

PUBLIC PARTICIPATION NOTICE

Public Participation Accessibility for the Regular Meeting of the Development Review Board scheduled for **September 6, 2023**.

In-person Attendance:

The public may attend the Development Review Board meeting in-person.

Public Comments:

Members of the public wanting to address the Development Review Board, either during public comments or for a specific agenda item, or both, may do so by the following methods:

- **In-Person**

If you wish to make a statement, please complete a Speaker's Card prior to the commencement of the Public Comments period of the meeting. Speaker's Cards are located at the entrance. Give your completed card to a staff member and when your name is called, please go to the podium provided for the public.

- **E-mail: planning@paramountcity.com**

E-mail public comments must be received by **5:00 p.m. on Wednesday, September 6, 2023**. The e-mail must specify the following information: 1) Full Name; 2) City of Residence; 3) Phone Number; 4) Public Comment or Agenda Item Number; 5) Subject; 6) Written Comments.

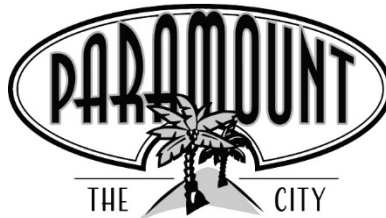
- **Teleconference: (562) 220-2036**

Participants wishing to address the Development Review Board by teleconference should call City Hall at **(562) 220-2036** by **5:00 p.m. on Wednesday, September 6, 2023** and provide the following information: 1) Full Name; 2) City of Residence; 3) Phone Number; 4) Public Comment or Agenda Item Number; 5) Subject. Teleconference participants will be called back during the Development Review Board meeting on speaker phone to provide their comments.

All public comments are limited to a maximum of three minutes unless an extension is granted. Please be mindful that the meeting will be recorded as any other person is recorded when appearing before the Development Review Board, and all other rules of procedure and decorum will apply when addressing the Development Review Board by teleconference.

AGENDA

Paramount Development Review Board
September 6, 2023



Safe, Healthy, and Attractive

Regular Meeting
City Hall Council Chambers
6:00 p.m.

City of Paramount

16400 Colorado Avenue ♦ Paramount, CA 90723 ♦ (562) 220-2000 ♦ www.paramountcity.com

Public Comments: If you wish to make a statement, please complete a Speaker's Card prior to the commencement of the Public Comments period of the meeting. Speaker's Cards are located at the entrance. Give your completed card to a staff member and when your name is called, please go to the rostrum provided for the public. Persons are limited to a maximum of three (3) minutes unless an extension of time is granted. No action may be taken on items not on the agenda except as provided by law.

Americans with Disabilities Act: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office at (562) 220-2220 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Note: Agenda items are on file in the Planning Department office and are available for public inspection during normal business hours. Materials related to an item on this Agenda submitted after distribution of the agenda packet are also available for public inspection during normal business hours in the Planning Department office. The Planning Department office is located at City Hall, 16400 Colorado Avenue, Paramount.

Notes

CALL TO ORDER:

Chair Linda Timmons

ROLL CALL OF
MEMBERS:

Board Member Ernie Esparza
Board Member Javier Gonzalez
Board Member Gordon Weisenburger
Vice Chair David Moody
Chair Linda Timmons

MINUTES

1. [APPROVAL OF MINUTES](#) August 2, 2023
2. [APPROVAL OF MINUTES](#) August 23, 2023

PUBLIC COMMENTS

NEW BUSINESS

REPORTS

3. [DRA NO. 23:013](#) A request by Daniel Freedman/Jeffer Mangels Butler & Mitchell, LLP for Sobeida Filippi to construct and install a freeway-oriented digital billboard on vacant land north of Rosecrans Avenue, between the Los Angeles River and 710-Freeway [Assessor Parcel Number 6236-035-013] in the M-2 (Heavy Manufacturing) zone

4. [DRA NO. 23:014](#) A request by Steven Chun/SDC Company, LLC to remodel the exterior of an existing warehouse building at 15528 Illinois Avenue in the M-2 (Heavy Manufacturing) zone

COMMENTS

5. [COMMENTS](#)
 - Board Members
 - Staff

ADJOURNMENT

To a meeting on October 4, 2023 at 6:00 p.m.

SEPTEMBER 6, 2023

APPROVAL OF MINUTES

DEVELOPMENT REVIEW BOARD

MOTION IN ORDER:

APPROVE THE DEVELOPMENT REVIEW BOARD MINUTES OF AUGUST
2, 2023.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

DEVELOPMENT REVIEW BOARD MINUTES AUGUST 2, 2023

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER:

The meeting of the Development Review Board was called to order by Chair Linda Timmons at 6:16 p.m. at City Hall, Council Chambers, 16400 Colorado Avenue, Paramount, California.

ROLL CALL OF BOARD MEMBERS

Present: Board Member Ernie Esparza
Board Member Javier Gonzalez
Vice Chair David Moody
Chair Linda Timmons

Absent: Board Member Gordon Weisenburger

STAFF PRESENT:

John Cavanaugh, City Attorney
John Carver, Planning Director
John King, Assistant Planning Director
Johnnie Rightmer, Building and Safety Manager
Sol Bejarano, Management Analyst
Ivan Reyes, Associate Planner
Smyrna Caraveo, Planning Intern
Leslie Corrales, Planning Intern
Valerie Zaragoza, Administrative Assistant

It was moved by Board Member Esparza, seconded by Vice Chair Moody, to excuse Board Member Weisenburger from the Development Review Board meeting.

The motion was passed by the following roll call vote:

AYES: Board Members Esparza and Gonzalez,
Vice Chair Moody, Chair Timmons
NOES: None
ABSENT: Board Member Weisenburger
ABSTAIN: None

PUBLIC COMMENTS

There were none.

1. APPROVAL OF
MINUTES

Chair Timmons presented the Development Review Board minutes of July 5, 2023 for approval.

It was moved by Board Member Gonzalez, seconded by Board Member Esparza, to approve the minutes as presented. The motion was passed by the following roll call vote:

AYES: Board Members Esparza and Gonzalez,
Vice Chair Moody, Chair Timmons

NOES: None

ABSENT: Board Member Weisenburger

ABSTAIN: None

2. COMMENTS FROM
BOARD MEMBERS
AND STAFF

There were none.

ADJOURNMENT

There being no further business to come before the Board, the meeting was adjourned by Chair Timmons at 6:18 p.m. to an adjourned meeting of the Development Review Board to be held on Wednesday, August 23, 2023, at City Hall Council Chambers, 16400 Colorado Avenue, Paramount, California, at 6:00 p.m.

Linda Timmons, Chair

ATTEST:

Valerie Zaragoza, Administrative Assistant

SEPTEMBER 6, 2023

APPROVAL OF MINUTES

DEVELOPMENT REVIEW BOARD

MOTION IN ORDER:

APPROVE THE DEVELOPMENT REVIEW BOARD MINUTES OF AUGUST
23, 2023.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

DEVELOPMENT REVIEW BOARD MINUTES AUGUST 23, 2023

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER:

The meeting of the Development Review Board was called to order by Chair Linda Timmons at 6:32 p.m. at City Hall, Council Chambers, 16400 Colorado Avenue, Paramount, California.

ROLL CALL OF BOARD MEMBERS

Present: Board Member Ernie Esparza
Board Member Gordon Weisenburger
Vice Chair David Moody
Chair Linda Timmons

Absent: Board Member Javier Gonzalez

STAFF PRESENT:

John Cavanaugh, City Attorney
John King, Assistant Planning Director
Johnnie Rightmer, Building and Safety Manager
Sol Bejarano, Management Analyst
Leslie Corrales, Planning Intern
Valerie Zaragoza, Administrative Assistant

It was moved by Chair Timmons, seconded by Board Member Esparza, to excuse Board Member Gonzalez from the Development Review Board meeting.

The motion was passed by the following roll call vote:

AYES: Board Members Esparza and
Weisenburger, Vice Chair Moody, Chair
Timmons
NOES: None
ABSENT: Board Member Gonzalez
ABSTAIN: None

PUBLIC COMMENTS

There were none.

NEW BUSINESS

REPORTS

1. DEVELOPMENT
REVIEW
APPLICATION NO.
23:010
JOSE PEREZ/CASA
ADELITA
8063 ALONDRA
BOULEVARD

Chair Timmons presented the item, a request by Jose J. Perez/Casa Adelita to install an outdoor customer seating area at an existing restaurant at 8063 Alondra Boulevard in the C-3 (General Commercial) zone.

Assistant Planning Director John King stated that as the presentation has already been given as part of the Planning Commission meeting, he was happy to present the item again or answer any questions.

The Development Review Board unanimously determined that a repeat of the presentation was not necessary and would take action on this item and the other items on the agenda.

It was moved by Board Member Weisenburger, seconded by Board Member Esparza, to approve the request. The motion was passed by the following roll call vote:

AYES: Board Members Esparza and
Weisenburger, Vice Chair Moody, Chair
Timmons

NOES: None

ABSENT: Board Member Gonzalez

ABSTAIN: None

2. DEVELOPMENT
REVIEW
APPLICATION NO.
23:011
GLORIA M.
GAMINO/CASA
GAMINO FAMILY
RESTAURANT, INC.
8330 ALONDRA
BOULEVARD

Chair Timmons presented the item, a request by Gloria M. Gamino/Casa Gamino Family Restaurant, Inc., to install an outdoor customer seating area at an existing restaurant at 8330 Alondra Boulevard in the C-3 (General Commercial) zone.

It was moved by Vice Chair Moody, seconded by Board Member Esparza, to approve the request. The motion was passed by the following roll call vote:

AYES: Board Members Esparza and
Weisenburger, Vice Chair Moody, Chair
Timmons

NOES: None

ABSENT: Board Member Gonzalez

ABSTAIN: None

3. DEVELOPMENT
REVIEW
APPLICATION NO.
23:012
EL TAPATIO
RESTAURANT &
GRILL, LLC
7528 ROSECRANS
AVENUE, SUITE B

Chair Timmons presented the item, a request by El Tapatio Restaurant & Grill, LLC to modify an existing outdoor customer seating area at an existing restaurant at 7528 Rosecrans Avenue, Suite B in the PD-PS (Planned Development with Performance Standards) zone.

It was moved by Board Member Esparza, seconded by Vice Chair Moody, to approve the request. The motion was passed by the following roll call vote:

AYES: Board Members Esparza and
Weisenburger, Vice Chair Moody, Chair
Timmons
NOES: None
ABSENT: Board Member Gonzalez
ABSTAIN: None

4. COMMENTS FROM
BOARD MEMBERS
AND STAFF

There were none.

ADJOURNMENT

There being no further business to come before the Board, the meeting was adjourned by Chair Timmons at 6:36 p.m. to the next Development Review Board to be held on Wednesday, September 6, 2023, at City Hall Council Chambers, 16400 Colorado Avenue, Paramount, California, at 6:00 p.m.

Linda Timmons, Chair

ATTEST:

Valerie Zaragoza, Administrative Assistant

SEPTEMBER 6, 2023

DEVELOPMENT REVIEW APPLICATION NO. 23:013

MOTION IN ORDER:

APPROVE A REQUEST BY DANIEL FREEDMAN/JEFFER MANGELS BUTLER & MITCHELL, LLC FOR SOBEIDA FILIPPI TO CONSTRUCT AND INSTALL A FREEWAY-ORIENTED DIGITAL BILLBOARD ON VACANT LAND NORTH OF ROSECRANS AVENUE, BETWEEN THE LOS ANGELES RIVER AND 710-FREEWAY [ASSESSOR PARCEL NUMBER 6236-035-013] IN THE M-2 (HEAVY MANUFACTURING) ZONE.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

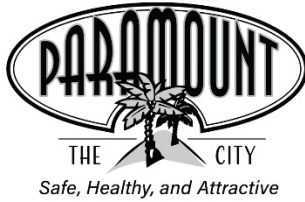
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Development Review Application No. 23:013
REQUEST:	Construct and install a freeway-oriented digital billboard
APPLICANT:	Daniel Freedman/Jeffer Mangels Butler & Mitchell, LLC for Sobeida Filippi
MEETING DATE:	September 6, 2023
LOCATION:	Assessor Parcel Number 6236-035-013
ZONE:	M-2 (Heavy Manufacturing)
GENERAL PLAN:	Industrial
PLANNER:	Ivan Reyes
RECOMMENDATION:	Approval



To: Honorable Development Review Board
From: John Carver, Planning Director
By: Ivan Reyes, Associate Planner
Date: September 6, 2023

**Subject: DEVELOPMENT REVIEW APPLICATION NO. 23:013
DANIEL FREEDMAN/JEFFER MANGELS BUTLER & MITCHELL, LLC
FOR SOBEIDA FILIPPI**

BACKGROUND

This application is a request by Daniel Freedman/Jeffer Mangels Butler & Mitchell, LLC for Sobeida Filippi to construct and install a freeway-oriented digital billboard on vacant land north of Rosecrans Avenue, between the Los Angeles River and 710-Freeway [Assessor Parcel Number 6236-035-013] in the M-2 (Heavy Manufacturing) zone. The Planning Commission will review Development Agreement No. 23-1 for an agreement between the City of Paramount and the applicant in relation to the proposed billboard.

The applicant is leasing land from the property owner of the subject 10,603 square foot property. The property owner owns three parcels within the relatively nondescript ten-acre area to the north of Rosecrans Avenue and between the Los Angeles River and the 710-Freeway. Seven irregularly-shaped land parcels under ownership of four separate property owners comprise the area.

In August of 2020, the Development Review Board reviewed and approved Development Review Application (DRA) No. 20:007 to construct a freeway-oriented digital billboard. Furthermore, Development Agreement No. 20-1 between the City of Paramount and applicant was approved in relation to the proposed billboard. However, the approval and a one-time extension expired earlier in 2023, and the applicant did not apply for any further time extension.

DESCRIPTION

The proposed use will be substantially similar or superior to the project that was approved under DRA No. 20:007 as a V-shaped, double-sided digital billboard with an overall height of 45 feet. The Development Review Board will review a more precise design at a future date. The subject approval is simply for the concept of the digital billboard.

Photos

Below is a photo of the existing conditions of the building.



Below is the proposed site plan.



Below is a rendering of the conceptual design:



FISCAL IMPACT

None for now. Upon installation and operation of the billboard, revenue will be generated according to terms of a development agreement to be approved by the City Council.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The City Council implemented the Strategic Outcomes to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community.

RECOMMENDED ACTION

It is recommended that the Development Review Board approve Development Review Application No. 23:013, subject to following conditions:

1. All planning conditions of approval for Development Review Application No. 23:013 shall be printed as general notes on all submitted sets of building plans.
2. It is hereby declared to be the intent that if any provision of this application is held or declared to be invalid, the application shall be void and the privileges granted hereunder shall lapse.

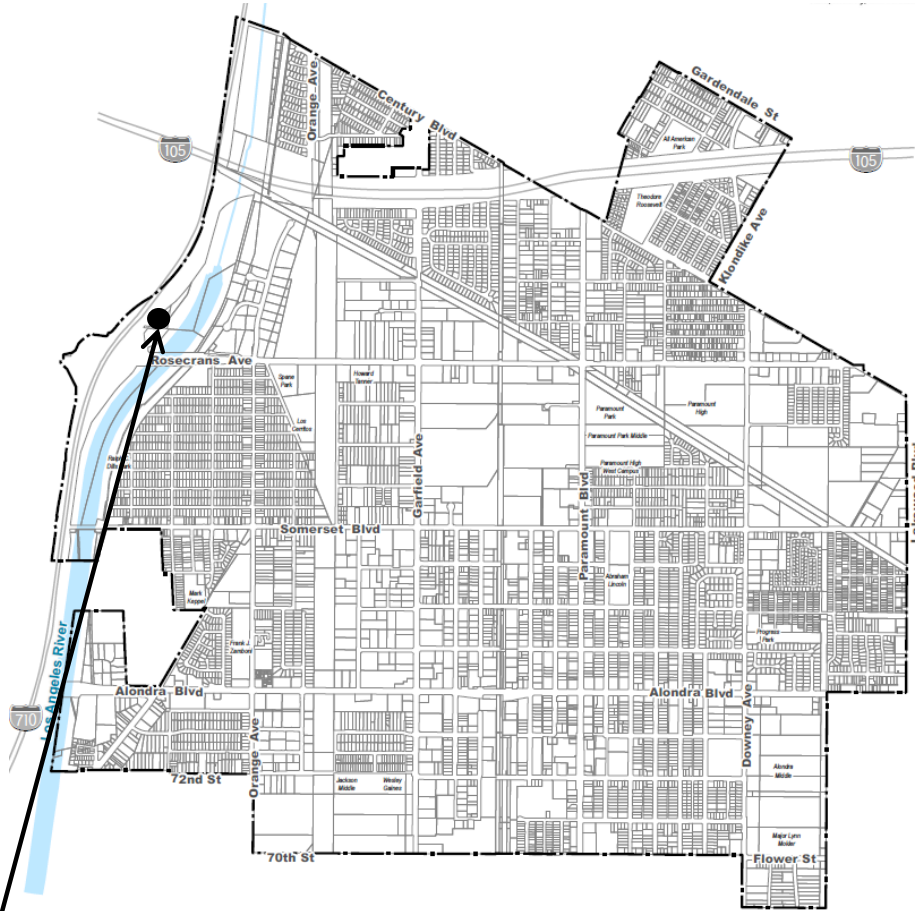
3. It is further declared and made a condition of this application that if any condition hereof is violated or if any law, statute, or ordinance is violated, the approval shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
4. Except as set forth in conditions, development shall take place substantially as shown on the approved site plans and elevations. Any material deviation must be approved by the Planning Department before construction.
5. This Development Review Application shall not be effective for any purposes until the applicant has first filed at the office of the Development Review Board a sworn affidavit both acknowledging and accepting all conditions of approval of this Development Review Application. The affidavit shall be submitted by Friday, September 22, 2023. Failure to provide the City of Paramount with the requisite affidavit within the time stated hereinabove shall render the Development Review Application void.
6. Development Review Board approval shall be valid for twelve months, to expire on September 6, 2024. Time extension may be granted at the discretion of the Development Review Board.
7. A precise lighting plan shall be submitted showing the location and types of all exterior lighting. The plan shall be subject to the approval of the Planning Department. Approval criteria will emphasize both the functional as well as the decorative nature of the proposed lighting. The parking lot and other common areas shall be illuminated to a demonstrated degree equal to or exceeding one point five candles per foot. The plan and fixture design shall be approved separately from the design approval and from the working drawings.
8. Prior to the release of utilities or service connections, final building, electrical, plumbing, and/or mechanical approval, the owner or general contractor shall submit a list of all contractors and/or subcontractors performing work on this project or development to the Planning Department.
9. All contractors shall obtain a business license to work and/or do business in the City of Paramount.
10. All colors and materials shall be submitted to the Planning Department for review and approval. All approvals must be obtained prior to installation. Colors and materials shall be approved separately from the design approval and from the working drawings.
11. No exterior structural alteration or building color change, other than those colors or building treatments originally approved by this application, shall be permitted without the prior approval of the Planning Department.

12. All applicable development fees are due prior to the issuance of building permits.
13. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in front setbacks, side setbacks, rear yard areas, over driveways, and in parking and circulation areas.
14. The applicant shall pay the water capital improvement charge as applicable.
15. The plans are subject to Los Angeles County Fire Department approval, including all required conditions of approval of the Land Development Unit of the Fire Prevention Division. The applicant shall pay all associated fire hydrant flow tests fees to the Water Division of the Paramount Public Works Department when the Los Angeles County Fire Department requires a fire hydrant flow test.
16. A utility plan shall be approved by the Planning Division before a permit is issued. All mechanical equipment and appurtenances of any type, whether located on rooftop, ground level, or anywhere on the building structure or site shall be completely enclosed or screened so as not to be visible from any public street and/or adjacent property. Such enclosure of facilities or screening shall be of compatible design related to the building structure for which such facilities are intended to serve.
17. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint. Graffiti shall be promptly painted over with paint to match the predominant surface paint or stucco color. Live plants that have been vandalized with graffiti shall be trimmed to remove the graffiti. Graffiti in the form of window etching shall be promptly removed.
18. All parking areas shall comply with applicable development requirements as specified in Section 17.44, Article 3 (Loading Areas and Off-Street Parking) of the Paramount Municipal Code.
19. All trash, debris, and junk throughout the site shall be removed.
20. The applicant shall underground all new onsite utilities so that no overhead electrical, telephone, or cable television lines shall drop from the pole to the structure.
21. The applicant shall ensure that the public streets and other public infrastructure remain clean from dirt and other debris during construction. The applicant shall comply with South Coast Air Quality Management District Rule 403 regarding reduction of fugitive dust with best available fugitive dust control measures.
22. Any use of barbed wire, razor wire, or similar wire shall be completely concealed from public view.
23. Outside storage of any type is prohibited.

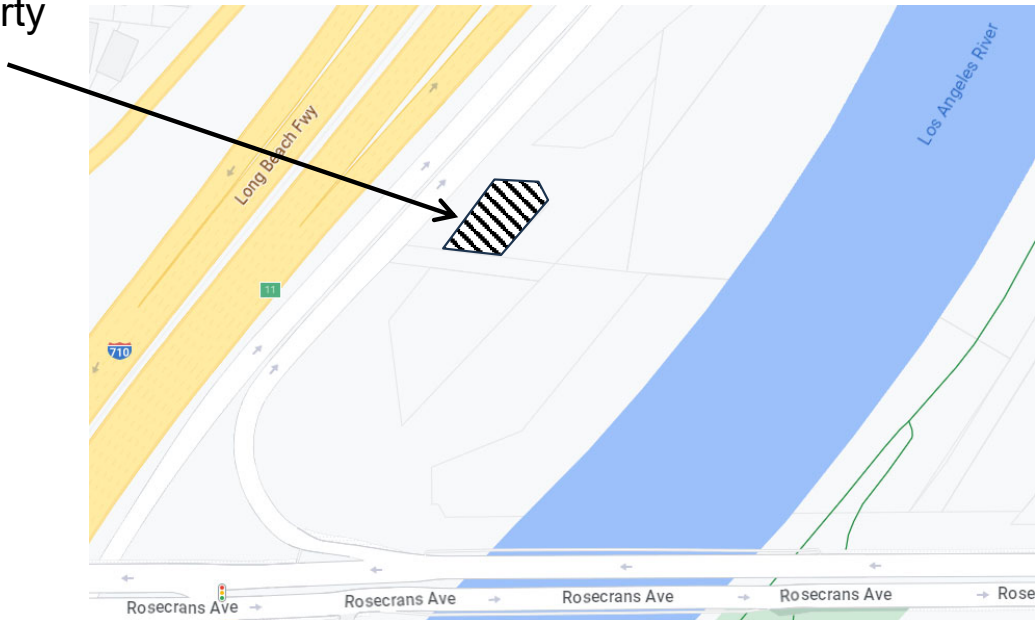
24. The applicant shall comply with all National Pollution Discharge Elimination System (NPDES) regulations.
25. The location of all backflow devices shall be approved by the Planning Department prior to installation. Backflow devices shall be painted and screened with landscaping as approved by the Planning Department.
26. The location of all electrical panels and meters shall be approved by the Planning Department prior to installation. Electrical panels shall not detract from the primary view of the subject building. Electrical panels and meters shall be screened with landscaping as approved by the Planning Department.
27. The lease area shall be surrounded by a security fence/gate at least seven feet in height. The fence shall be metal painted black and maintained in good condition. Chain link fencing is not permitted.
28. Security cameras shall be installed following review and approval of a security camera plan. The approved cameras or more technologically advanced versions of the approved cameras shall be maintained in perpetuity. Security camera recordings shall be maintained for at least 30 days and provided for law enforcement review upon request.
29. A precise landscaping and irrigation plan shall be submitted showing the size, type, and location of all plant material including shade/canopy trees, shrubs, groundcover, and brown mulch; and irrigation. The property shall be landscaped within the yard areas indicated on the approved landscape plan. The existing landscaping shall be refurbished as needed. Plant material shall be maintained in a thriving condition in perpetuity in compliance with Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code. The plan shall be subject to the approval of the Planning Department and shall be approved separately from the design approval and from the working drawings. Landscaping shall be planted, and irrigation shall be installed and maintained in perpetuity in accordance with the approved plan and State and City regulations. No mature trees shall be removed without the authorization of the Planning Department.
30. Construction shall take place 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 5:00 p.m. on Saturday. Construction is prohibited on Sundays and national holidays.
31. All trash and recycling containers shall be stored within the trash enclosure and out of public visibility.
32. The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
33. The project and any future tenant improvements shall comply with all Building and Safety Division regulations.

34. Electrical power shall be from 100% renewable sources (100% Green Power from the Clean Power Alliance or equivalent).
35. The billboard lighting shall automatically dim based on ambient lighting conditions. An automatic dimming system shall be installed to reduce the intensity of the light emitting from the Message Display Center during operations between sunset and sunrise. Maximum lighting levels shall be no more than 7,500 lumens per square meter during the daytime (Sunrise to Sunset) and no more than 500 lumens per square meter during the nighttime (Sunset to Sunrise).
36. Message duration shall be six seconds at minimum. Message transitions shall be instant.
37. Message text and/or images shall not scroll, move, flash, or animate.
38. The billboard owner shall maintain the site in good condition. The billboard owner shall allow no noxious weeds to go to seed and shall keep the subject property free of weeds, grasses, debris, and vermin.
39. The applicant shall obtain all required access agreements and/or easements with all pertinent Los Angeles County agencies and/or private property owners.
40. The applicant shall obtain all required permits from the California Department of Transportation (Caltrans). The project shall comply with all requirements of Caltrans and the California Outdoor Advertising Act.
41. The applicant shall comply with all terms of the associated Development Agreement No. 23-1 with the City of Paramount. The project shall comply with the Mitigation Monitoring and Reporting Program of the previously approved Mitigated Negative Declaration.
42. The Development Review Board shall review a more precise billboard design for possible approval upon finalization of a proposed design with a specific billboard company.
43. An electronic copy (PDF format) of the plans shall be submitted to the Planning Department prior to permit issuance.
44. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.

Development Review Application No. 23:013



Subject
Property



Assessor's Parcel No.: 6236-035-013

SEPTEMBER 6, 2023

DEVELOPMENT REVIEW APPLICATION NO. 23:014

MOTION IN ORDER:

APPROVE A REQUEST BY STEVE CHUN/SDC COMPANY, LLC TO REMODEL THE EXTERIOR OF AN EXISTING WAREHOUSE BUILDING AT 15528 ILLINOIS AVENUE IN THE M-2 (HEAVY MANUFACTURING) ZONE.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

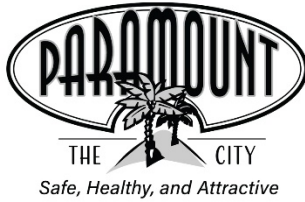
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Development Review Application No. 23:014
REQUEST:	Remodel the exterior of an existing warehouse building
APPLICANT:	Steve Chun/SDC Company, LLC
MEETING DATE:	September 6, 2023
LOCATION:	15528 Illinois Avenue
ZONE:	M-2 (Heavy Manufacturing)
GENERAL PLAN:	Central Industrial District
PLANNER:	Smyrna Caraveo
RECOMMENDATION:	Approval



To: Honorable Development Review Board

From: John Carver, Planning Director

By: Smyrna Caraveo, Planning Intern

Date: September 6, 2023

**Subject: DEVELOPMENT REVIEW APPLICATION NO. 23:014
STEVE CHUN/SDC COMPANY, LLC**

BACKGROUND

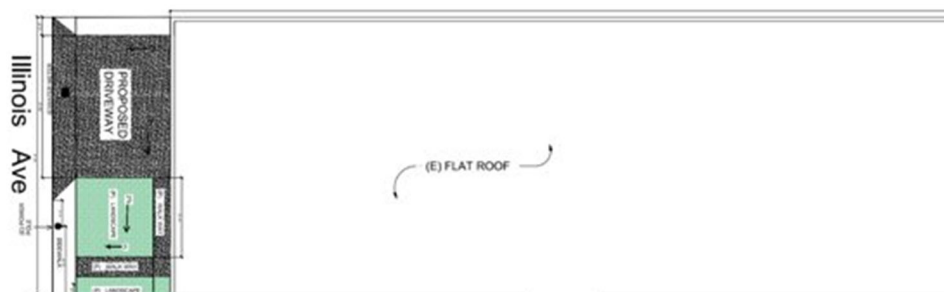
This application is a request by Steve Chun/SDC Company, LLC to remodel the exterior of an existing warehouse building at 15528 Illinois Avenue in the M-2 (Heavy Manufacturing) zone. The property is on the east side of Illinois Avenue and is between Jefferson Street and Madison Street. The 7,497 square foot site is currently developed with a 6,860 square foot warehouse building constructed in 1972. The business that will occupy this space is Korpak Inc., which is a warehouse for storing plastic bags.

DESCRIPTION

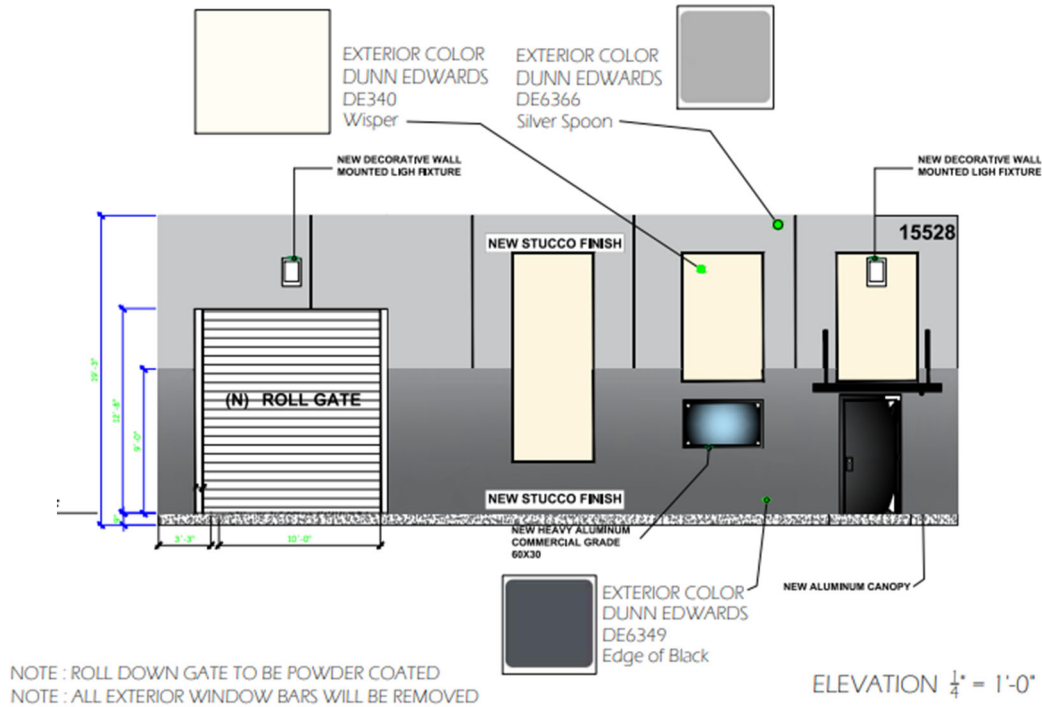
The design of the remodel is consistent with the City's requirements, and will feature materials such as a stucco exterior with a three-color paint scheme. The remodel will consist of a new roll-up gate on the west side of the front wall that will have a powdercoated finish, new decorative wall-mounted fixtures, a new heavy aluminum commercial grade window, new stucco, and repainting of the building. The existing awning on the east side of the front wall will be replaced with a new aluminum awning. In addition to adjustments to the building, the remodel will include adding a new concrete driveway that will lead to the new roll-up gate, adding a new walkway and landscaping in the building front.

Plans

Below is the proposed site plan.



Below is the elevation of the proposed front remodel.



Photo

Below is a front view photo of the existing warehouse building.



Design

The applicant is proposing a number of architectural elements for the project to meet City design standards:

- The existing building will receive a three-color stucco finish.
- Decorative wall-mounted fixtures will be installed.
- A roll-up gate that is recessed three feet from the front of the building will be provided to be consistent with surrounding buildings.

Additional property improvements required as conditions of approval include:

- The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint. Graffiti shall be promptly painted over with paint to match the predominant surface paint or stucco color. Blemishes at the rear of the building shall be promptly removed.
- The rear door and roll-up gate shall be refurbished and repainted as needed.
- The photo frame aluminum box at the front of the building shall be removed.
- The new driveway approach and associated changes to the monolithic curb, gutter, and sidewalk shall be reviewed and approved by the City Engineer/Public Works Department.
- No exterior structural alteration or building color change, other than those colors or building treatments originally approved by this application, shall be permitted without prior approval of the Planning Director.
- No wrought iron, metal, steel etc. security bars shall be installed on the exterior of any window or door. All exterior doors must be able to open without special knowledge of tools.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The City Council implemented the Strategic Outcomes to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community.

RECOMMENDED ACTION

It is recommended that the Development Review Board approve Development Review Application No. 23:014, subject to following conditions:

1. All planning conditions of approval of Development Review Application No. 23:014 shall be printed as general notes on all sets of building plans.
2. It is hereby declared to be the intent that if any provision of this application is held or declared to be invalid, the application shall be void and the privileges granted hereunder shall lapse.
3. It is further declared and made a condition of this application that if any condition hereof is violated or if any law, statute, or ordinance is violated, the approval shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
4. Except as set forth in conditions, development shall take place substantially as shown on the approved site plans and elevations. Any material deviation must be approved by the Planning Department before construction.
5. This Development Review Application shall not be effective for any purposes until the applicant has first filed at the office of the Development Review Board a sworn affidavit both acknowledging and accepting all conditions of approval of this Development Review Application. The affidavit shall be submitted by Friday, September 22, 2023. Failure to provide the City of Paramount with the requisite affidavit within the time stated hereinabove shall render the Development Review Application void.
6. Development Review Board approval shall be valid for twelve months, to expire on September 6, 2024. Time extension may be granted at the discretion of the Development Review Board.
7. The applicant shall consult the Public Works Department regarding such required off-site improvements as streetlights, sidewalks, street trees, parkway improvements, and curb and gutters. Plans shall illustrate all required public improvements.
8. All exterior colors and materials shall be submitted to the Planning Director for approval. All approvals must be obtained prior to installation. Colors and materials shall be approved separately from the design approval and from the working drawings.
9. No exterior structural alteration or building color change, other than those colors or building treatments originally approved by this application, shall be permitted without the prior approval of the Planning Department.
10. All damaged curb, gutter, or sidewalk sections in front of the subject site shall be removed and replaced to the satisfaction of the Public Works Department. Prior to commencing such repair work, the approval of the Public Works Department must be obtained to include obtaining proper permits or written approval. All unused

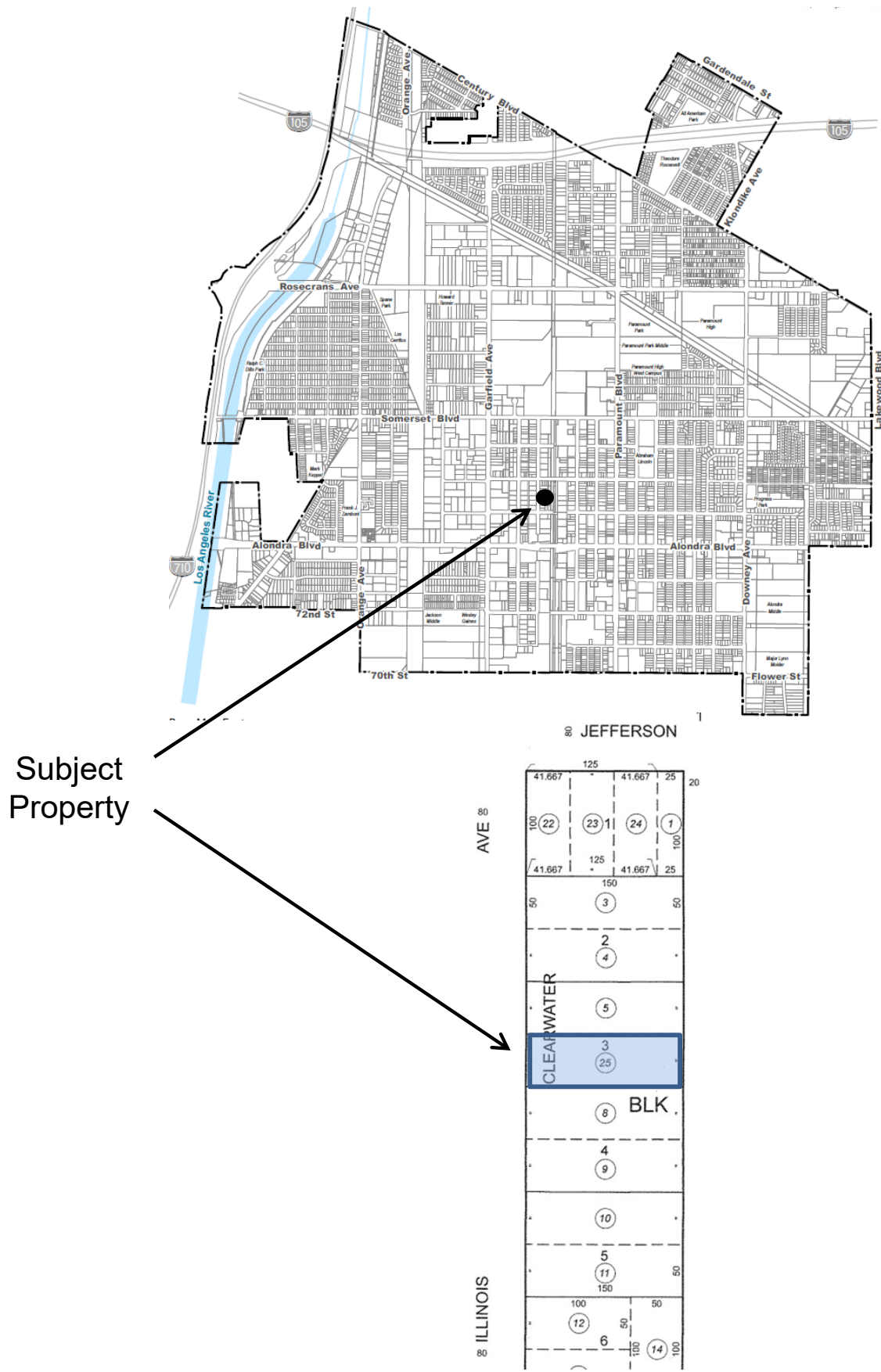
driveway aprons shall be closed and replaced with curb, gutter, and sidewalk, per specifications from the Public Works Department.

11. The driveway shall not incorporate center gutters or center swales. All surface drainage shall be along perimeters or underground.
12. A precise lighting plan shall be submitted showing the location and types of all exterior lighting. The plan shall be subject to the approval of the Planning Department. Approval criteria will emphasize both the functional as well as the decorative nature of the proposed lighting. The parking lot and other common areas shall be illuminated to a demonstrated degree equal to or exceeding one point five candles per foot. The plan and fixture design shall be approved separately from the design approval and from the working drawings.
13. Prior to the release of utilities or service connections, final building, electrical, plumbing, and/or mechanical approval, the owner or general contractor shall submit a list of all contractors and/or subcontractors performing work on this project or development to the Planning Department.
14. All contractors shall obtain a business license to work and/or do business in the City of Paramount.
15. All applicable development fees are due prior to the issuance of building permits.
16. The plans are subject to Los Angeles County Fire Department approval.
17. A utility plan shall be approved by the Planning Division before a permit is issued. All mechanical equipment and appurtenances of any type, whether located on rooftop, ground level, or anywhere on the building structure or site shall be completely enclosed or screened so as not to be visible from any public street and/or adjacent property. Such enclosure of facilities or screening shall be of compatible design related to the building structure for which such facilities are intended to serve.
18. No wrought iron, metal, steel etc. security bars shall be installed on the exterior of any window or door. All exterior doors must be able to open without special knowledge of tools.
19. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint. Graffiti shall be promptly painted over with paint to match the predominant surface paint or stucco color. Blemishes at the rear of the building shall be promptly removed.
20. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in front setbacks, side setbacks, rear yard areas, and over driveways and in parking and circulation areas.

21. All parking areas shall comply with applicable development requirements as specified in Article 3 (Loading Areas and Off-Street Parking) of Chapter 17.44 of the Paramount Municipal Code.
22. All trash, debris, and junk throughout the site shall be removed.
23. Any damage to the adjacent public streets from project construction shall be promptly cleaned/repared by the applicant.
24. The applicant shall comply with all National Pollution Discharge Elimination System (NPDES) regulations.
25. The location of all backflow devices shall be approved by the Planning Department prior to installation. Backflow devices shall be painted and screened with landscaping as approved by the Planning Department.
26. The location of all electrical panels and meters shall be approved by the Planning Department prior to installation. Electrical panels and meters are prohibited in the front setback. Electrical panels and meters shall be screened with landscaping as approved by the Planning Department.
27. A precise landscaping and irrigation plan shall be submitted showing the size, type, and location of all plant material including shade/canopy trees, shrubs, groundcover, and brown mulch; and irrigation. The property shall be landscaped within the yard areas indicated on the approved landscape plan. The existing landscaping shall be refurbished as needed. Plant material shall be maintained in a thriving condition in perpetuity in compliance with Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code. The plan shall be subject to the approval of the Planning Department and shall be approved separately from the design approval and from the working drawings. Landscaping shall be planted and irrigation shall be installed and maintained in perpetuity in accordance with the approved plan and State and City regulations. No mature trees shall be removed without the authorization of the Planning Department.
28. The rear door and roll-up gate shall be refurbished and repainted as needed.
29. The photo frame aluminum box at the front of the building shall be removed.
30. The new driveway approach and associated changes to the monolithic curb, gutter, and sidewalk shall be reviewed and approved by the City Engineer/Public Works Department.
31. Construction shall take place 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 5:00 p.m. on Saturday. Construction is prohibited on Sundays and national holidays.

32. The applicant shall ensure that the public streets and other public infrastructure remain clean from dirt and other debris during construction. The applicant shall comply with South Coast Air Quality Management District Rule 403 regarding reduction of fugitive dust with best available fugitive dust control measures.
33. The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
34. An electronic copy (PDF format) of the plans shall be submitted to the Planning Department prior to permit issuance.
35. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.

Development Review Application No. 23:014



SEPTEMBER 6, 2023

DEVELOPMENT REVIEW BOARD

COMMENTS FROM BOARD MEMBERS AND STAFF