



City of Paramount  
Building and Safety Division  
16400 Colorado Ave  
Paramount, CA 90723  
562-220-2036

## ACCESSORY DWELLING UNIT CONVERSION OF EXISTING DETACHED STRUCTURE GUIDELINES

California State Government Code Section 65852.2 requires that local jurisdictions allow Accessory Dwelling Units (ADU) by-right under certain mandatory development standards. Any subsequent revisions to Government Code Section 65852.2 or adoption of a local ordinance will govern.

The information found in the guidelines are intended to provide guidance to applicants on prescriptive provisions for the conversions of legally permitted existing one story detached structures such as garages, recreation rooms, hobby shops etc. to ADUs. The information in the guidelines does not apply to new construction of ADUs, conversion of attached structures, removal of more than 50% of the existing walls (major remodel), or conversion to ADUs accompanied with any addition or expansion. This information guidelines is for reference only and is not a substitute for accurate drawings prepared for each construction project. Any deviation from these prescriptive provisions will require compliance with the Paramount Residential Code and the Paramount Building Code.

**Each property may be subject to site specific conditions and additional requirements may apply.** The Department of Building and Safety will request covered or concealed work to be exposed for examination prior to Certificate of Occupancy.

### **Foundation**

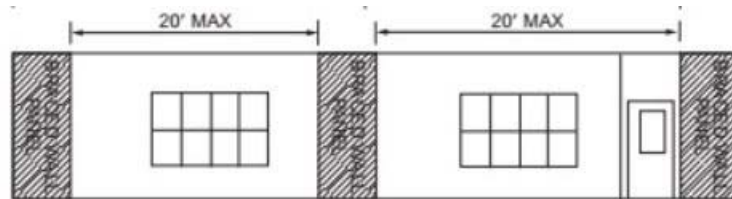
1. Exterior walls and interior bearing walls shall be supported on continuous footings.
2. Depth of footing below the natural and finish grades shall not be less than 12 inches, including underneath an infilled garage door opening or match existing footing depth if deeper than 12 inches. If any portion of the structure has an existing slab without any footing or is less than 12 inch in depth, the foundation shall be underpinned to a minimum of 12 inch in width and 12 inch in depth or match existing footing depth if deeper than 12 inches.
3. Minimum concrete strength for new or underpinned footings shall be 2,500 psi.
4. Existing footings are permitted to remain. New footings shall be reinforced with four ½ inch diameter deformed reinforcing bars (two bars at top of footing, two bars at bottom of footing).
5. An approved epoxy slab coating shall be applied of top of the slab if it does not have the required moisture barrier membrane. New concrete floor slabs on grade shall be placed on a 4 inch fill of coarse aggregate or on a 2 inch sand bed covered with a minimum 6 mil moisture barrier membrane.
6. Existing slab are permitted to remain. New concrete floor slabs shall be at least 4 inch thick and shall be reinforced with ½ inch diameter deformed reinforcing bars. Reinforcing bars shall be spaced at maximum 16 inches of center.

7. Existing anchor bolts are permitted to remain. New anchor bolts shall be a minimum of 5/8 inch diameter x 10 inch long with 7 inches embedment spaced at a maximum 6 feet on center. Post installed anchor bolts shall have an approved Research Report and shall require special inspection by a licensed deputy inspector.
8. Existing sills and sleepers are permitted to remain. New sills and sleeper on a concrete slab which is in direct contact with the ground shall be preservative-treated wood in accordance with American Wood Protection Agency (AWPA) U1.
9. Concrete foundation walls shall extend a minimum of 6 inch above the finished grade adjacent to the foundation.
10. New exterior plaster (stucco) walls shall be provided with a corrosion resistant weep screed.

## **FRAMING**

1. Existing wall framing may remain unless there is an increase in load of over 400 pounds (i.e. mechanical equipment). If there are no ceiling joists, ceiling joists shall be required to accommodate additional loads (i.e., ceiling drywall, lighting, and mechanical equipment). New framing or altered framing shall comply with current C.R.C Regulations.
2. The infill walls of existing openings such as a garage doors opening shall be 2x4 studs at a maximum 16 inches on center. Existing garage door headers are permitted to remain.
3. Headers for new openings in existing walls shall comply with current C.R.C regulations.
4. Bracing wall panel shall begin within 10 feet from each end of a brace wall line. The distance between adjacent edges of brace wall panel along a brace wall line shall not be greater than 20 feet from panel to panel edge. WSP braced wall panels shall be a minimum of 4 feet in length and shall have 15/32 inch minimum thickness with 8d common nails at 6 inch spacing along panel edges, 12 inch spacing at intermediate supports, and 3/8 inch distance to panel edge.

NOTE: CONTINUOUS SHEATHING METHODS REQUIRE ALL FRAMED PORTIONS OF THE BRACED WALL LINE TO BE SHEATHED.



For SI: 1 foot = 304.8 mm.

## **FIRE PROTECTION AND FIRE-RESISTANCE RATED CONSTRUCTION**

1. Automatic residential fire sprinkler system shall not be required for the ADU conversion when the existing house does not have an automatic residential fire sprinkler system.
2. Exterior walls less than 5 feet from the property line of a non-sprinklered ADU conversion or less than 3 feet from the property line of a sprinklered ADU conversion shall be 1 hour fire-resistance rated construction. The 1 hour fire resistance wall can be achieved by installing 5/8" type X gypsum board on the entire interior side of the wall up to the roof line.
3. No opening shall be permitted in the exterior walls of a non sprinklered ADU conversion where the exterior wall is less than 3 feet to the property line. The area of exterior wall openings of a non sprinklered ADU conversion located between 3 feet and 5 feet of the property line shall be limited to 25% of the wall area.

4. Smoke alarms shall be provided in each sleeping room and immediately outside of each separate sleeping area. Smoke alarms or smoke detectors shall receive their primary power from the building wiring and shall be equipped with a battery backup.
5. Carbon monoxide alarms shall be installed where the unit contains fuel burning appliances and shall be provided immediately outside of each separate sleeping area. Carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup.

#### **MEANS OF EGRESS AND EMERGENCY ESCAPE**

1. The egress (main entry) door shall be side hinged and shall be a minimum of 3 feet in width and 6 feet 8 inches in height. All interior doors through which occupants pass shall have a minimum width of 32 inches.
2. Emergency escape openings shall be provided from every sleeping room and shall open directly to a yard or public way. Emergency escape openings shall have a minimum clear height of 24 inches, a minimum clear width of 20 inches, and a minimum openable area of 5.7 square feet (exception: grade floor opening or below grade opening shall have a net clear opening area of not less than 5 square feet). The bottom of the emergency escape opening shall not be greater than 44 inches above the finished floor.

#### **INTERIOR ENVIRONMENT**

1. Habitable room shall have a floor area of not less than 70 square feet and shall not be less than 7 feet in any horizontal dimension. A minimum ceiling height of 7 feet shall be provided throughout.
2. The ADU shall provide permanent provisions for cooking, at a minimum: kitchen sink, cooktop, and refrigerator, each with 30 inches minimum clear space in front.
3. Habitable rooms shall have natural ventilation through an opening of not less than 4 percent of the room's floor area, unless a whole house mechanical ventilation system is installed.
4. Habitable rooms shall have natural lighting through an aggregate glazing (window) area of not less than 8 percent of the room's floor area, unless an artificial lighting is installed to produce an average illumination of 6 foot candles at a height of 30 inches above the floor in conjunction with a whole house mechanical ventilation system.
5. The unit shall provide heating facilities capable of maintaining a room temperature of not less than 68°F at a point 3 feet above the floor and 2 feet from exterior walls. Portable space heaters shall not be used to achieve compliance with this section. [The CF1R Residential Certificate of Compliance will dictate what means of heating will be provided.]
6. The unit shall provide a separate bathroom containing a toilet, lavatory, and bathtub or shower. Bathrooms shall provide mechanical exhaust fans with an intermittent ventilation rate of 50 cubic feet per minute. The center line of any toilet shall be located a minimum 15 inches from any side wall or obstruction, and a minimum 24 inches clear space in front of the toilet shall be provided.
7. Attics shall provide a minimum cross ventilation of 1.150 of the area of the vented space. An attic access opening shall be provided with minimum dimensions of 22 inches by 30 inches and a minimum headroom clearance of 30 inches. The attic access opening shall be located in a hallway or other readily accessible location.

## **ENERGY/GREEN/PLUMBING/ELECTRICAL**

1. The ADU shall comply with California Building Energy Efficiency Standards (Title 24). The CF1R Residential Certificate of Compliance shall be attached to the plans. If the CF1R requires Home Energy Rating System (HERS) field verification, the CF1R shall be registered with a certified HERS provider.
2. The ADU shall comply with the applicable Green Building Code requirements.
3. Detached ADU shall have an independent connection with a public sewer.
4. The ADU shall have a separate shut off valve, accessible to the unit.
5. The ADU shall require a separate electrical disconnect accessible to the unit.