighting fixtures are to project above the parapet or roof line of the building and are to be shielded from streets and other properties. The shields shall be painted to match the surface to which attached. Security lighting fixtures are not to be substituted for parking lot or walkway lighting fixtures and are restricted to lighting of entrances, loading and storage areas, and similar service areas. Variances from these lighting standards may be approved by the Community Development Director.

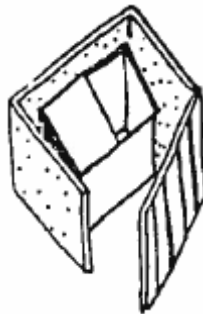


- 3) Mechanical Equipment and Ductwork:
- All roof mounted mechanical equipment and/or ductwork which projects above the roof parapet and is visible from any existing or proposed one or two-story structure in the vicinity shall be screened by an enclosure which is view-obscuring and consistent with the architecture of the building.

- Cyclone blowers shall be screened by walls or fences, and shall be located below the parapet of the building. They shall not be located on the front of a building and shall be painted to match the surface to which attached. Mechanical equipment shall not be exposed on any exterior wall surface of a building.
- Incinerators are prohibited.
- Gutters and downspouts are to be painted to match the surface to which attached unless used as a major design element, in which case the color is to be consistent with the color scheme of the building.
- Vents, louvers, exposed flashing, tanks, stacks, overhead doors, and service doors are to be painted consistent with the color scheme of the building.
- Metal enclosures, open craneways, and similar structures shall be limited to those portions of sites which will not be visible from adjoining streets.

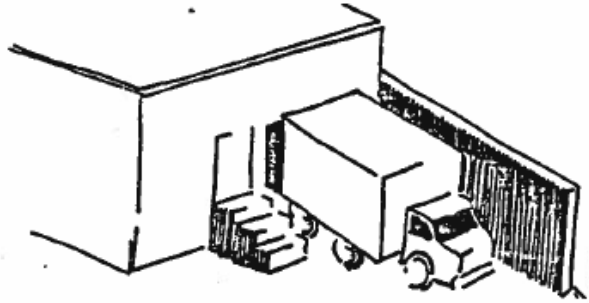
4) Storage and Screening:

- Storage: The outdoor storage of wares, merchandise, materials, equipment, crates, bottles, or similar items shall not be permitted within the Specific Plan area.
- Screening-Trash Receptacles: All outdoor trash and refuse storage areas located within public view shall be enclosed from view on all sides not adjacent to a building by a concrete block or masonry wall with solid wood or metal gate at least 6 feet high.



- Screening-Loading Areas: Loading areas or docks shall be located in a manner that prohibits a truck from backing into such an area from any street other than an industrial collector street. All

loading doors facing any local industrial collector street shall be a minimum of 70 feet from any property line adjacent to said street, unless otherwise approved by the Development Review Board.



- 5) Landscaping: A minimum of 7 percent of the total square footage of the site shall be landscaped. Exclusive of driveways and walkways, all required setback areas shall be totally landscaped and improved in accordance with the provisions specified herein. Landscaping plans specifying the size, type, quantity, and location of all plant material shall be submitted to the Community Development Director or designated agent for approval prior to the issuance of a building permit. All required landscaping areas shall be subject to but not limited to the following minimum standards:
- Irrigation: All landscaped areas shall be provided with a fixed and permanent watering system, consisting of piped water lines with sufficient sprinklers to ensure complete coverage.
 - Planters: All landscaping shall be planted in permanent planters surrounding by 6" X 6" tall concrete curbing except where a planer abuts a building or concrete block wall.
 - Trees: One 36-inch-box tree and three 24-inch-box trees shall be required for every 50 lineal feet of landscaping, adjacent to any public right-of-way. All trees shall be a minimum 24-inch-box size.
 - Turf: All setback areas shall be fully landscaped as a minimum requirement. Additional plant material such as shrubs and groundcover shall be used as supplements.

- Approval Criteria: Landscaping plans will consider, but not be limited to the following items: 1) The adequacy of plant material in achieving a buffer along public streets: 2) The use of landscaping to enhance the aesthetic quality of property and buildings: 3) The general suitability relative to the placement and type of plant material selected for screening purposes.

F. HOUSING DEVELOPMENT PROVISIONS

The intention of these provisions is to provide housing of superior design and quality with objective development standards. All improvements and operations shall conform to the following provisions:

1. Permitted Uses: The following uses are permitted in this zone:
 - Multiple family dwellings (rental and owner-occupied) at a minimum density of 20 units per acre and a maximum density of 22 units per acre
 - Mixed-use buildings with multiple family dwellings above a maximum of one floor of uses identified in the Commercial Development Provisions, Office/Professional Development, and Industrial Provisions sections of the Clearwater East Development Plan
 - Live/work units (rental and owner-occupied) at a minimum density of 20 units per acre and a maximum density of 22 units per acre with direct interior access between living and work spaces in which work spaces shall be limited to the first/ground floor with a direct pedestrian entrance to the work space separate from the residential entrance
 - Senior housing for senior citizens as defined in Section 51.3 of the California Civil Code, developed, substantially rehabilitated, or substantially renovated for habitation at a minimum density of 20 units per acre and a maximum density of 22 units per acre
 - Parking structures
2. Limitations and Conditions: All permitted uses shall be subject to the following conditions and limitations:
 - All non-housing uses that require a conditional use permit in the Commercial Development, Office/Professional Development, and Industrial Development provisions shall obtain a conditional use permit before operating in a mixed-use building

- All uses shall be conducted within an enclosed building (excluding parking lots or parking garages)
- Storage shall be limited to the accessory storage on the premises and shall be within an enclosed building
- All products made incidental to a permitted use which are manufactured, processed, or treated on the premises shall be sold on the premise and at retail only
- Residential uses shall occupy 50 percent or more of the total floor area of a mixed-use project
- Housing shall comply with the most recently adopted Paramount Housing Element, including the accommodation of the mixed-income allocation of the Regional Housing Needs Assessment (RHNA)

3. Specific design criteria for address signs shall be as follows:

- Each occupant shall be allowed to place upon each primary entrance not more than one hundred forty-four square inches of gold leaf or decal application lettering not to exceed two inches in height indicating hours of business, emergency telephone, etc. Type face shall be subject to approval by the Community Development Director.
- Premise numbers shall be placed on a wall facing the street on which the number is assigned, and shall be permanent in character and of contrasting color so as to be easily readable.

4. Specific design criteria for monument signs shall be as follows:

- Monument signs shall be allowed where the site area equals one-half acre or more, or on sites which have a minimum ten-foot landscaped setback.
- Monument signs shall be placed in a landscaped planter area which shall include a minimum of two hundred square feet
- One monument sign shall be allowed per one hundred fifty lineal feet of street frontage
- No more than two rows of letters are permitted, provided their maximum total height does not exceed the height of the net sign area (overall height times width of the signs, including all trim and molding)
- Monument signs shall display only the project title or name of the same of the major tenant
- Maximum sign area shall be one-half foot of sign area per lineal foot of street frontage, not to exceed 100 square feet of sign area

5. Development Standards

- Height. The height of buildings shall not exceed forty-five (45) feet
- Floor Area. The maximum permitted floor area contained in all buildings shall not exceed four (4) times the area of the lot
- Setbacks:
 - 1) Front Yard. Residential or mixed-use buildings, walls or structures shall not be located closer than ten (10) feet from the property line. Said setback shall be totally landscaped and shall not permit any off-street parking.
 - 2) Side Yard. On corner lots and reverse corner lots, a minimum setback of ten (10) feet shall be provided. This area shall be totally landscaped. On interior lots, no side yard need be provided except as may be required by a variance, conditional use permit or unclassified use permit.
 - 3) Rear Yard. There is no requirement for buildings in the rear of housing parcels, except when such parcel borders a public street, in which case the setback shall be the same as front yard requirements.
- Architectural, site, and design elements:
 - 1) Private, covered entries for each housing unit.
 - 2) Varying building setbacks of at least three feet.
 - 3) The maximum height of walls, fences, or gates between a building with housing and a public street is 42 inches. Walls, fences, and gates finish materials shall be reviewed and approved by the Director of Community Development.
 - 4) Ground floor (non-residential) tenant spaces located on the public street or sidewalk shall have their primary entrance located adjacent to the public street or sidewalk.
 - 5) Ground floor (non-residential) tenant spaces not located on the street or sidewalk shall have their primary entrance located adjacent to a pedestrian paseo, courtyard or plaza that is connected to a public street.

- 6) Stucco material shall be smooth texture.
- 7) Exterior trim, including but not limited to wood siding, brick, stone, slumpstone, or other decorative treatments.
- 8) Varied exterior building materials and textures, including details such as doors, windows, palladium windows, balconies, porches, arches, columns, hand rails, metal louvers, and other decorative treatments and architectural details.
- 9) Tarps made from materials including, but not limited to, canvas, fabric, plastic, rubber, nylon or acetate are prohibited from use as carports, patio covers, and shade covers in required front, rear, and side setback areas, and over driveways. Tarps are prohibited from use as covers for outside storage in front setbacks and side setbacks that abut a street or alley, and over driveways. Tarps may be used to drape common household items (e.g. bicycles, lawn maintenance equipment, firewood) in a required rear yard area or side yard area that does not abut a street or alley, provided that the tarp does not exceed the height of the rear or side yard fence, or exceed a height of six feet. Tarps shall be maintained in good condition. The criteria utilized in evaluating the condition of a tarp shall include, but not be limited to, torn, stained, dirty, and/or faded material. The provisions of this section do not apply to free standing fabric shade structures that are professionally manufactured, mechanically folding, “pop up” style shade structures located on residential uses. These structures may be placed within the required rear yard area, but are prohibited in front and side yards, and over driveways. Permitted fabric shade structures shall be maintained in good condition. The criteria utilized in evaluating the condition of a fabric shade structure shall include, but not be limited to, torn, stained, dirty, and/or faded material, and damaged support structures.
- 10) The installation of exterior window security bars is prohibited.
- 11) Along public streets, transparent wall openings, such as storefront windows and doors, shall comprise at least 50% of a building’s street level façade(s). Such

openings shall be located between two feet and eight feet from the finished floor level of the ground floor.

- 12) Each building with a residential component shall provide information concerning local transit services at a primary entry point to the site or building. The information shall be prominently displayed, updated quarterly, and shall include phone numbers, internet information, and brochures and maps for local bus and rail service.
- 13) To avoid blank walls that would detract from the experience and appearance of an active streetscape there shall be no blank walls (without doors or windows) longer than 50 feet along sidewalks on public streets. Walls with public art installations approved by the Director of Community Development shall be exempt.
- 14) No individual building shall have more than 200 feet of frontage along a public street.
- 15) A minimum of 40 square feet of private open space (decks, balconies, patio) shall be provided per housing unit. A minimum of 40 square feet of common open space (courtyards) shall be provided per housing unit.
- 16) All surface or ground mounted mechanical equipment, including transformers, terminal boxes, pull boxes, air conditioner condensers, gas meters and electric meter cabinets shall be screened from public view and treated to match the materials and colors of the building which they serve.
- 17) Paved areas, excluding parking and driveway areas, shall consist of enhanced paving materials such as stamped concrete, permeable paved surfaces, tile, and/or brick pavers.
 - Parking: Vehicular parking requirements shall be determined by use as follows:
 - 1) Efficiency/studio – 1.5 per unit for resident parking and 0.15 per unit for guest parking.
 - 2) One, two, or three bedroom units – 2 per unit for resident parking and 0.2 per unit for guest parking.

- 3) Senior housing – 0.8 per unit for resident parking and 0.3 per unit for guest parking.
 - 4) Live/work units – 2 per unit for resident parking and 0.15 per unit for guest parking.
 - 5) Commercial/Office/Professional/Industrial uses require parking at the rate specified in the respective sections of the Clearwater East Development Plan.
- Parking structures:
 - 1) No parking or loading areas shall be visible on the ground floor of any building facade that faces a public street, except the minimum ground-level frontage required for walkways and driveways required for access to parking and loading areas.
 - 2) All parking, loading, or circulation located above the ground floor shall be integrated into the design of the building facade so that it is not visible from the street. The parking levels may be screened with other materials, or lined with habitable floor area.
 - 3) Exhaust vents shall be located and directed away from residential uses.
 - 4) Surfaces of floors and ramps of parking structures within 200 feet of housing shall be textured to reduce tire squeal.
 - Electric vehicle infrastructure – the Community Development Director shall review and approve an electric vehicle charging station plan. A minimum of eight percent of automobile parking spaces provided in a project shall be capable of supporting electric vehicle (EV) supply equipment.
 - Bicycle facilities – the Community Development Director shall review and approve a bicycle parking plan.
 - Landscaping

- 1) Exclusive of driveways and walkways, all required setback areas shall be landscaped and improved in accordance with the provisions specified herein. Landscaping plans specifying the size, type, quantity, and location of all plant materials shall be submitted to the Community Development Director for approval. All required landscaping areas shall be subject to, but not limited to, the following minimum standards:
 - Irrigation: All landscaped areas shall be provided with a fixed and permanent watering system, consisting of piped water lines with sufficient sprinklers to ensure complete coverage
 - Planters: All landscaping shall be planted in permanent planters surrounded by six-inch tall concrete curbing, except where a planter abuts a building or concrete block wall
 - Trees:
 - One 36-inch-box shade/canopy tree and three 24-inch-box shade/canopy trees shall be required for every fifty lineal feet of landscaping, adjacent to any public right-of-way.
 - All trees shall be a minimum twenty-four-inch box size.
 - Accents: All setback areas shall be fully landscaped as a minimum requirement. Additional plant material, such as shrubs and groundcover, may be used to supplement landscaped areas.
 - Approval criteria for landscaping plans will consider, but not be limited to, the following items:
 - The adequacy of plant material in achieving a buffer along public streets.
 - The use of landscaping to enhance the aesthetic quality of property and buildings.
 - The general suitability, relative to the placement and type, of plant material selected for screening purposes.

- Refuse Storage Areas

All uses permitted in this category shall be provided with refuse storage facilities in the following manner.

- 1) There shall be provided and maintained within one hundred feet of each building an enclosure for the purpose of storing containers for garbage, waste, refuse and trash of all persons utilizing said parcel. Said enclosure shall have on each side thereof a solid reinforced masonry wall of not less than five feet in height. All openings shall be equipped with gates or doors which meet the height requirement of this subsection and the fence requirements for durability. Such gates or doors shall be equipped at all times with a fully operating, self-closing device. At least one opening, gate, or door shall be of sufficient width to provide reasonable and necessary access to the storage area and said opening door or gate shall at all times be located and maintained at such a place and in such fashion that access to the storage area for the deposit and removal of waste, trash, refuse and garbage is reasonably afforded. The City may approve substitution of a solid fence or other material when, in its opinion, such fence or other material will adequately comply with the provisions of this subsection.
- 2) All garbage stored within such enclosures shall be placed and maintained in a metal or plastic container which has an overlapping fly-tight lid. The lid shall be secured in-place at all times when the container is not being filled or emptied.
- 3) Waste, refuse, and trash (other than garbage) shall be placed, maintained, and stored in a container of substantial design and construction that will retain trash, refuse, and waste and may be readily emptied by trash collectors; which will not

readily disintegrate, fall apart, blow, or scatter about the premises.

- 4) Garbage, waste, refuse, and trash may also be stored in metal bins equipped with wheels approved by the Community Development Director. All garbage, waste, refuse, and trash contained in such bins shall be maintained within the interior of the metal bins and shall be equipped with a lid which shall be completely closed at all times except when being filled or emptied.
- 5) All of said aforementioned containers shall be kept and maintained within the walls of said enclosure except when being emptied by a collector.

V. PLAN ADMINISTRATION

A. INTRODUCTION

This plan will be implemented through review by the Planning Commission and the Development Review Board to insure conformity with Specific Plan regulations and responsiveness to applicable guidelines. This section of the plan contains the rules for review of development projects.

B. GENERAL ADMINISTRATION

Three basic procedures are specified for the review of projects: 1) Development Review Board/Planning Commission approval; 2) Tract Map approval by the Planning Commission and City Council for any project requiring the creation of lots, including condominium projects; 3) Nondiscretionary approval for housing projects in compliance with the adopted and certified Paramount Housing Element.

1. Development Review Board approval shall be obtained in accordance with the provisions of Sections 44-210 et. seq. of the Paramount Municipal Code. The Board may approve, modify, conditionally approve, or deny said application.

The Development Review Board may require additional studies or development provisions at the time of site plan review for individual projects. Recommendations may include detailed noise, vibration and/or odor studies and incorporation of specific design features to ensure compatibility between different land use types. These may include, but not be limited to:

- Building orientation
 - Façade articulation
 - Bioswales/landscaping
 - Type of building materials used
 - Use of double paned windows
 - Additional buffering or setback standards
2. Prior to the creation of any lots, a tentative tract map shall be processed in accordance with the provisions of Chapter 39 of the Paramount Municipal Code. The Planning Commission may approve, modify, conditionally approve or deny said application.
 3. Nondiscretionary approval of housing projects is permitted for projects in compliance with the adopted and certified Paramount Housing Element. Such projects are subject to review by the Community Development Director for compliance with City of Paramount development standards as provided by the Clearwater East Specific Plan.
 4. Certificate of Occupancy for housing. No certificate of occupancy may be issued for a project required to provide affordable housing in accordance with the most recently adopted Paramount Housing Element unless a certificate of occupancy is concurrently, or has already been, issued for all restricted affordable units.
 5. Affordability Covenant. A covenant guaranteeing affordability criteria for 55 years from the issuance of a Certificate of Occupancy and acceptable to the City Attorney shall be recorded with the Los Angeles County Recorder.

C. AMENDMENTS

1. Requirement and Procedures

This plan may be amended at any time in the same manner and by the same process by which the plan was originally adopted. Said amendments(s) shall not require a concurrent General Plan Amendment unless, by determination of the Director of Community Development, the General Plan goals, objectives, policies, or programs would be substantially affected by the proposed change.

2. Administrative Actions

The addition of new information to the Specific Plan that does not change the effect of any concepts or regulations may be made administratively by the Director of Community Development, subject to appeal to the Planning Commission.

VI. APPENDICES

A. GENERAL PLAN CONSISTENCY

As described in the Objective and Policies section (II-b), this regulatory Specific Plan is consistent with the Paramount General Plan through implementation of the General Plan goals, objectives, policies and programs, as well as the Clearwater East Policy Level Specific Plan. The following policies are taken directly from the Polity Level Plan.

1. Development of office use and commercial use, in-lieu of industrial use, if market feasibility is demonstrated.
2. Site plan review in accordance with City design guide-lines will include, but not be limited to, architectural facades, material, color, texture, massing, bulk, scale, landscaping, signage, and street furniture.

Method of Implementation: Site plan review will be reviewed by any or all of the following: a) Development Review Board; and/or b) Planning Commission and City Council. These committees will ensure project conformity with regulations and applicable guidelines contained with the regulatory plan. Housing projects in compliance with the adopted and certified Paramount Housing Element are eligible for nondiscretionary review by the Community Development Director.

3. The City and/or Parking Authority may share in property acquisition and/or development costs of improvements, if cost effective.

B. GENERAL FINDINGS

1. The Clearwater East Specific Plan is consistent with the Paramount General Plan and other relevant City goals.
2. Reasonable alternatives to the plan and their implications have been considered.
3. The amount and arrangement of uses are appropriate to the project site and are compatible with existing and planned adjacent uses.
4. The plan contributes to a balance of land uses so that local residents may work and shop in the community in which they live.
5. The scope and depth of environmental, policy and fiscal analysis are commensurate with the level of detail contained in the plan and the specific land use entitlement its adoption authorizes.

6. The various components of the plan, as well as the plan in its entirety, are sensitive to environmental and public policy impacts.
7. Appropriate mitigation measures are incorporated in the plan to ensure that concerns identified at this level of planning are resolved as part of the more detailed development planning which must be completed before private development may proceed.
8. Administration of the plan is thoroughly integrated into the City's development processing system.
9. All subjects required in a Specific Plan by the California Government Code and applicable City ordinances are appropriately and adequately covered.
10. Adequate time and opportunities have been afforded interested organizations and members of the public to comment on or propose changes to the plan if they so desired.

C. DETAILED FINDINGS

1. Existing ownership parcelization that could potentially create piecemeal development can be reviewed, coordinated or controlled through Development Review Board review or acquisition by the Paramount City Council.
2. City water facilities can adequately supply proposed developments. Improvements that might be needed to the system will be incurred at the expense of developers.
3. In coordination with the Public Works Department, a project must identify and implement specific on- and off-site improvements needed to ensure that impacts related to water conveyance and demand/pressure requirements are addressed prior to issuance of a certificate of occupancy.
4. Extension/improvements to sewer lines will be handled by establishment of an Assessment District or be the responsibility of the developer.

MAY 7, 2019

ORAL REPORT

HOUSING LEGISLATION UPDATE, SENATE BILL 50

MAY 7, 2019

RESOLUTION NO. 19:012

“A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT
APPROVING THE ACQUISITION OF PROPERTY IDENTIFIED AS
ASSESSOR’S PARCEL NUMBER 6239-009-022”

MOTION IN ORDER:

READ BY TITLE ONLY AND ADOPT RESOLUTION NO. 19:012.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____



To: Honorable City Council

From: John Moreno, City Manager

By: Kevin M. Chun, Assistant City Manager/
Community Development Director
John Carver, Assistant Community
Development Director

Date: May 7, 2019

Subject: RESOLUTION NO. 19:012

This item is a resolution approving the acquisition of a parcel of land located on the east side of Mark Keppel Elementary School, identified as Assessor's Parcel Number 6239-009-022. The site is a tax-defaulted property with the County of Los Angeles, and is offered for sale for \$2,558.00.



The 2,760 square foot site measures 246 feet in length and varies in width from 14 feet to 24 feet. The site is not accessible from any public right-of-way (see aerial photo with the property outlined in blue). The last known property owner resides in Bellflower and has not maintained the property for many years. As a result, the site has been a long-standing code enforcement problem. It appears that at some point in time Mark Keppel Elementary School began to use the southern section of the parcel for the storage of several large metal containers and for parking. We will offer for sale this portion to the School District. By purchasing the site, the City will be able to eliminate a public nuisance. After purchasing the parcel, the City would ensure that the site remains free of weeds. Additionally, the City would approach the single-family homeowner at the southeast end of El Camino Avenue about purchasing the northern section of the parcel for incorporation into the rear yard of the single-family property. The tax-defaulted property was identified for purchase through the City's ACTION program, which designates funding for neighborhood preservation and enhancement at the direction of an interdepartmental working group.

Environmental Assessment

This project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15332, Class 32 Categorical Exemption – infill development projects.

RECOMMENDED ACTION

It is recommended that the City Council read by title only and adopt Resolution No. 19:012.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

RESOLUTION NO. 19:012

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT APPROVING THE ACQUISITION OF PROPERTY IDENTIFIED AS ASSESSOR'S PARCEL NUMBER 6239-009-022, AS SHOWN ON THE ATTACHED EXHIBIT "A" AND DESCRIBED IN THE ATTACHED EXHIBIT "B"

WHEREAS, the property identified as Assessor's Parcel Number 6239-009-022 is a tax-defaulted property with the County of Los Angeles; and

WHEREAS, the Treasurer and Tax Collector for the County of Los Angeles is offering this parcel for sale for \$2,558.00; and

WHEREAS, this parcel is a public nuisance due to a lack of maintenance; and

WHEREAS, the City Council of the City of Paramount desires to purchase this parcel to eliminate a public nuisance; and

WHEREAS, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15332, Class 32 Categorical Exemption – in-fill development projects.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. This Resolution shall take effect immediately upon its adoption.

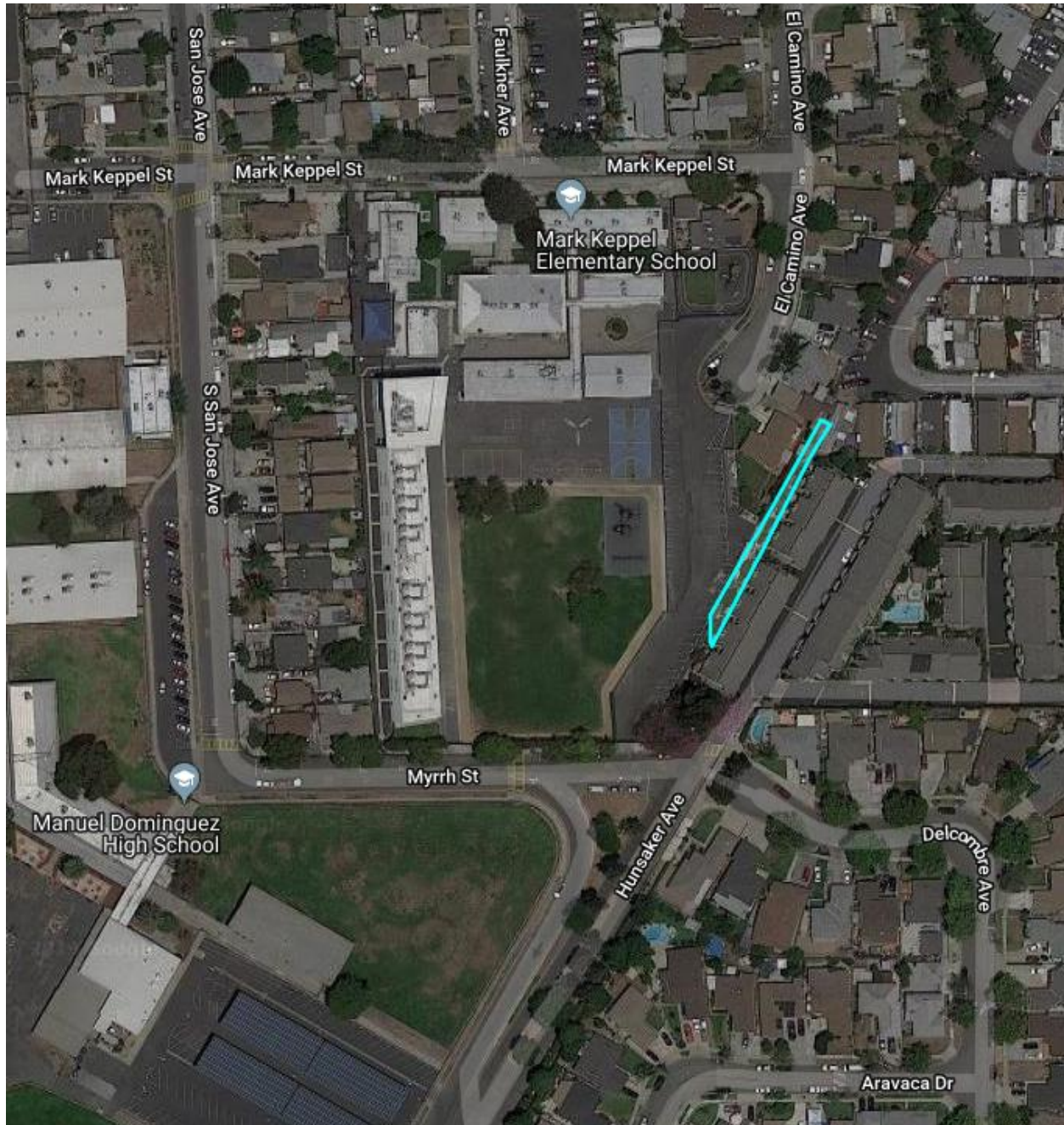
PASSED, APPROVED, and ADOPTED by the City Council of the City of Paramount this 7th day of May 2019.

Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

EXHIBIT "A"



Subject Property

EXHIBIT "B"

TRACT # 20556 THAT PART SW OF SE PROLONGATION OF SW LINE OF LOT 15
OF LOT 43.

h:\comdev\general\wpjohn\reports 2019\cc\reso 19012 res purchase of property.docx

MAY 7, 2019

RESOLUTION NO. 19:013

“A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT ELECTING TO BE EXEMPT FROM THE CONGESTION MANAGEMENT PROGRAM AS DESCRIBED IN CALIFORNIA GOVERNMENT CODE SECTION 65088 TO 65089.10”

MOTION IN ORDER:

READ BY TITLE ONLY AND ADOPT RESOLUTION NO. 19:013.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council

From: John Moreno, City Manager

By: Kevin M. Chun, Assistant City Manager/
Community Development Director
John Carver, Assistant Community
Development Director

Date: May 7, 2019

Subject: RESOLUTION NO. 19:013

This item is a request to adopt a resolution exempting the City of Paramount from the Congestion Management Program (CMP). The CMP was initiated in 1990 as part of a legislative package to implement Proposition 111, which increased the State gas tax from 9 cents to 18 cents. The intent of the CMP was to tie the appropriation of new gas tax revenues to congestion reduction efforts by improving land use and transportation coordination.

After the passage of Proposition 111 the State established the specific requirements of the CMP, and designated the Los Angeles County Metropolitan Transportation Authority (Metro) as the agency responsible for the CMP in Los Angeles County. The CMP largely uses a level of service (LOS) performance metric which is a measurement of vehicle delay. The CMP is firmly grounded in the idea that congestion can be mitigated by continuing to add capacity to roadways.

While the CMP requirement was one of the pioneering efforts to conduct performance-based planning, the approach has become antiquated and expensive. The CMP is outdated and increasingly out of step with current regional, State, and federal planning processes and requirements, including new State laws for transportation performance measures related to greenhouse gas reductions. These State laws include Assembly Bill (AB) 32 (California Global Warming Solutions Act of 2006), Senate Bill (SB) 375 (Sustainable Communities and Climate Protection Act of 2008), SB 743 (Environmental Quality), and SB 32 (California Global Warming Solutions Act of 2006). These pieces of legislation move away from the LOS metric directly or indirectly, making the LOS measurement inconsistent with new State-mandated performance measures, such as vehicle miles traveled (VMT), enacted by SB 743.

Pursuant to California Government Code Section 65088.3, jurisdictions within a county may request to be exempt from the CMP requirement without penalty, if a majority of local jurisdictions representing a majority of the county's population formally adopt resolutions requesting to be exempt from the program.

CMP exemption will allow the City to formally break from the reporting program that the City Council had previously reviewed on an annual basis. Metro has been working on a program to replace the CMP, and it is anticipated that the new program will be completed later this year.

On June 28, 2018, the Metro Board of Directors took action to direct Metro staff to work with local jurisdictions to prepare the necessary resolutions to exempt Los Angeles County from the CMP. Thirty-three of the 88 cities in Los Angeles County have passed resolutions to be exempt from the CMP. A number of these cities are in the Gateway Cities Council of Governments and include: Bell Gardens, Cerritos, Pico Rivera, and South Gate. Additionally, the Gateway Cities Board of Directors voted to support cities to adopt resolutions to be exempt from the CMP.

RECOMMENDED ACTION

It is recommended that the City Council read by title only and adopt Resolution No. 19:013.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

RESOLUTION NO. 19:013

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
PARAMOUNT ELECTING TO BE EXEMPT FROM THE CONGESTION
MANAGEMENT PROGRAM AS DESCRIBED IN CALIFORNIA
GOVERNMENT CODE SECTION 65088 TO 65089.10

WHEREAS, in 1990 the voters of California passed Proposition 111 and the requirement that urbanized counties develop and implement a Congestion Management Program; and

WHEREAS, the State established the specific requirements of the Congestion Management Program by passage of legislation which was a companion to Proposition 111 and is encoded in California Government Code Section 65088 to 65089.10; and

WHEREAS, the Los Angeles County Metropolitan Transportation Authority (Metro) has been designated as the Congestion Management Agency responsible for Los Angeles County's Congestion Management Program; and

WHEREAS, California Government Code Section 65089.3 allows urbanized counties to be exempt from the Congestion Management Program based on resolutions passed by local jurisdictions representing a majority of a county's jurisdictions with a majority of the County's population; and

WHEREAS, the Congestion Management Program is outdated and increasingly out of step with current regional, State, and federal planning processes and requirements, including new State requirements for transportation performance measures related to greenhouse gas reductions; and

WHEREAS, on June 28, 2018, the Metro Board of Directors took action to direct Metro staff to work with local jurisdictions to prepare the necessary resolutions to exempt Los Angeles County from the Congestion Management Program.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The City Council hereby elects to be exempt from the Congestion Management Program as described in California Government Code Section 65088 to 65089.10.

SECTION 3. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED, and ADOPTED by the City Council of the City of Paramount this 7th day of May 2019.

Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

MAY 7, 2019

A. RESOLUTION NO. 19:015

“A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT APPROVING THE ENGINEER'S REPORT FOR CERTAIN LANDSCAPING IMPROVEMENTS FOR LANDSCAPING AND MAINTENANCE ASSESSMENT DISTRICT NO. 81-1”

MOTION IN ORDER:

READ BY TITLE ONLY AND ADOPT RESOLUTION NO. 19:015.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

B. RESOLUTION NO. 19:016

“A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT DECLARING ITS INTENTION TO LEVY AND COLLECT ASSESSMENTS WITHIN LANDSCAPING AND MAINTENANCE ASSESSMENT DISTRICT NO. 81-1 FOR THE FISCAL YEAR 2019-2020 AND SETTING A TIME AND PLACE FOR A PUBLIC HEARING THEREON”

MOTION IN ORDER:

READ BY TITLE ONLY AND ADOPT RESOLUTION NO. 19:016.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Adriana Figueroa, Public Works Director
William C. Pagett, City Engineer
Date: May 7, 2019

**Subject: RESOLUTION NOS. 19:015 AND 19:016
APPROVING THE ENGINEER'S REPORT AND CITY COUNCIL'S
INTENTION TO LEVY AND COLLECT ANNUAL ASSESSMENTS FOR
LANDSCAPE MAINTENANCE DISTRICT NO. 81-1**

City Council Resolution No. 19:007 ordered the preparation of the annual engineer's report for Landscape Maintenance Assessment District No. 81-1. The report includes plans, specifications, cost estimates, diagram, and assessment for the Landscape Maintenance District in the Orange Avenue Industrial Park for Fiscal Year 2019-2020.

Pursuant to the Landscape and Lighting Maintenance Act of 1972, the City Engineer has prepared a report including the plans and specifications, estimate of costs, diagram of the landscape maintenance district, and an assessment of costs for the fiscal year commencing July 1, 2019.

The assessments in 2018-19 were \$14,200. The assessments in 2019-20 will be \$14,200. This assessment will be spread among the 29 parcels.

Two procedural steps are necessary at this meeting. The first is to approve the City Engineer's report by adopting Resolution No. 19:015. The second step is to approve Resolution No. 19:016 declaring the City Council's intention to levy and collect assessments for certain landscaping improvements and setting a public hearing date for June 4, 2019.

RECOMMENDED ACTION

It is recommended that the City Council read by title only and adopt Resolution No. 19:015 and Resolution No. 19:016.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

RESOLUTION NO. 19:015

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT APPROVING THE ENGINEER'S "REPORT" FOR CERTAIN LANDSCAPING IMPROVEMENTS FOR LANDSCAPING AND MAINTENANCE ASSESSMENT DISTRICT NO. 81-1

WHEREAS, pursuant to the provisions of Division 15, Part 2, of the Streets and Highways Code of the State of California, being known as the "Landscaping and Lighting Act of 1972", this City Council did, by previous Resolution, order the preparation of an Engineer's "Report" consisting of plans and specifications, an estimate of the cost, diagram of the proposed district, and an assessment relating to what is now known and designated as

CITY OF PARAMOUNT
LANDSCAPE AND MAINTENANCE ASSESSMENT DISTRICT NO. 81-1

(hereinafter referred to as the "District"); and

WHEREAS, there now has been presented to this City Council the "Report" as required by Division 15 of the Streets and Highways code and as previously directed by Resolution; and

WHEREAS, this City Council has now carefully examined and reviewed the "Report" as presented, and is satisfied with each and all of the items and documents as set forth therein and is satisfied that the assessments, on a preliminary basis, have been spread in accordance with the benefits received from the maintenance to be performed as set forth in said "Report."

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. That the "Report" as presented, consisting of the following:

- a. Plans and Specifications
- b. Estimate of Cost
- c. Diagram of the District
- d. Assessment of the Estimated Cost

is hereby approved on a preliminary basis, and is ordered to be filed with the Office of the City Clerk as a permanent record and to remain open for public inspection.

SECTION 3. That the City Clerk or her duly appointed Deputy, shall certify to the passage and adoption of this Resolution and the Minutes of this meeting shall so reflect the presentation of the Engineer's "Report."

SECTION 4. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED, and ADOPTED by the City Council of the City of Paramount this 7th day of May 2019.

Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

RESOLUTION NO. 19:016

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT DECLARING ITS INTENTION TO LEVY AND COLLECT ASSESSMENTS WITHIN LANDSCAPING AND MAINTENANCE ASSESSMENT DISTRICT NO. 81-1 FOR THE FISCAL YEAR 2019-2020 AND SETTING A TIME AND PLACE FOR A PUBLIC HEARING THEREON

WHEREAS, by Resolution No. 19:007, the City Council ordered the Engineer to prepare and file a Report for the Landscaping and Maintenance Assessment District No. 81-1 for the Fiscal Year 2019-2020 pursuant to Section 22585 of the California Streets and Highways Code; said maintenance district is hereinafter referred to as the "District"; and

WHEREAS, at this time, there has been presented and approved by this City Council the Engineer's "Report" as required by law, and it is the intention of the City Council to levy and collect assessments pursuant to the provision of the Landscaping and Lighting Act of 1972 (Part 2 of Division 15 of the Street and Highway Code of the State of California).

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. Public Interest. That the public interest and convenience requires, and it is the intention of this City Council to levy and collect annual assessments for the continual maintenance of certain landscaping improvements, all to serve and benefit said District as said area is shown and delineated on a map as previously approved by this City Council and on file in the Office of the City Clerk, open to public inspection, and herein so referenced and made a part hereof.

SECTION 3. Report. That the "Report" of the Engineer regarding the levy and assessment of said District, which "Report" is for the maintenance of the Fiscal Year 2019-2020, is hereby approved, and is directed to be filed in the Office of the City Clerk.

SECTION 4. Assessment. That the public interest and convenience requires, and it is the intention of this City Council, to levy and collect assessment of the Landscaping and Maintenance Assessment District as set forth and described in said Engineer's "Report", and further is determined to be within the best public interest and convenience to levy and collect annual assessments to pay the costs and expenses of said maintenance and improvement as estimated in said "Report."

SECTION 5. Description of Maintenance. The improvements for which said Landscaping and Maintenance District and the assessments levied and collected, shall be for the maintenance of certain landscaping improvements as set forth in the Engineer's Report, referenced and incorporated herein.

SECTION 6. County Auditor. The County Auditor shall enter on the County Assessment Roll the amount of the assessments and shall collect said assessments at the time and in the same manner as County taxes are collected. After collection by the County, the net amount of the assessments, after the deduction of any compensation due to the County for collection, shall be paid to the Treasurer for the purposes of paying for the costs and expenses of said District.

SECTION 7. Special Fund. The City Treasurer herewith shall establish a special fund known as "CITY OF PARAMOUNT LANDSCAPING AND MAINTENANCE DISTRICT NO. 81-1 MAINTENANCE FUND", into which the said Treasurer shall place all monies collected by the Tax Collector as soon as said monies have been received by said Treasurer. Payment shall be made out of said fund only for the purpose provided for in this Resolution, and, in order to expedite the making of this maintenance and improvement, the City Council may transfer into said special fund, money from any available source, such funds as it may deem necessary to expedite the proceedings.

Any funds so transferred shall be deemed a loan to said special fund and shall be repaid out of the assessments provided for in this Resolution.

SECTION 8. Boundaries of District. Said contemplated improvement and maintenance work is, in the opinion of this City Council, of direct benefit to the properties within the boundaries of the District, and this City Council makes the costs and expenses of said improvement and maintenance chargeable upon a district, which district said City Council hereby declares to be the district benefited by said improvement and maintenance and to be further assessed to pay the costs and expenses thereof. Said Landscaping District shall include each and every parcel of land within the boundaries of said Landscaping District as said Landscaping District is shown on a map as approved by this City Council and on file in the Office of the City Clerk, and so designated by the name of the District.

SECTION 9. Public Property. Any lots or parcels of land known as public property, as the same are defined in Section 22663 of Division 15, Part 2 of the Street and Highways Code, which are included within the boundaries of the Street Lighting and Landscaping District, shall be omitted and exempt from any assessment to be made under these proceedings to cover any of the costs and expenses of said improvement and maintenance work.

SECTION 10. Public Hearing. Notice hereby is given that a public hearing will be held on June 4, 2019, at 6:00 p.m. in the Council Chambers of said City of Paramount in the City Hall, all interested persons may appear before the City Council and be heard concerning the services to be performed, the proposed assessment, and all other matters relating thereto. Protests must be in writing and must be filed with the City Clerk prior to the conclusion of the hearing. Any such protest shall state all grounds of

the objection and, if filed by the property owner, shall contain a description sufficient to identify the property.

SECTION 11. Notice. That the City Clerk is hereby authorized and directed to publish a copy of this Resolution in the PARAMOUNT JOURNAL, a newspaper of general circulation in said City; said publication shall be completed not less than ten (10) days before the date of said Public Hearing.

SECTION 12. Proceedings Inquiries. For any and all information relating to the proceedings, protest procedure, any documentation and/or information of a procedural or technical nature, your attention is directed to the below listed person and the local agency or department so designated:

WILLIAM C. PAGETT
Willdan Engineering
13191 Crossroads Parkway No., Suite 405
Industry, California 91746
(562) 368-4850

SECTION 13. This Resolution shall take effect immediately upon its adoption.

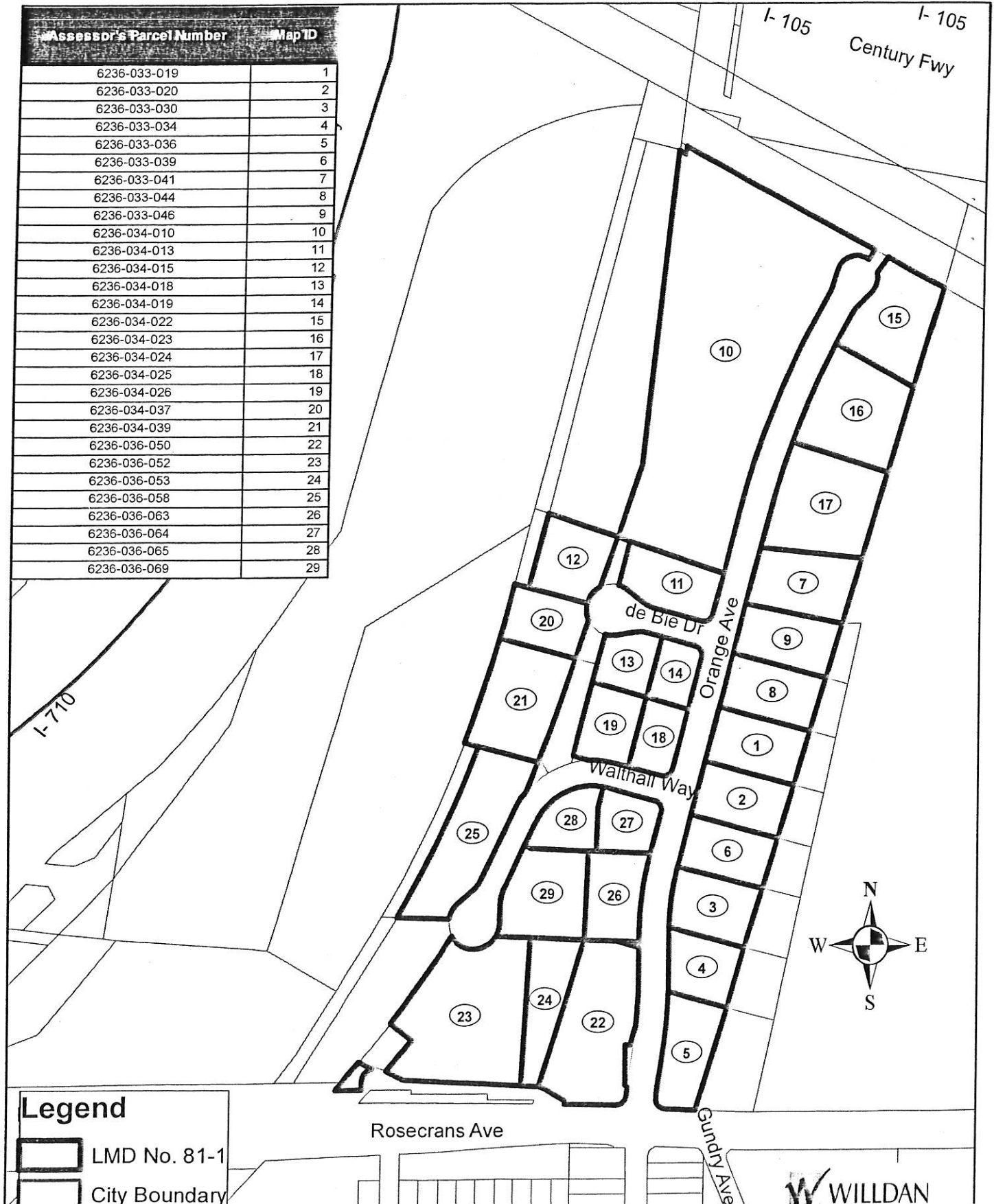
PASSED, APPROVED, and ADOPTED by the City Council of the City of Paramount this 7th day of May 2019.

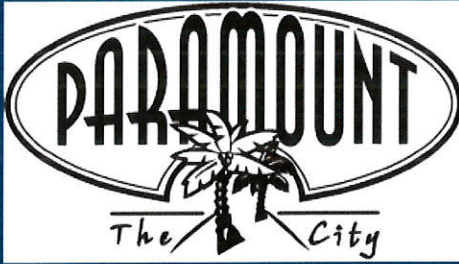
Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

City of Paramount Landscape Maintenance District No. 81-1





City of Paramount

Landscape and Maintenance Assessment District No. 81-1

2019/2020 ENGINEER'S ANNUAL LEVY REPORT

Intent Meeting: May 7, 2019

Public Hearing: June 4, 2019

27368 Via Industria
Suite 200
Temecula, CA 92590
T 951.587.3500 | 800.755.6864
F 951.587.3510 | 888.326.6864

Property Tax Information Line
T. 866.807.6864

www.willdan.com/Financial



ENGINEER'S REPORT AFFIDAVIT
Landscape and Maintenance Assessment
District No. 81-1

City of Paramount
Los Angeles County, State of California


This report describes the District including the improvements, budgets, parcels and assessments to be levied for fiscal year 2019/2020, as they existed at the time of the passage of the Resolution of Intention. Reference is hereby made to the Los Angeles County Assessor's maps for a detailed description of the lines and dimensions of parcels within the District. The undersigned respectfully submits the enclosed report as directed by the City Council.

Dated this 16 day of April, 2019.

Willdan Financial Services
Assessment Engineer
On Behalf of the City of Paramount

By: 

Susana Hernandez
Project Manager, District Administration Services

By: 

Bill Pagett
R. C. E. # 46068

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I. INTRODUCTION

This report is prepared pursuant to action taken by the City Council of the City of Paramount at their regular meeting ordering a report for the levy of assessments for the fiscal year commencing July 1, 2019 and ending June 30, 2020. The report is prepared in recognition with the requirements of the California Constitution Article XIID, and the provisions of the Landscaping and Lighting Act of 1972, being Part 2 of Division 15 of the California Streets and Highways Code. The District is known as:

City of Paramount Landscape and Maintenance Assessment District No. 81-1

This Assessment District, by special benefit assessments, will provide funding for the operation and maintenance of public landscaping facilities within the public rights-of-way in the City of Paramount. The items funded by the District are exempt from the procedural and approval requirements set forth in Section 5a & 5b of Article XIID of the California Constitution that states: "*the following assessments existing on the effective date of this Article shall be exempt from the procedures and approval process set forth in Section 4:*

(a) any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control...

(b) any assessment imposed pursuant to a petition signed by the persons owning all of the parcels subject to the assessment at the time the assessment is initially imposed...

The assessments for the District were petitioned by 100 percent of the owners at the time of formation, and are used exclusively to fund the maintenance and operation expenses for Landscape Improvements that are considered part of the Street Maintenance. Furthermore, the assessments for the District have not been increased since prior to July 1, 1997. Therefore, the Assessment District is exempt from the procedural and approval requirements of Article XIID.

II. BOUNDARIES

Boundaries of the District consist of all properties fronting Orange Avenue or fronting streets that connect to Orange Avenue between Rosecrans Avenue on the south and the Los Angeles Department of Water and Power land rights-of-way on the north. The westerly boundary is the Los Angeles County Flood Control District right-of-way for the Los Angeles River. All parcels of land identified in the latest Los Angeles County Assessor's parcel maps within the above boundaries so designated are included in the Assessment District except those assessments not levied within that area upon public streets, other public properties, properties encumbered by easements so as to preclude development and properties of such small size or irregular shape that buildings or development could not occur upon them in a manner in which the majority of the area has been redeveloped.

III. IMPROVEMENTS AUTHORIZED BY THE 1972 ACT

As applicable or may be applicable to this proposed District, the 1972 Act defines improvements to mean one or any combination of the following:

- The installation or planting of landscaping.
- The installation or construction of statuary, fountains, and other ornamental structures and facilities.
- The installation or construction of public lighting facilities.
- The installation or construction of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof, including, but not limited to, grading, clearing, removal of debris, the installation or construction of curbs, gutters, walls, sidewalks, or paving, or water, irrigation, drainage, or electrical facilities.
- The maintenance or servicing, or both, of any of the foregoing.
- The acquisition of any existing improvement otherwise authorized pursuant to this section.

Incidental expenses associated with the improvements including, but not limited to:

- The cost of preparation of the report, including plans, specifications, estimates, diagram, and assessment;
- The costs of printing, advertising, and the publishing, posting and mailing of notices;
- Compensation payable to the County for collection of assessments;
- Compensation of any engineer or attorney employed to render services;
- Any other expenses incidental to the construction, installation, or maintenance and servicing of the improvements;

- Any expenses incidental to the issuance of bonds or notes pursuant to Section 22662.5.
- Costs associated with any elections held for the approval of a new or increased assessment.

The 1972 Act defines "Maintain" or "maintenance" to mean furnishing of services and materials for the ordinary and usual maintenance, operation, and servicing of any improvement, including:

- Repair, removal, or replacement of all or any part of any improvement.
- Providing for the life, growth, health, and beauty of landscaping, including cultivation, irrigation, trimming, spraying, fertilizing, or treating for disease or injury.
- The removal of trimmings, rubbish, debris, and other solid waste.
- The cleaning, sandblasting, and painting of walls and other improvements to remove or cover graffiti.

IV. IMPROVEMENTS

The improvements consist of maintaining the landscaping within the public rights-of-way at the entranceway to the Orange Avenue Redevelopment Project. Maintenance shall include but not be limited to watering, fertilizing, mowing, weed control, shrubbery and tree pruning, removal and replacement of dead growth, maintenance of irrigation facilities, and other necessary work. Labor, equipment and materials shall be furnished by the City of Paramount.

V. COST ESTIMATE

The costs shown below are estimated for fiscal year 2019/2020 and consist of the total cost for maintaining the improvements, including any surplus or deficit in funds from the previous year for these proceedings. The maintenance costs are determined by evaluating the prior year maintenance costs. The costs for fiscal year 2019/2020 are shown below.

Maintenance and Improvements	Cost
Personnel Cost	\$7,000.00
Supplies, Equipment and Replacement	4,100.00
Incidentals	3,100.00
Total Assessment District Costs FY 2019/2020	\$14,200.00

VI. METHOD OF ASSESSMENT

The District was developed for the special and direct benefit of all the properties included within the District's boundaries, and all parcels benefit from the improvements. Public properties and utility properties have not been assessed. When the District was formed, each of the benefiting properties within the District was assigned a proportional benefit factor.

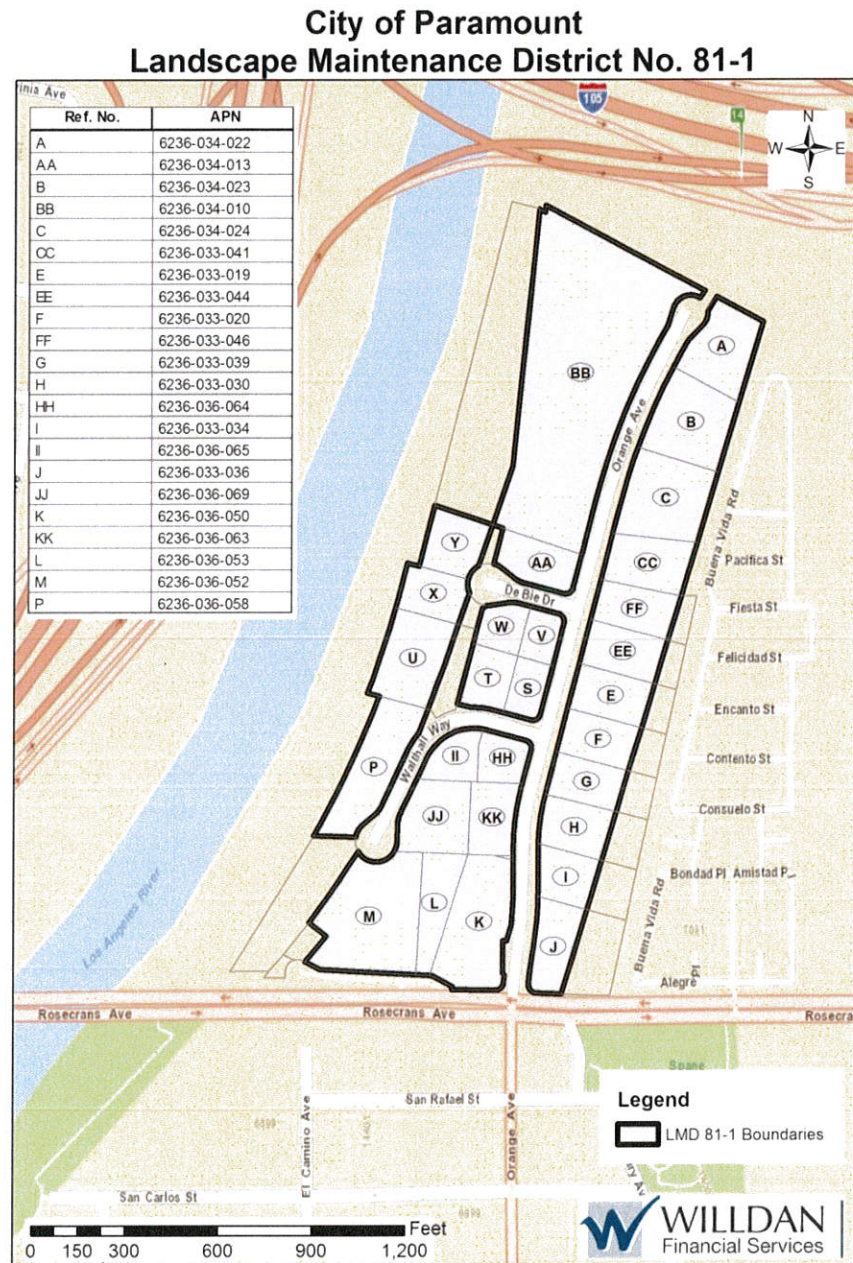
The following is a list of parcels and their proportional allocation originally established.

Assessment Number	Assessor's Parcel Number	Area Percent Allocation	Assessment Number	Assessor's Parcel Number	Area Percent Allocation
A	6236-034-022	2.66	S	6236-034-025	1.35
B	6236-034-023	3.29	T	6236-034-026	1.47
C	6236-034-024	3.57	U	6236-034-039	3.38
E	6236-033-019	2.39	U*	6236-034-038	0.00
E*	6236-033-011	0.00	V	6236-034-019	1.16
F	6236-033-020	2.41	W	6236-034-018	1.12
F*	6236-033-015	0.00	X	6236-034-037	1.51
G	6236-033-039	4.30	X*	6236-034-036	0.00
G*	6236-033-038	0.00	Y	6236-034-015	2.04
H	6236-033-030	2.79	Y*	6236-034-014	0.00
H*	6236-033-031	0.00	AA	6236-034-013	1.82
I	6236-033-034	2.52	BB	6236-034-010	26.16
I*	6236-033-033	0.00	BB*	6236-034-009	0.00
I*	6236-033-035	0.00	CC	6236-033-041	2.22
J	6236-033-036	3.80	EE	6236-033-044	2.17
J*	6236-033-037	0.00	EE*	6236-033-045	0.00
K	6236-036-050	4.20	FF	6236-033-046	2.42
L	6236-036-053	1.82	FF*	6236-033-047	0.00
M	6236-036-052	9.12	HH	6236-036-064	1.18
M*	6236-036-051	0.00	II	6236-036-065	1.19
M*	6236-036-049	0.00	JJ	6236-036-069	2.66
P	6236-036-058	3.54	KK	6236-036-063	1.74
44 parcels					100.00

* Portion of Bifurcated Lots that are not assessed.

VII. BOUNDARY MAPS

The following diagram shows the boundaries of the District.



VIII. ASSESSMENT ROLL FISCAL YEAR 2019/2020

Parcel identification, for each lot or parcel within the District, shall be the parcel as shown on the Los Angeles County Assessor Parcel Maps and/or the Los Angeles County Secured Roll for the year in which this report is prepared. A listing of parcels assessed within this District along with the assessment amount is listed below.

Assessor's Parcel Number	Situs Address	Area Percent	2019/2020 Assessment
6236-033-011	14050 ORANGE AVE	0.00%	\$0.00
6236-033-015	14066 ORANGE AVE	0.00%	0.00
6236-033-019	14050 ORANGE AVE	2.39%	339.38
6236-033-020	14066 ORANGE AVE	2.41%	342.22
6236-033-030	14100 ORANGE AVE	2.79%	396.18
6236-033-031	14100 ORANGE AVE	0.00%	0.00
6236-033-034	14100 ORANGE AVE	2.52%	357.84
6236-033-035	14100 ORANGE AVE	0.00%	0.00
6236-033-036	7003 ROSECRANS AVE	3.80%	539.60
6236-033-037	7003 ROSECRANS AVE	0.00%	0.00
6236-033-038	14080 ORANGE AVE	0.00%	0.00
6236-033-039	14080 ORANGE AVE	4.30%	610.60
6236-033-041	14010 ORANGE AVE	2.22%	315.24
6236-033-044	14030 ORANGE AVE	2.17%	308.14
6236-033-045	14020 ORANGE AVE	0.00%	0.00
6236-033-046	14020 ORANGE AVE	2.42%	343.64
6236-033-047	14020 ORANGE AVE	0.00%	0.00
6236-034-009	14001 ORANGE AVE	0.00%	0.00
6236-034-010	14001 ORANGE AVE	26.16%	3714.72
6236-034-013	14005 ORANGE AVE	1.82%	258.44
6236-034-014	14011 ORANGE AVE	0.00%	0.00
6236-034-015	6801 DE BIE DR	2.04%	289.68
6236-034-018	6840 DE BIE DR	1.12%	159.04
6236-034-019	14019 ORANGE AVE	1.16%	164.72
6236-034-022	13900 ORANGE AVE	2.66%	377.72
6236-034-023	13942 ORANGE AVE	3.29%	467.18
6236-034-024	13984 ORANGE AVE	3.57%	506.94
6236-034-025	14053 ORANGE AVE	1.35%	191.70
6236-034-026	6859 WALTHALL WAY	1.47%	208.74
6236-034-036	6800 DE BIE DR	0.00%	0.00
6236-034-037	6800 DE BIE DR	1.51%	214.42
6236-034-038	NO SITUS AVAILABLE	0.00%	0.00
6236-034-039	6851 WALTHALL WAY	3.38%	479.96
6236-036-049	NO SITUS AVAILABLE	0.00%	0.00
6236-036-050	6837 ROSECRANS AVE	4.20%	596.40
6236-036-051	6825 ROSECRANS AVE	0.00%	0.00
6236-036-052	6825 ROSECRANS AVE	9.12%	1295.04
6236-036-053	6833 ROSECRANS AVE	1.82%	258.44
6236-036-054	NO SITUS AVAILABLE	0.00%	0.00
6236-036-058	6825 WALTHALL WAY	3.54%	502.68
6236-036-063	14101 ORANGE AVE	1.74%	247.08
6236-036-064	6850 WALTHALL WAY	1.18%	167.56
6236-036-065	6840 WALTHALL WAY	1.19%	168.98
6236-036-069	6830 WALTHALL WAY	2.66%	377.72
Total		100.00%	\$14,200.00

If the parcels or assessment numbers within the District and referenced in this report, are re-numbered, re-apportioned or changed by the County Assessor's Office after approval of the report, the new parcel or assessment numbers with the proportional assessment amount will be submitted to the County Auditor/Controller. If the parcel change made by the County includes a parcel split, parcel merger or tax status change, the assessment amount submitted on the new parcels or assessment numbers will be based on the method of apportionment and levy amount approved in this report by the City Council.

MAY 7, 2019

A. RESOLUTION NO. 19:014

“A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT GRANTING CONSENT AND JURISDICTION TO THE COUNTY OF LOS ANGELES IN THE MATTER OF COUNTY LIGHTING MAINTENANCE DISTRICT 10066 AND COUNTY LIGHTING DISTRICT LANDSCAPING AND LIGHTING ACT-1, PARAMOUNT ZONE, CITY OF PARAMOUNT PETITION NO. 32-416 (TRACT NO. 73406) ATLANTIC PLACE AND JOINT RESOLUTION”

MOTION IN ORDER:

READ BY TITLE ONLY AND ADOPT RESOLUTION NO. 19:014.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

B. RESOLUTION NO. 19:017

“A JOINT RESOLUTION OF THE BOARD OF SUPERVISORS OF THE COUNTY OF LOS ANGELES, THE BOARD OF TRUSTEES OF THE GREATER LOS ANGELES COUNTY VECTOR CONTROL DISTRICT, THE BOARD OF DIRECTORS OF THE COUNTY SANITATION DISTRICT NO. 2 OF LOS ANGELES COUNTY, THE CITY COUNCIL OF THE CITY OF PARAMOUNT, AND THE BOARD

CONTINUED... PLEASE TURN PAGE

OF DIRECTORS OF THE WATER REPLENISHMENT DISTRICT OF SOUTHERN CALIFORNIA APPROVING AND ACCEPTING THE NEGOTIATED EXCHANGE OF PROPERTY TAX REVENUES RESULTING FROM ANNEXATION OF PETITION NO. 32-416 (TRACT NO. 73406) TO COUNTY LIGHTING MAINTENANCE DISTRICT 10066”

MOTION IN ORDER:

READ BY TITLE ONLY AND ADOPT RESOLUTION NO. 19:017.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Adriana Figueroa, Public Works Director
William C. Pagett, City Engineer
Date: May 7, 2019

**Subject: RESOLUTION NOS. 19:014 AND 19:017
GRANTING CONSENT AND JURISDICTION TO THE COUNTY OF LOS
ANGELES IN THE MATTER OF COUNTY LIGHTING MAINTENANCE
DISTRICT 10066 AND ACCEPTING THE NEGOTIATED EXCHANGE OF
PROPERTY TAX REVENUES**

In order to provide funding for the operation and maintenance of new street lights installed by a developer, the County requires the approval of these resolutions for the granting of consent and jurisdiction to the County to accomplish this annexation.

The costs for the operation and maintenance of street lights located within the Paramount Zone are funded by Ad Valorem Property Tax, at an estimated annual assessment for a single family home of \$17.00.

RECOMMENDED ACTION

It is recommended that the City Council read by title only and adopt Resolution No. 19:014 and Resolution No. 19:017.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

RESOLUTION NO. 19:014

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT GRANTING CONSENT AND JURISDICTION TO THE COUNTY OF LOS ANGELES IN THE MATTER OF COUNTY LIGHTING DISTRICT 10066 AND COUNTY LIGHTING DISTRICT LANDSCAPING AND LIGHTING ACT-1, PARAMOUNT ZONE, CITY OF PARAMOUNT PETITION NO. 32-416 (TRACT NO. 73406) ATLANTIC PLACE AND JOINT RESOLUTION

WHEREAS, the Board of Supervisors of the County of Los Angeles is prepared to commence proceedings under Divisions 7 and 15 of the Streets and Highways Code of the State of California for the annexation of this territory to the County Lighting Maintenance District 10066 and County Lighting District Landscaping and Lighting Act-1 (LLA-1), Paramount Zone; and

WHEREAS, the street lights will be installed in the proposed annexation territory known as Petition No. 32-416 (Tract No. 73406) located in the City of Paramount; and

WHEREAS, all of the land included in the proposed annexation lies within the boundary of the City of Paramount.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. That the public interest, convenience, and necessity require the maintenance of a street lighting system located within said territory as shown on the map of the proposed annexation area to County Lighting Maintenance District 10066 and County Lighting District LLA-1, Paramount Zone, attached and on file in the office of the Los Angeles County Public Works.

SECTION 3. This City Council hereby consents to the annexation of said territory as shown on the attached map and included within the boundary of said annexation and lying within the boundary of the City of Paramount.

SECTION 4. This City Council hereby finds and determines that the land included within the boundary of the proposed annexation lying within the boundary of the City of Paramount will be benefited by the proposed annexation and hereby consents to the inclusion of said land within the proposed annexation and to the assessment thereof.

SECTION 5. The consent of the City of Paramount is hereby given to the commencement of the proceedings for said annexation to County Lighting Maintenance District 10066 and County Lighting District LLA-1, Paramount Zone, by the Board of Supervisors of the County of Los Angeles, and to the exercise of exclusive jurisdiction of said Board of Supervisors over all proceedings necessary thereto for the purpose of consummating the same, all in accordance with the provisions of Divisions 7 and 15 of the California Streets and Highways Code.

SECTION 6. The City Clerk is hereby directed to certify and deliver two copies of this resolution to the Los Angeles County Public Works.

SECTION 7. The City Clerk shall certify to the passage of this resolution by the City Council of the City of Paramount and shall cause the same to be posted in three conspicuous places in the City of Paramount and it shall thereupon take effect.

SECTION 8. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED, and ADOPTED by the City Council of the City of Paramount this 7th day of May 2019.

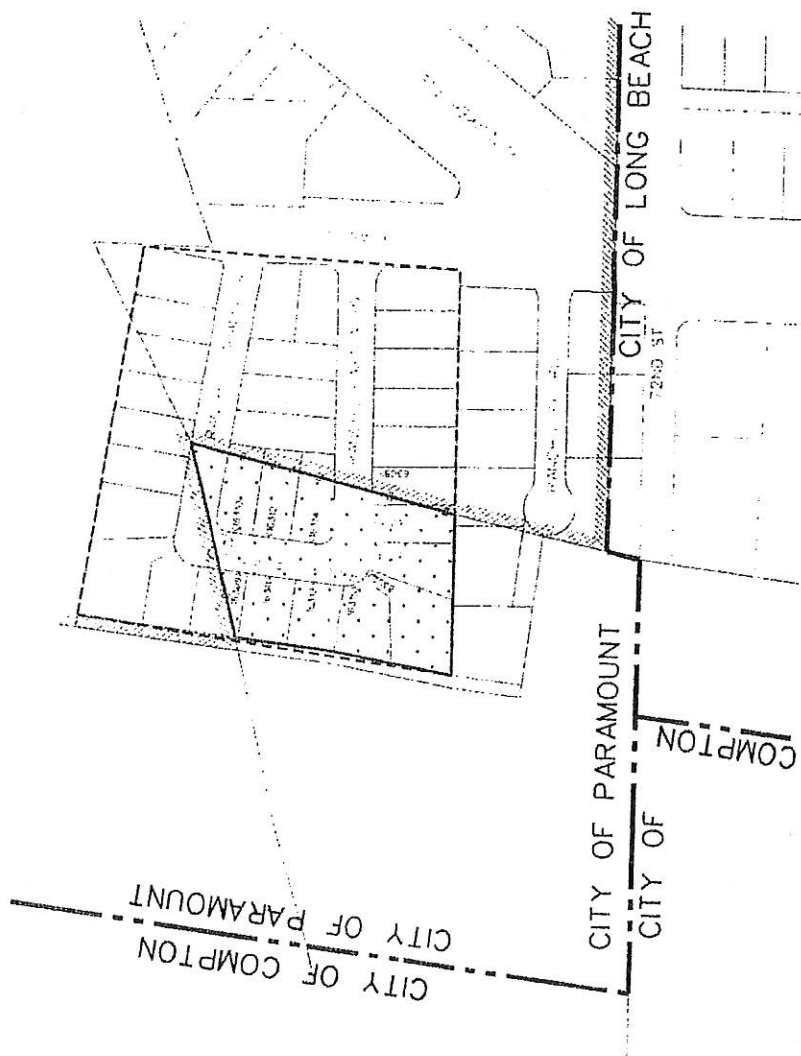
Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

APPROVED AS TO FORM:

City Attorney



TRA
7375
11105
APN
7101-037-006
7101-037-009
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7101-037-036
7101-037-048
7101-037-049

PETITION NO. 32-416
(TRACT NO. 73406)

LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS TRAFFIC AND LIGHTING DIVISION STREET LIGHTING SECTION	
RANCHO PORTILLO ROAD BETWEEN RANCHO CABALLO ROAD AND RANCHO PARADA ROAD CITY OF PARAMOUNT	
APPROVED BY [Signature]	DATE 07/16/19
APPROVED BY [Signature]	DATE 07/16/19

LEGEND

- PROPOSED ANNEXATION BOUNDARY
- EXISTING LIGHTING DISTRICT 1687
- CITY/COUNTY BOUNDARY
- TRACT 73406 BOUNDARY

PROPOSED ANNEXATION TO COUNTY LIGHTING
MAINTENANCE DISTRICT 10066
AND COUNTY LIGHTING DISTRICT LLA-1
(PARAMOUNT ZONE)

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

RESOLUTION NO. 19:017

A JOINT RESOLUTION OF THE BOARD OF SUPERVISORS OF THE COUNTY OF LOS ANGELES, THE BOARD OF TRUSTEES OF THE GREATER LOS ANGELES COUNTY VECTOR CONTROL DISTRICT, THE BOARD OF DIRECTORS OF THE COUNTY SANITATION DISTRICT NO. 2 OF LOS ANGELES COUNTY, THE CITY COUNCIL OF THE CITY OF PARAMOUNT, AND THE BOARD OF DIRECTORS OF THE WATER REPLENISHMENT DISTRICT OF SOUTHERN CALIFORNIA APPROVING AND ACCEPTING THE NEGOTIATED EXCHANGE OF PROPERTY TAX REVENUES RESULTING FROM ANNEXATION OF PETITION NO. 32-416 (TRACT NO. 73406) TO COUNTY LIGHTING MAINTENANCE DISTRICT 10066

WHEREAS, pursuant to Section 99.01 of the California Revenue and Taxation Code, prior to the effective date of any jurisdictional change that will result in a special district providing one or more services to an area where those services have not previously been provided by any local agency, the special district and each local agency that receives an apportionment of property tax revenue from the area must negotiate an exchange of property tax increment generated in the area subject to the jurisdictional change and attributable to those local agencies; and

WHEREAS, the Board of Supervisors of the County of Los Angeles, acting on behalf of the County Lighting Maintenance District 10066 (CLMD 10066), the County General Fund, the Los Angeles County Public Library, the Consolidated Fire Protection District of Los Angeles County, the Los Angeles County Flood Control Drainage Improvement Maintenance District, and the Los Angeles County Flood Control District; the Board of Trustees of the Greater Los Angeles County Vector Control District; the Board of Directors of the County Sanitation District No. 2 of Los Angeles County; the City Council of the City of Paramount; and the Board of Directors of the Water Replenishment District of Southern California have determined that the amount of property tax revenue to be exchanged between their respective agencies as a result of the annexation proposal identified as Petition No. 32-416 (Tract No. 73406) to County Lighting Maintenance District 10066 are as shown on the attached Property Tax Transfer Resolution Worksheets.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The negotiated exchange of property tax revenues with the CLMD 10066, the County General Fund, the Los Angeles County Public Library, the Consolidated Fire Protection District of Los Angeles County, the Los Angeles County Flood Control Drainage Improvement Maintenance District, the Los Angeles County Flood Control District, the Greater Los Angeles County Vector Control District, the County Sanitation District No. 2 of Los Angeles County, the City Council of the City of Paramount, and the Water Replenishment District of Southern California resulting from the annexation of Petition No. 32-416 (Tract No. 73406) to CLMD 10066 is approved and accepted.

SECTION 3. For fiscal years commencing on or after July 1, 2020, or the July 1 after the effective date of this jurisdictional change, whichever is later, the property tax revenue increment generated from the area within Petition No. 32-416 (Tract No. 73406), Tax Rate Areas 07375 and 11105, shall be allocated to the affected agencies as indicated on the Property Tax Transfer Resolution Worksheets .

SECTION 4. No transfer of property tax revenues other than those specified in Paragraph 2 shall be made as a result of the annexation of Petition No. 32-416 (Tract No. 73406).

SECTION 5. If at any time after the effective date of this resolution, the calculations used herein to determine initial property tax transfers or the data used to perform those calculations are found to be incorrect, thus, producing an improper or inaccurate property tax transfer, the property tax transfer shall be recalculated and the corrected transfer shall be implemented for the next fiscal year.

SECTION 6. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED, and ADOPTED by the City Council of the City of Paramount this 7th day of May 2019.

Tom Hansen, Mayor

ATTEST:

Lana Chikami, City Clerk

APPROVED AS TO FORM:

City Attorney

PROPERTY TAX TRANSFER RESOLUTION WORKSHEET
FISCAL YEAR 2017-2018

PREPARED 08/30/2018 PAGE 1

ANNEXATION TO: CO LIGHTING MAINT DIST NO 10066
 ACCOUNT NUMBER: 023.66
 TRA: 07375
 EFFECTIVE DATE: 07/01/2018
 ANNEXATION NUMBER: PE 32-416
 PROJECT NAME: PETITION NO. 32-416(TRACT 73406)
 DISTRICT SHARE: 0.014487585

ACCOUNT #	TAXING AGENCY	CURRENT TAX SHARE	PERCENT	PROPOSED DIST SHARE	ALLOCATED SHARE	ADJUSTMENTS	NET SHARE
001.05	LOS ANGELES COUNTY GENERAL	0.243608142	24.3617 %	0.014487585	0.003529302	-0.003635205	0.239972937
001.20	L.A. COUNTY ACCUM CAP OUTLAY	0.000107847	0.0107 %	0.014487585	0.000001562	0.000000000	0.000107847
003.01	L A COUNTY LIBRARY	0.022825422	2.2825 %	0.014487585	0.000330685	-0.000330685	0.022494737
007.30	CONSOL. FIRE PRO.DIST.OF L.A.CO.	0.172104788	17.2104 %	0.014487585	0.002493382	-0.002493382	0.169611406
007.31	L A C FIRE-FFW	0.007202152	0.7202 %	0.014487585	0.000104341	0.000000000	0.007202152
030.10	L.A.CO.FL.CON.DR.IMP.DIST.MAINT.	0.001679582	0.1679 %	0.014487585	0.00024333	-0.000024333	0.001655249
030.70	LA CO FLOOD CONTROL MAINT	0.009535365	0.9535 %	0.014487585	0.000138144	-0.000138144	0.009397221
061.80	GREATER L A CO VECTOR CONTROL	0.000361951	0.0361 %	0.014487585	0.00005243	-0.000005243	0.000356708
066.10	CO SANITATION DIST NO 2 OPERAT	0.012964689	1.2964 %	0.014487585	0.000187827	-0.000187827	0.012776862
226.01	CITY-PARAMOUNT TD #1	0.067163511	6.7163 %	0.014487585	0.000973037	-0.000973037	0.066190474
350.90	WTR REPLENISHMENT DIST OF SO CAL	0.000173074	0.0173 %	0.014487585	0.000002507	-0.000002507	0.000170567
400.00	EDUCATIONAL REV AUGMENTATION FD	0.068210145	6.8210 %	0.014487585	0.000988200	EXEMPT	0.068210145
400.01	EDUCATIONAL AUG FD IMPOUND	0.135004152	13.5004 %	0.014487585	0.001955884	EXEMPT	0.135004152
400.15	COUNTY SCHOOL SERVICES	0.001392211	0.1392 %	0.014487585	0.000020169	EXEMPT	0.001392211
400.21	CHILDREN'S INSTIL TUITION FUND	0.002755010	0.2755 %	0.014487585	0.000039913	EXEMPT	0.002755010
793.04	COMPTON COMMUNITY COLLEGE DIST.	0.022402839	2.2402 %	0.014487585	0.000324563	EXEMPT	0.022402839
793.20	CHILDREN'S CTR FUND COMPTON C C	0.007157143	0.7157 %	0.014487585	0.000103689	EXEMPT	0.007157143
907.03	PARAMOUNT UNIFIED SCHOOL DIST	0.212459312	21.2459 %	0.014487585	0.003078022	EXEMPT	0.212459312
907.06	CO.SCH.SERV.FD.- PARAMOUNT	0.011480842	1.1480 %	0.014487585	0.000166329	EXEMPT	0.011480842

PROPERTY TAX TRANSFER RESOLUTION WORKSHEET
FISCAL YEAR 2017-2018

ANNEXATION NUMBER: PE 32-416		PROJECT NAME: PETITION NO. 32-416(TRACT 73406)		TRA: 07375			
ACCOUNT #	TAXING AGENCY	CURRENT TAX SHARE	PERCENT	PROPOSED DIST SHARE	ALLOCATED SHARE	ADJUSTMENTS	NET SHARE
907.07	DEV.CTR.HDCPD.MINOR-PARAMOUNT	0.001411823	0.1411 %	0.014487585	0.000020453	EXEMPT	0.001411823
***023.66	CO LIGHTING MAINT DIST NO 10066	0.000000000	0.0000 %	0.014487585	0.000000000		0.007790363
TOTAL:		1.000000000	100.0000 %		0.014487585	-0.007790363	1.000000000

PROPERTY TAX TRANSFER RESOLUTION WORKSHEET
FISCAL YEAR 2017-2018

PREPARED 08/30/2018 PAGE 1

ANNEXATION TO: CO LIGHTING MAINT DIST NO 10066
 ACCOUNT NUMBER: 023.66
 TRA: 11305
 EFFECTIVE DATE: 07/01/2018
 ANNEXATION NUMBER: PE 32-416
 PROJECT NAME: PETITION NO. 32-416(TRACT 73406)
 DISTRICT SHARE: 0.014487585

ACCOUNT #	TAXING AGENCY	CURRENT TAX SHARE	PERCENT	PROPOSED DIST SHARE	ALLOCATED SHARE	ADJUSTMENTS	NET SHARE
001.05	LOS ANGELES COUNTY GENERAL	0.246444631	24.6454 %	0.014487585	0.003570397	-0.003676300	0.242768331
001.20	L.A. COUNTY ACCUM CAP OUTLAY	0.000107847	0.0107 %	0.014487585	0.000001562	0.000000000	0.000107847
003.01	L.A. COUNTY LIBRARY	0.022825422	2.2825 %	0.014487585	0.0003330685	-0.0003330685	0.022494737
007.30	CONSOL. FIRE PRO.DIST.OF L.A.CO.	0.172104788	17.2104 %	0.014487585	0.002493382	-0.002493382	0.169611406
007.31	L.A.C FIRE-FFW	0.007202152	0.7202 %	0.014487585	0.000104341	0.000000000	0.007202152
030.10	L.A.CO.FL.CON.DR.IMP.DIST.MAINT.	0.001679582	0.1679 %	0.014487585	0.000024333	-0.000024333	0.001655249
030.70	L.A CO FLOOD CONTROL MAINT	0.009535365	0.9535 %	0.014487585	0.000138144	-0.000138144	0.009397221
061.80	GREATER L A CO VECTOR CONTROL	0.000361951	0.0361 %	0.014487585	0.00005243	-0.00005243	0.000356708
066.10	CO SANITATION DIST NO 2 OPERAT	0.012964689	1.2964 %	0.014487585	0.000187827	-0.000187827	0.012776862
226.01	CITY-PARAMOUNT RP #2	0.067163511	6.7163 %	0.014487585	0.000973037	-0.000973037	0.066190474
350.90	WTR REPLENISHMENT DIST OF SO CAL	0.000173074	0.0173 %	0.014487585	0.000002507	-0.000002507	0.000170567
400.00	EDUCATIONAL REV AUGMENTATION FD	0.068500158	6.8500 %	0.014487585	0.000992401	EXEMPT	0.068500158
400.01	EDUCATIONAL AUG FD IMPOUND	0.131877650	13.1877 %	0.014487585	0.001910588	EXEMPT	0.131877650
400.15	COUNTY SCHOOL SERVICES	0.001392211	0.1392 %	0.014487585	0.000020169	EXEMPT	0.001392211
400.21	CHILDREN'S INSTIL TUITION FUND	0.002755010	0.2755 %	0.014487585	0.000039913	EXEMPT	0.002755010
793.04	COMPTON COMMUNITY COLLEGE DIST.	0.022402839	2.2402 %	0.014487585	0.000324563	EXEMPT	0.022402839
793.20	CHILDREN'S CTR FUND COMPTON C C	0.007157143	0.7157 %	0.014487585	0.000103689	EXEMPT	0.007157143
907.03	PARAMOUNT UNIFIED SCHOOL DIST	0.212459312	21.2459 %	0.014487585	0.003078022	EXEMPT	0.212459312
907.06	CO.SCH.SERV.FD.- PARAMOUNT	0.011480842	1.1480 %	0.014487585	0.000166329	EXEMPT	0.011480842

PROPERTY TAX TRANSFER RESOLUTION WORKSHEET
FISCAL YEAR 2017-2018

ANNEXATION NUMBER: PE 32-416

PROJECT NAME: PETITION NO. 32-416(TRACT 73406)

TRA: 11105

ACCOUNT #	TAXING AGENCY	CURRENT TAX SHARE	PERCENT	PROPOSED DIST SHARE	ALLOCATED SHARE	ADJUSTMENTS	NET SHARE
907.07	DEV.CTR.HDCPD.MINOR-PARAMOUNT	0.001411823	0.1411 %	0.014487585	0.000020453	EXEMPT	0.001411823
023.66	CO LIGHTING MAINT DIST NO 10066	0.000000000	0.0000 %	0.014487585	0.000000000		0.007831458
TOTAL:		1.000000000	100.0000 %		0.014487585	-0.007831458	1.000000000

MAY 7, 2019

AWARD OF CONTRACT

CONSTRUCTION OF THE ARTERIAL STREET RESURFACING IMPROVEMENTS ON PARAMOUNT BOULEVARD FROM ROSECRANS AVENUE TO NORTH CITY LIMITS (CITY PROJECT NO. 9930)

MOTION IN ORDER:

APPROVE THE PLANS AND SPECIFICATIONS, AWARD THE CONTRACT FOR CONSTRUCTION OF THE ARTERIAL STREET RESURFACING IMPROVEMENTS ON PARAMOUNT BOULEVARD FROM ROSECRANS AVENUE TO NORTH CITY LIMITS TO PALP, INC., LONG BEACH, CALIFORNIA, IN THE AMOUNT OF \$714,417, AND AUTHORIZE THE MAYOR OR HIS DESIGNEE TO EXECUTE THE AGREEMENT.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Adriana Figueroa, Public Works Director
William C. Pagett, City Engineer
Date: May 7, 2019

Subject: AWARD OF CONTRACT FOR CONSTRUCTION OF THE ARTERIAL STREET RESURFACING IMPROVEMENTS ON PARAMOUNT BOULEVARD FROM ROSECRANS AVENUE TO NORTH CITY LIMITS (CITY PROJECT NO. 9930)

On April 16, 2019, the Public Works Director opened and examined bids for the arterial street resurfacing improvements project for FY 19. The bids were opened at 11:00 a.m. in the City Hall Council Chambers.

Seven (7) bids were received and the apparent low bid was submitted by Palp, Inc., amounted to \$714,417, which is above the budgeted amount of \$700,000. The difference of \$14,417 will be paid for with unobligated Prop C funds. The high bid was in the amount of \$920,026.55.

The project area includes Paramount Boulevard from Rosecrans Avenue to the north City limits. This would complete Paramount Boulevard in its entirety, which was started in 2015. Additionally, this improvement will complement the drought tolerant planting in the median, which was done in 2018.

Although this project is budgeted in the current fiscal year and construction will start this fiscal year, the project will not be completed until next fiscal year, which begins on July 1, 2019. As a result, we will carry over the project funds into the next fiscal year.

Attached is a list of bidders.

RECOMMENDED ACTION

It is recommended that the City Council approve the plans and specifications, award the contract for construction of the arterial street resurfacing improvements on Paramount Boulevard from Rosecrans Avenue to north city limits to Palp, Inc., Long Beach, California, in the amount of \$714,417, and authorize the Mayor or his designee to execute the agreement.

JOB NAME: AWARD OF CONTRACT FOR CONSTRUCTION OF THE ARTERIAL
STREET RESURFACING IMPROVEMENTS ON PARAMOUNT
BOULEVARD FROM ROSECRANS AVENUE TO NORTH CITY
LIMITS

PROJECT NO.: 9930

BID DATE: TUESDAY, APRIL 16, 2019

BID TIME: 11:00AM

	<u>Company Name</u>	<u>Company Address</u>	<u>Bid Amount</u>
1.	PALP, INC. DBA EXCEL PAVING	LONG BEACH, CA	\$714,417.00
2.	HARDY & HARPER, INC.	LAKE FOREST, CA	\$740,377.11
3.	SEQUEL CONTRACTORS, INC.	SANTA FE SPRINGS, CA	\$755,430.75
4.	ALL AMERICAN ASPHALT	CORONA, CA	\$777,700.00
5.	E.C. CONSTRUCTION CO	SOUTH EL MONTE, CA	\$787,568.96
6.	ONYX PAVING CO, INC.	ANAHEIM, CA	\$909,000.00
7.	SHAWNAN	DOWNEY, CA	\$920,026.55

MAY 7, 2019

PUBLIC HEARING

ADOPTION OF THE ONE-YEAR ACTION PLAN (FY 2019-2020) FOR THE
COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) AND HOME
INVESTMENT PARTNERSHIPS (HOME) PROGRAMS

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:

ADOPT THE ONE-YEAR ACTION PLAN (FY 2019-2020) AND
AUTHORIZE THE CITY MANAGER OR HIS DESIGNEE TO EXECUTE
AND SUBMIT ALL REQUIRED CERTIFICATIONS AND RELATED
DOCUMENTS AND AGREEMENTS TO IMPLEMENT THE ONE-YEAR
ACTION PLAN (FY 2019-2020) IN COMPLIANCE WITH HUD
REGULATIONS.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



To: Honorable City Council
From: John Moreno, City Manager
By: Karina Liu, Finance Director
Esther Luis, Consultant
Date: May 7, 2019

Subject: PUBLIC HEARING REGARDING ADOPTION OF THE ONE-YEAR ACTION PLAN (FY 2019-2020) FOR THE COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) AND HOME INVESTMENT PARTNERSHIPS (HOME) PROGRAMS

Background

In May 2017, the City adopted its Consolidated Plan for the period covering July 1, 2017 through June 30, 2021. The Consolidated Plan provides the U.S. Department of Housing and Urban Development (HUD) with a comprehensive assessment of the City's housing and community development needs and outlines the City's priorities, objectives and strategies for the investment of CDBG and HOME funds to address these needs over the next five years. The objectives were determined through an analysis of the City's needs and resources.

While the Consolidated Plan establishes objectives and strategies, the Annual Action Plan (FY 2019-2020) identifies the specific activities that will use CDBG and HOME funds to achieve certain outcomes related to the established objectives. The Action Plan covers activities to be implemented during the period starting July 1, 2019 and ending June 30, 2020.

One-Year Action Plan (FY 2019-2020)

For FY 2019-2020, the City received notice from HUD on April 22, 2019 that it will receive \$802,549 in CDBG funds and \$303,294 in HOME funds for a total funding amount of \$1,105,843. The amount noted here and in the updated Draft 2019-2020 Action Plan represents a decrease of \$69,583 in CDBG funds and a decrease of \$36,223 in HOME funds, from those noted in the public review draft that was distributed for public comment.

The Action Plan identifies the following CDBG and HOME activities to be implemented during the next fiscal year:

Community Development Block Grant:

1. City of Paramount	CDBG Administration (CDBG)	\$144,509
2. Fair Housing Foundation	Fair Housing Services (CDBG)	16,000
3. City of Paramount	Graffiti Removal (CDBG)	120,382
4. City of Paramount	Code Enforcement (CDBG LMA Res.)	250,000
5. City of Paramount	Code Enforcement (CDBG SBA Com.)	150,000
6. City of Paramount	Commercial Rehabilitation Program	121,658
Total		\$802,549

HOME Investment Partnerships:

1. City of Paramount	HOME Administration (HOME)	\$ 30,329
2. City of Paramount	Home Improvement Program	227,471
3. City of Paramount	Affordable Housing Program- CHDO	45,494
Total		\$303,294

Grand Total **\$1,105,843**

As part of the citizen participation process, the City is required to make the Action Plan available for a minimum period of 30 days for public comment. The public comment period began on April 5, 2019 and ran through May 7, 2019. To date, the City has not received any comments from the public during this period. Any public comments received during the City Council meeting for this item will be incorporated into the 2019-2020 One-Year Action Plan before it is submitted to HUD.

RECOMMENDED ACTION

It is recommended that the City Council conduct a public hearing, adopt the One-Year Action Plan (FY 2019-2020) and authorize the City Manager or his designee to execute and submit all required certifications and related documents and agreements to implement the One-Year Action Plan (FY 2019-2020) in compliance with HUD regulations.