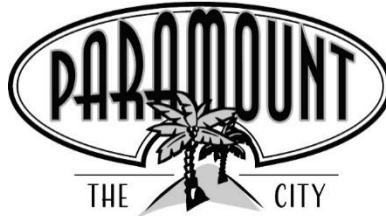


AGENDA

Paramount Planning Commission

April 2, 2025



Safe, Healthy, and Attractive

Regular Meeting
City Hall Council Chamber
6:00 p.m.

City of Paramount

16400 Colorado Avenue ♦ Paramount, CA 90723 ♦ (562) 220-2000 ♦ www.paramountcity.com

PUBLIC PARTICIPATION NOTICE

In-person Attendance: The public may attend the Planning Commission meetings in-person.

Public Comments: Members of the public wanting to address the Planning Commission, either during public comments or for a specific agenda item, or both, may do so by the following methods:

- **In-person**

If you wish to make a statement, please complete a Speaker's Card prior to the commencement of the Public Comments period of the meeting. Speaker's Cards are located at the entrance. Give your completed card to a staff member and when your name is called, please go to the podium provided for the public.

- **E-mail:** planning@paramountcity.com

E-mail public comments must be received **15 minutes prior to the start of the meeting**. The e-mail should specify the following information: 1) Full Name; 2) City of Residence; 3) Phone Number; 4) Public Comment or Agenda Item No.; 5) Subject; 6) Written Comments.

All public comments are limited to a maximum of three (3) minutes unless an extension is granted. No action may be taken on items not on the agenda except as provided by law. All public comments will be recorded and rules of decorum and procedures for the conduct of City meetings will apply when addressing the Planning Commission whether in-person or via email.

Notes

CALL TO ORDER:

Chair Gordon Weisenburger

PLEDGE OF ALLEGIANCE:

Chair Gordon Weisenburger

ROLL CALL OF MEMBERS:

Commissioner Ernie Esparza
Commissioner Javier Gonzalez
Commissioner David Moody
Vice Chair Linda Timmons
Chair Gordon Weisenburger

MINUTES

1. [APPROVAL OF MINUTES](#) March 3, 2025

PUBLIC COMMENTS

PUBLIC HEARINGS

NEW BUSINESS

2. [CONDITIONAL USE PERMIT NO. 978](#) A request by Wen Kan/Expert Computer International, Inc. to operate a warehouse and distribution facility of computer parts at 7110 Jackson Street in the M-2 (Heavy Manufacturing) Zone. This project is a Class 1 (existing facilities) Categorical Exemption pursuant to Article 19, Section 15301 of California Environmental Quality Act (CEQA) Guidelines.
3. [CONDITIONAL USE PERMIT NO. 979](#) A request by Mariah DeFlores/Uniq HQ to operate a gymnasium at 13832-13836 Paramount Boulevard in the C-M (Commercial Manufacturing) zone. This project is a Class 1 (existing facilities) Categorical Exemption pursuant to Article 19, Section 15301 of California Environmental Quality Act (CEQA) Guidelines.
4. [UNCLASSIFIED USE PERMIT NO. 24-01](#) A request by ECDC Environmental, L.C. for the operation of Southern California Trans/Rail for loading sealed bins containing RCRA (Resource Conservation and Recovery Act) and non-RCRA waste onto rail flat cars at 7727 Jackson Street in the M-2 (Heavy Manufacturing) zone. This project is a Class 1 (existing facilities) Categorical Exemption pursuant to Article 19, Section 15301 of California Environmental Quality Act (CEQA) Guidelines.

5. **ZONE CHANGE
NO. 250**

A recommendation for the City Council of the City of Paramount to change the official Zoning Map from R-1 (Single-Family Residential) to M-2 (Heavy Manufacturing) on vacant land north of 13900 Orange Avenue identified as APNs 6236-003-901 and 6236-003-902. This project is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) which is the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

REPORTS

6. **ORAL REPORT**

City Council Actions

COMMENTS

7. **COMMENTS**

- City Attorney
- Commissioners
- Staff

ADJOURNMENT

To a meeting on Wednesday, May 7, 2025, at 6:00 p.m.

APRIL 2, 2025

APPROVAL OF MINUTES
PLANNING COMMISSION

MOTION IN ORDER:

APPROVE THE PLANNING COMMISSION MINUTES OF MARCH 3, 2025.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

PARAMOUNT PLANNING COMMISSION MINUTES MARCH 3, 2025

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER:

The meeting of the Planning Commission was called to order by Chair Gordon Weisenburger at 6:02 p.m. at City Hall, Council Chamber, 16400 Colorado Avenue, Paramount, California.

ROLL CALL OF COMMISSIONERS:

Present: Commissioner Ernie Esparza
Commissioner Javier Gonzalez
Commissioner David Moody
Chair Gordon Weisenburger

Absent: Vice Chair Linda Timmons

STAFF PRESENT:

Lindsay Thorson, Planning Commission Attorney
John King, Planning Director
Rick Baptista, Building and Safety Manager
Sol Bejarano, Management Analyst
Ivan Reyes, Associate Planner
Leslie Corrales, Assistant Planner
Abigail Urquiza, Planning Intern
Biana Salgado, Administrative Assistant

It was moved by Commissioner Esparza, seconded by Commissioner Gonzalez, to excuse Vice Chair Timmons from the Planning Commission meeting. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger

NOES: None

ABSENT: Vice Chair Timmons

ABSTAIN: None

PUBLIC COMMENTS

There were none.

1. APPROVAL OF MINUTES

Chair Weisenburger presented the Planning Commission minutes of January 27, 2025 for approval.

It was moved by Commissioner Esparza, seconded by Commissioner Moody, to approve the minutes as presented. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: Commissioner Gonzalez

2. APPROVAL OF
MINUTES

Chair Weisenburger presented the Planning Commission minutes of February 5, 2025 for approval.

It was moved by Commissioner Gonzalez, seconded by Commissioner Moody, to approve the minutes as presented. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

OLD BUSINESS

PUBLIC HEARINGS

3. TENTATIVE PARCEL
MAP NO. 084713
COLORADO 4, LP
15538 COLORADO
AVENUE

Chair Weisenburger presented the item, a request by Colorado 4, LP to create four single-family lots from one lot at 15538 Colorado Avenue in the R-M (Multiple-Family Residential) zone.

Planning Director John King introduced Associate Planner Ivan Reyes who presented an overview of the request which also included an overview of Zone Change No. 249 and Development Review Application No. 25:001.

There was further discussion between the Planning Commission and staff regarding the item.

Chair Weisenburger reopened the continued public hearing.

Planning Director John King stated there were no comment cards submitted in favor or opposed to the request.

There was further discussion between the applicant, Mike Ferrero from Gold Key Development/Colorado 4, LP, and the Planning Commission.

It was moved by Commissioner Gonzalez, seconded by Commissioner Esparza, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Gonzalez, seconded by Commissioner Moody, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:002, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

NEW BUSINESS

PUBLIC HEARINGS

4. ZONE CHANGE NO.
249
COLORADO 4, LP
15538 COLORADO
AVENUE

Chair Weisenburger presented the item, a request Colorado 4, LP to replace Ordinance No. 1185/Zone Change No. 247, changing the official zoning map from R-M (Multiple-Family Residential) to PD-PS (Planned Development with Performance Standards) at 15538 Colorado Avenue.

Chair Weisenburger opened the public hearing. Planning Director John King stated there were no comment cards submitted in favor or opposed to the request.

There being no comments in favor or opposed to the request, it was moved by Commissioner Moody, seconded by Commissioner Esparza, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Esparza, seconded by Commissioner Gonzalez, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:003, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

5. CONDITIONAL USE
PERMIT NO. 974
JAYONE FOODS, INC.
7312 ALONDRA
BOULEVARD

Chair Weisenburger presented the item, a request by Jayone Foods, Inc. to allow the import and wholesale of beer and wine at 7312 Alondra Boulevard in the PD-PS (Planned Development with Performance Standards) zone.

Planning Director John King introduced Associate Planner Ivan Reyes who presented an overview of the request.

There was further discussion between the Planning Commission and staff.

Chair Weisenburger opened the public hearing.

Planning Director John King stated there were no comment cards in favor or opposed to the request.

There being no other comments in favor or opposed to the request, it was moved by Commissioner Gonzalez, seconded by Commissioner Moody, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Gonzalez, seconded by Commissioner Esparza, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:004, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

6. CONDITIONAL USE
PERMIT NO. 975
SANTOS ARMIDA
GARCIA CAMPAÑA
7542 ADAMS STREET

Chair Weisenburger presented the item, a request by Santos Armida Garcia Campaña to construct a 950 square foot addition (450 square feet on the first floor and 500 square feet on the second floor) to an existing 900 square foot single-family home for a total 1,850 square foot single-family home; and construct a 486 square foot attached garage at 7542 Adams Street in the M-2 (Heavy Manufacturing) zone.

Planning Director John King introduced Assistant Planner Leslie Corralea who presented an overview of the request.

Chair Weisenburger opened the public hearing. Planning Director John King stated that there were no comment cards submitted in favor or opposed to the request.

There being no comments in favor or opposed to the request, it was moved by Commissioner Gonzalez, seconded by Commissioner Moody, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Gonzalez, seconded by Commissioner Esparza, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:005. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

7. CONDITIONAL USE
PERMIT NO. 976
BRYAN I.
BERNAL/LEON
IMPORTS, INC. 7245
ALONDRA
BOULEVARD

Chair Weisenburger presented the item, a request by Bryan I. Bernal/Leon Imports, Inc. to operate a warehouse and distribution facility for apparel, boots, and accessories at 7245 Alondra Boulevard within the Ward Industrial Park in the M-2 (Heavy Manufacturing) zone.

Planning Director John King introduced Assistant Planner Leslie Corrales who presented an overview of the request.

Chair Weisenburger opened the public hearing. Planning Director John King stated there were no comment cards submitted in favor or opposed to the request.

There being no additional comments in favor or opposed to the request, it was moved by Commissioner Moody, seconded by Commissioner Esparza, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Esparza, seconded by Commissioner Gonzalez, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:006. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

8. ZONING ORDINANCE
TEXT AMENDMENT
NO. 28

Chair Weisenburger presented the item, a recommendation for the City Council of the City of Paramount to approve an ordinance to replace, add, and amend definitions; and include minor amendments to allowable uses, exterior holiday displays in residential areas, and other minor revisions for the purpose of maintaining conformity with State law, implementing the Paramount Housing Element, bringing internal consistency within the Zoning Ordinance, and clarifying outdated text.

Planning Director John King presented an overview of the request.

There was further discussion between the Planning Commission and staff regarding the item.

Chair Weisenburger opened the public hearing. Planning Director John King stated there were no comment cards submitted in favor or opposed to the request.

There being no additional comments in favor or opposed to the request, it was moved by Commissioner Gonzalez, seconded by Commissioner Moody, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Esparza, seconded by Commissioner Gonzalez, to read by title only and adopt Planning Commission Resolution No. PC 25:008, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Gonzalez, Moody and Timmons,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Esparza
ABSTAIN: None

9. GENERAL PLAN
AMENDMENT
NO. 25-1

Chair Weisenburger presented the item a recommendation for the City Council of the City of Paramount to revise the Health and Safety Element of the Paramount General Plan to adopt the Local Hazard Mitigation Plan with language in compliance with Assembly Bill (AB) 2140.

Planning Director John King presented an overview of the request.

There was further discussion between the Planning Commission and staff regarding the item.

Chair Weisenburger opened the public hearing. Planning Director John King stated there were no comment cards submitted in favor or opposed to the request.

There being no additional comments in favor or opposed to the request, it was moved by Commissioner Esparza, seconded by Commissioner Moody, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza, Gonzalez, and Moody,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Timmons
ABSTAIN: None

It was moved by Commissioner Gonzalez, seconded by Commissioner Moody, to read by title only and adopt Planning Commission Resolution No. PC 25:009, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Gonzalez, Moody and Timmons,
Chair Weisenburger
NOES: None
ABSENT: Vice Chair Esparza
ABSTAIN: None

REPORTS

10. CITY COUNCIL
ACTIONS

Planning Director John King stated that the City Council formally adopted minor changes to the mobile food vendor ordinance.

11. COMMENTS FROM
CITY ATTORNEY,
COMMISSIONERS
AND STAFF

Planning Director John King stated that the Planning Commissioners Academy will take place in Santa Rosa beginning March 5, 2025.

Planning Director John King stated there is a joint workshop with the City Council taking place on Tuesday, March 25, 2025.

Planning Director John King introduced the new Planning Intern Abigail Urquiza to the Planning Commission.

Lastly, Planning Director John King announced to the Planning Commission his promotion from Interim Planning Director to Planning Director.

ADJOURNMENT

There being no further business to come before the Commission, the meeting was adjourned by Chair Weisenburger at 7:35 p.m. to the next Planning Commission meeting to be held on Wednesday, April 2, 2025 at City Hall Council Chamber, 16400 Colorado Avenue, Paramount, California at 6:00 p.m.

Gordon Weisenburger, Chair

ATTEST:

Biana Salgado, Administrative Assistant

APRIL 2, 2025

PUBLIC HEARING

CONDITIONAL USE PERMIT NO. 978

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:
READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT
PLANNING COMMISSION RESOLUTION NO. PC 25:010, APPROVING
A REQUEST BY WEN KAN/EXPERT COMPUTER INTERNATIONAL,
INC. TO OPERATE A WAREHOUSE AND DISTRIBUTION FACILITY OF
COMPUTER PARTS AT 7110 JACKSON STREET IN THE M-2 (HEAVY
MANUFACTURING) ZONE.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

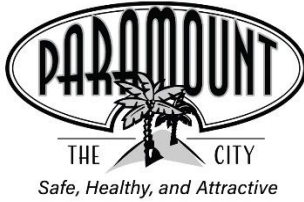
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Conditional Use Permit No. 978
REQUEST:	Operate a warehouse and distribution facility of computer parts
APPLICANT:	Wen Kan/Expert Computer International, Inc.
MEETING DATE:	April 2, 2025
LOCATION:	7110 Jackson Street
ZONE:	M-2 (Heavy Manufacturing)
GENERAL PLAN:	Industrial
PLANNER:	Ivan Reyes
RECOMMENDATION:	Approval



To: Honorable Planning Commission
From: John King, AICP, Planning Director
By: Ivan Reyes, Associate Planner
Date: April 2, 2025

**Subject: CONDITIONAL USE PERMIT NO. 978
WEN KAN/EXPERT COMPUTER INTERNATIONAL, INC.**

BACKGROUND

This application is a request by Wen Kan/Expert Computer International, Inc. to approve Conditional Use Permit (CUP) No. 978, a request to operate a warehouse and distribution facility for computer parts at 7110 Jackson Street in the M-2 (Heavy Manufacturing) zone. The property is located on the south side of Jackson Street. The 2.02-acre site is developed with a 58,695 square foot industrial building. The business has been in operation since 2015 in the City of Paramount and is relocating from an existing warehouse (6437 Alondra Boulevard). The total lease area of the business will be 31,000 square feet for storage of electronic and computer parts. The remainder of the building will be available for lease as a separate unit.

The purpose of this hearing is to consider the relocation of the business to a larger facility and establish conditions to comply with City regulations.

The Planning Commission approved a similar CUP (CUP No. 866) in June 2019 for a warehouse/distribution business. The business ceased operations in July 2024. As the use has been inactive for more than 180 days, the CUP is no longer applicable.

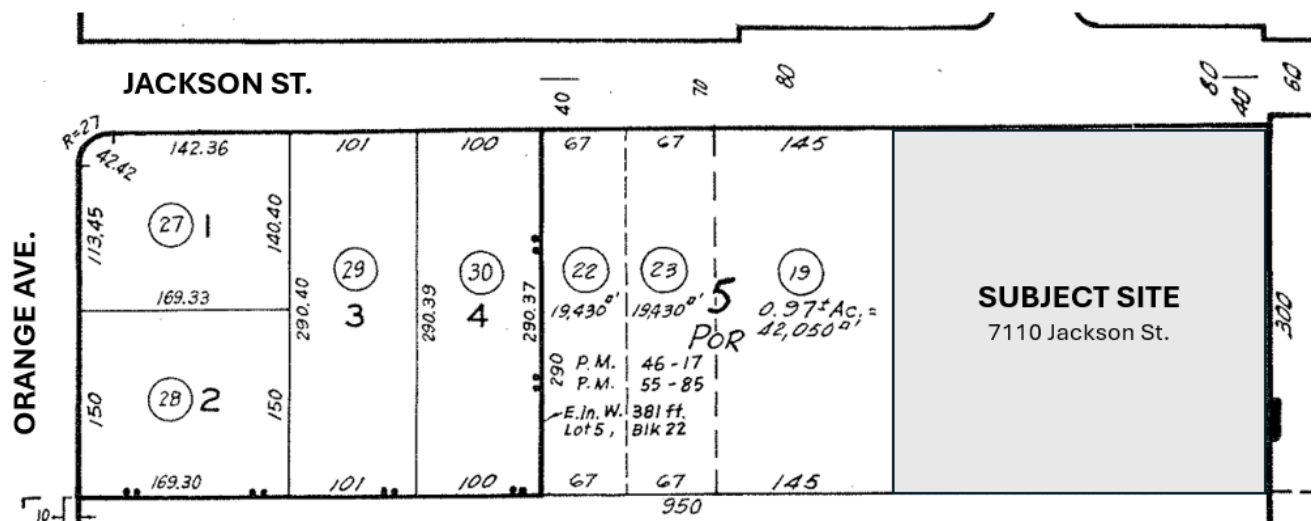
DISCUSSION

Expert Computer International specializes in online wholesale of computer parts including managing online listings, packing and shipping orders. The hours of operation are Monday through Friday from 9:00 a.m. to 6:00 p.m. There are a total of 25 employees. The applicant does not propose manufacturing of electronic or computer parts.

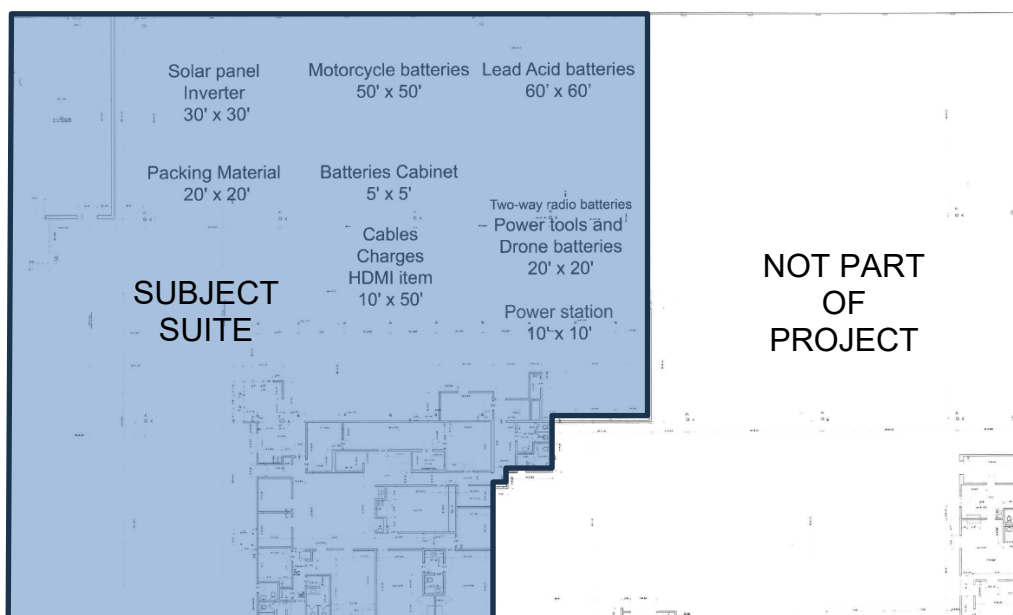
The existing warehouse will be divided into two separate suites creating separate units which will allow different businesses to operate independently within the same property. The applicant is proposing a tenant improvement to construct a wall division and shall comply with Building and Safety requirements.

The applicant does not ship or receive products in large trucks or containers. There are no commercial vehicles associated with business operations. The delivery and pickup of materials in conjunction with the warehouse and distribution business will be limited to courier services that are generally recognized as providing service to commercial areas such as the United States Postal Service (USPS), Deutsche Post (DHL), or messenger services, etc. The number of onsite pickups will not exceed one per day. Products will be shipped one-to-two times per week on pallets via Less-Than-Truckload (LTL), which is a shipment that does not fill an entire truckload.

Below is the proposed site location.



Below is the proposed floor plan.



Below are site photos from March 19, 2025. The first photo is the existing entrance to business suite. The second photo depicts the view from the street.



Analysis

The proposed business is located in an appropriate zone and is compatible with the surrounding businesses in the industrial zone. The location is adequate in size and sufficient parking will be provided.

Environmental Assessment

This project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration not involving substantial expansion.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 3: Economic Health.

RECOMMENDED ACTION

Read by title only, waive further reading, and adopt Resolution No. PC 25:010, approving Conditional Use Permit No. 978, subject to the conditions of approval in the resolution.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:010**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDINGS OF FACT AND DECISION RELATIVE TO CONDITIONAL USE PERMIT NO. 978, A REQUEST BY WAN KEN/EXPERT COMPUTER INTERNATIONAL, INC. TO OPERATE A WAREHOUSE AND DISTRIBUTION FACILITY OF COMPUTER PARTS AT 7110 JACKSON STREET IN THE M-2 (HEAVY MANUFACTURING) ZONE

WHEREAS, the Planning Commission of the City of Paramount has received an application from Wen Kan/Expert Computer International, Inc. to operate a warehouse and distribution facility of computer parts at 7110 Jackson Street in the M-2 (heavy Manufacturing) zone; and

WHEREAS, Paramount Municipal Code Section 17.48.030 et seq., a portion of the Zoning Ordinance of the City of Paramount, requires the Planning Commission to duly notice a public hearing, receive a report from staff, conduct the hearing and consider all evidence before it, and thereafter to announce its findings and decisions in zoning matters and specifically for conditional use permits; and

WHEREAS, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration to an existing private structure.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission finds that the evidence presented does justify the granting of this application for the following reasons:

1. The requested use at the location proposed will not:
 - a. Adversely affect the health, peace, safety or welfare of persons residing or working in the surrounding area;

- b. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site; nor
 - c. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare; and
- 2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed in this chapter, or as is otherwise required in order to integrate such use with the uses in the surrounding area; and
- 3. That the proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and
 - b. By other public or private service facilities as are required.

SECTION 5. That pursuant to Resolution No. 82:043 of the City Council the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 6. The Planning Commission hereby approves the applied for Conditional Use Permit as to use in the above entitled matter, subject to the following conditions:

General

- 1. Conditions. All planning conditions of approval for Conditional Use Permit No. 978 shall be printed as general notes on the approved set of building plans.
- 2. Material Deviation. Except as set forth in conditions, development shall take place substantially as shown on the approved site plan. Any material deviation must be approved by the Planning Department before construction.
- 3. Affidavit. This Conditional Use Permit shall not be effective for any purposes until the applicant has first filed at the office of the Planning Commission a sworn affidavit acknowledging and accepting all conditions of this Conditional Use Permit. The affidavit shall be submitted by Friday, April 18, 2025. Failure to provide the City of Paramount with the requisite affidavit within the stated here in above shall render the Conditional Use Permit void.
- 4. One-year Approval. This approval is valid for a period of one year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall terminate and shall be null and void.

5. Revocation. It is hereby declared to be the intent, that if any provision of this permit is violated or held to be invalid, or if any law, statute, or ordinance is violated, this Permit shall be subject to the revocation process at which time, the Permit may become terminated, and the privileges granted hereunder shall lapse.
6. Violations. It is further declared and made a condition of this Conditional Use Permit that if any condition hereof is violated or if any law, statute or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
7. The applicant understands that an Unclassified Use Permit, Conditional Use Permit, and/or Variance granted under the Zoning Ordinance, or any section thereof, is granted and accepted by all parties with the express understanding that the Planning Commission may hold a public hearing, notice of time and place of which shall be given to the applicant, if one or more of the following conditions exists:
 - a) That the approval was obtained by fraud;
 - b) That the need for which such approval was granted has ceased to exist or has been suspended for one year or more;
 - c) That the Unclassified Use Permit, Conditional Use Permit, and/or Variance is being, or recently has been, exercised contrary to the terms or conditions of such approval or in violation of any statute, provision of the Code, ordinance, law, or regulation;
 - d) That the need for which the approval was granted was so exercised as to be detrimental to the public health or safety or so as to constitute a nuisance (Section 17.48.070, Paramount Municipal Code).

If after such hearing, the Planning Commission finds that any grounds for modification, suspension, or revocation exist, the Planning Commission may modify, suspend, or revoke such Unclassified Use Permit, Conditional Use Permit, and/or Variance.

Permitting

8. Fees. All applicable development fees are due prior to the issuance of building permits.
9. Alterations or Damages. No exterior structural alteration or building color change, other than the colors or building treatments originally approved, shall be permitted without the prior approval of the Planning Department.

10. Window Security Bars. The installation of exterior window security bars, security door, and security gates is prohibited in accordance with Section 17.36.090 (C) of the Paramount Municipal Code.
11. Paint. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint.
12. Tarps. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in all front and side setback areas, rear yard areas, over driveways, and in parking and circulation areas.
13. Tenant Improvement. The applicant shall submit plans to the Building and Safety Division for dividing the building into two suites.
14. Future tenant improvements shall meet all requirements of the Building and Safety Division.
15. Business License. The applicant and all successor tenants shall obtain and maintain a current City of Paramount business license.
16. Signs. Signs, banners, and feather flags require separate review and approval by the Planning Department prior to fabrication and installation. Damage to the building exterior from wall signs that have been removed shall be repainted and repaired as needed.
17. Special Events. Special events shall be reviewed in accordance with Special Event Permit regulations for possible approval by the Planning Department.
18. Clean Premises. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, and the surrounding property perimeter.
19. Digital Plans. An electronic copy (PDF format) of the plans shall be submitted to the Planning Department prior to permit issuance.

Business Operations

20. Business Hours. Business hours shall be limited to 9:00 a.m. to 6:00 p.m., Monday through Friday.
21. All operations conducted on the premises shall not be objectionable by reason of noise, steam, vibration, odor, or hazard.
22. Outdoors. Outdoor storage and outdoor work are prohibited without first obtaining a separate conditional use permit.

23. Prohibited Storage. Trucks are prohibited from overnight storage on the parking lot and shall be parked inside the building.
24. Truck Delivery. Trucks delivering vehicles to the site shall unload within the property interior. Truck parking, stopping, loading, and unloading are prohibited on public streets and alleys.
25. Truck Idling. Signs shall be installed, following separate Planning Department review and approval, stating that truck drivers shall limit idling of diesel-powered vehicles to less than five minutes in accordance with Title 13 – Section 2485 of the California Code of Regulations.
26. Floor Plan. The approved floor plan shall not be changed without prior approval by the Planning Department.
27. Security Cameras. Security cameras shall be installed following City review and approval of a security camera plan. The approved cameras or more technologically advanced versions of the approved cameras shall be maintained in perpetuity. Security camera recordings shall be maintained for at least 30 days and provided for law enforcement review upon request.
28. Lighting. A sufficient amount of lighting, as determined by the Planning Department, shall illuminate the premises. New light fixtures as needed shall be reviewed and approved by the Planning Department for their decorative quality and location, and permits shall be obtained.
29. Labor Regulations. The applicant shall comply with all relevant labor laws and regulations of the Division of Labor Standards Enforcement of the California Department of Industrial Relations and the Division of Occupational Safety and Health (Cal/OSHA).
30. Agency Regulations. In the ongoing business operations, the applicant shall comply with all relevant federal, state, and local laws and regulations of all relevant government agencies, including but not limited to (1) the Los Angeles County Fire Department, (2) Public Works (3) the South Coast Air Quality Management District, and (4) the California Department of Resources Recycling and Recovery (CalRecycle).
31. Noise. In the ongoing business operations, the applicant shall comply with the Noise Ordinance (Chapter 9.12 of the Paramount Municipal Code).
32. Window Signs. Window sign area shall be limited to 40 percent of each grouping of adjacent panes of glass.
33. Fencing. Any privacy screen along the perimeter fence of the subject site shall be removed.

34. Urban Stormwater Management. The applicant shall comply with Chapter 8.20 (Urban Stormwater Management) of the Paramount Municipal Code. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, the parking lot, and the surrounding property perimeter. The parking lot shall be completely swept and maintained free of debris and litter a minimum of one day per week. Areas adjacent to a parking lot, including, but not limited to, planters, loading and unloading areas, and surrounding public rights-of-way shall be maintained free of debris and litter by sweeping and other equally effective measures. Such debris and litter shall be collected and properly disposed of in compliance with all applicable local, State, and Federal regulations.
35. Exterior Lighting. The exterior lighting of the pedestrian walkway shall be cleaned, refurbished, and maintained in good, unblemished condition.
36. Graffiti Removal. Graffiti on all site features including signs, walls, window panes, mechanical equipment, and curbs shall be removed. The suite and adjacent site shall be maintained free of graffiti and other vandalism.
37. Landscaping. Landscaping shall be maintained to the satisfaction of the Planning Department in perpetuity. Landscape changes are subject to Planning Department review and approval. Mature trees shall not be removed without prior approval by the Planning Department. Plant material shall be maintained in a thriving condition in perpetuity in compliance with Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code.
38. Bicycle Rack. At least one bicycle rack shall be provided and maintained in good condition in perpetuity. The rack shall be an inverted "U" rack or another rack type that allows for a bicycle frame and one wheel to be attached. The type, color, and precise location of the rack shall be reviewed and approved by the Planning Department prior to purchase or installation of the rack. The precise location shall be within the clear range of a security camera.
39. Organic Waste. The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.

Final Approval

40. At the completion of the project when all conditions of approval are addressed), final written approval from the Planning Division shall be obtained prior to Building and Safety Division final approval.

SECTION 7. This Resolution shall take effect immediately upon its adoption.

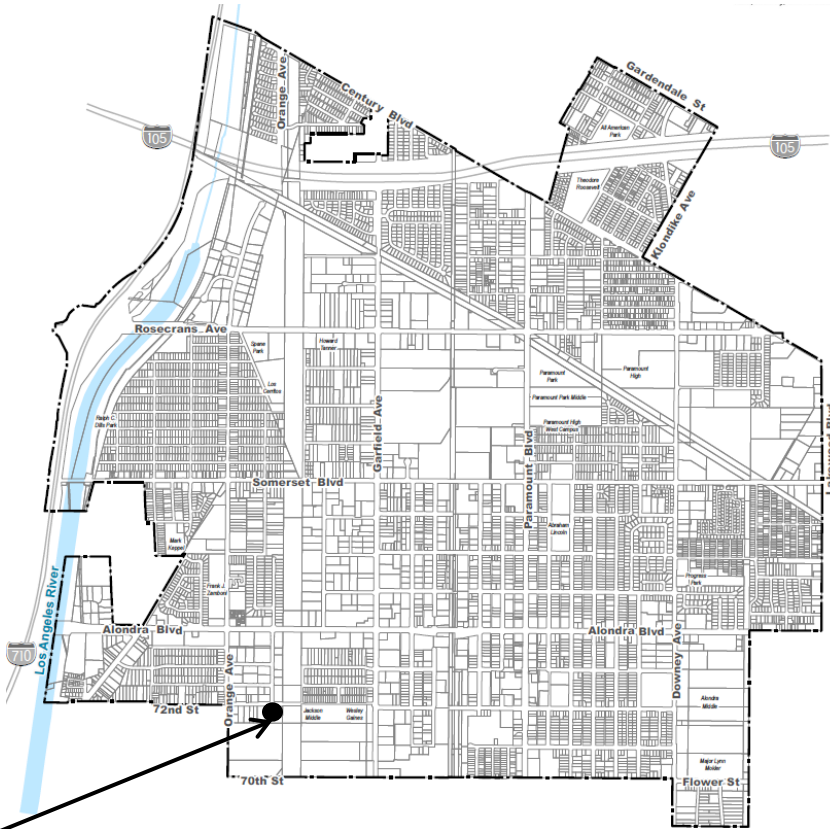
PASSED, APPROVED, and ADOPTED this 2nd day of April 2025.

Gordon Weisenburger, Chair

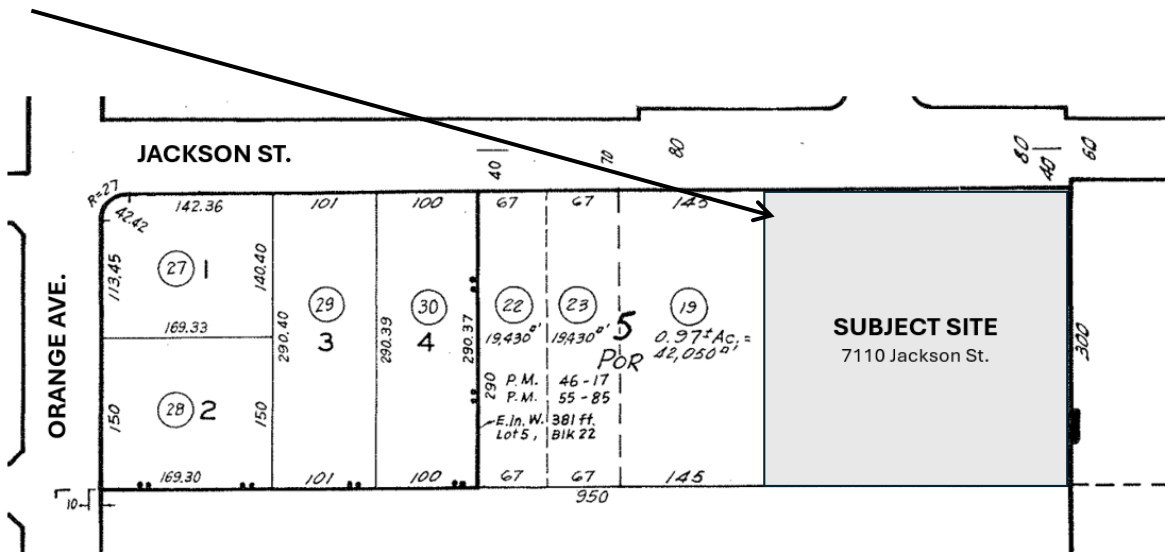
Attest:

Biana Salgado, Administrative Assistant

Conditional Use Permit No. 978



Subject
Property



7110 Jackson Street

APRIL 2, 2025

PUBLIC HEARING

CONDITIONAL USE PERMIT NO. 979

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:
READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT
PLANNING COMMISSION RESOLUTION NO. PC 25:011, APPROVING
A REQUEST BY MARIAH DEFLORES/UNIQ HQ TO OPERATE A
GYMNASIUM AT 13832-13836 PARAMOUNT BOULEVARD IN THE C-
M (COMMERCIAL-MANUFACTURING) ZONE.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

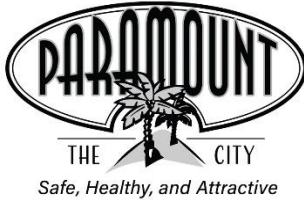
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Conditional Use Permit No. 979
REQUEST:	Operate a gymnasium
APPLICANT:	Mariah DeFlores/UNIQ HQ
MEETING DATE:	April 2, 2025
LOCATION:	13832-13836 Paramount Boulevard
ZONE:	C-M (Commercial-Manufacturing)
GENERAL PLAN:	North Paramount Gateway Specific Plan
PLANNER:	Ivan Reyes
RECOMMENDATION:	Approval



To: Honorable Planning Commission
From: John King, AICP, Planning Director
By: Ivan Reyes, Associate Planner
Date: April 2, 2025

**Subject: CONDITIONAL USE PERMIT NO. 979
MARIAH DEFLORES/UNIQ HQ**

BACKGROUND

This application is a request by Mariah DeFlores/UNIQ HQ for a conditional use permit (CUP) to operate a gymnasium at 13832-13836 Paramount Boulevard in the C-M (Commercial-Manufacturing) zone. Under the North Paramount Gateway Specific Plan, gymnasiums are permitted with a conditional use permit. The commercial suite and building are located on a 2.17-acre property. The proposed gym would occupy a 10,419 square foot commercial suite within a 37,604 square foot multi-tenant building. The commercial building was constructed in 1959 and is located east of Paramount Boulevard. H-1 Floor Covering previously occupied the subject suites, which would be repurposed for the gym.

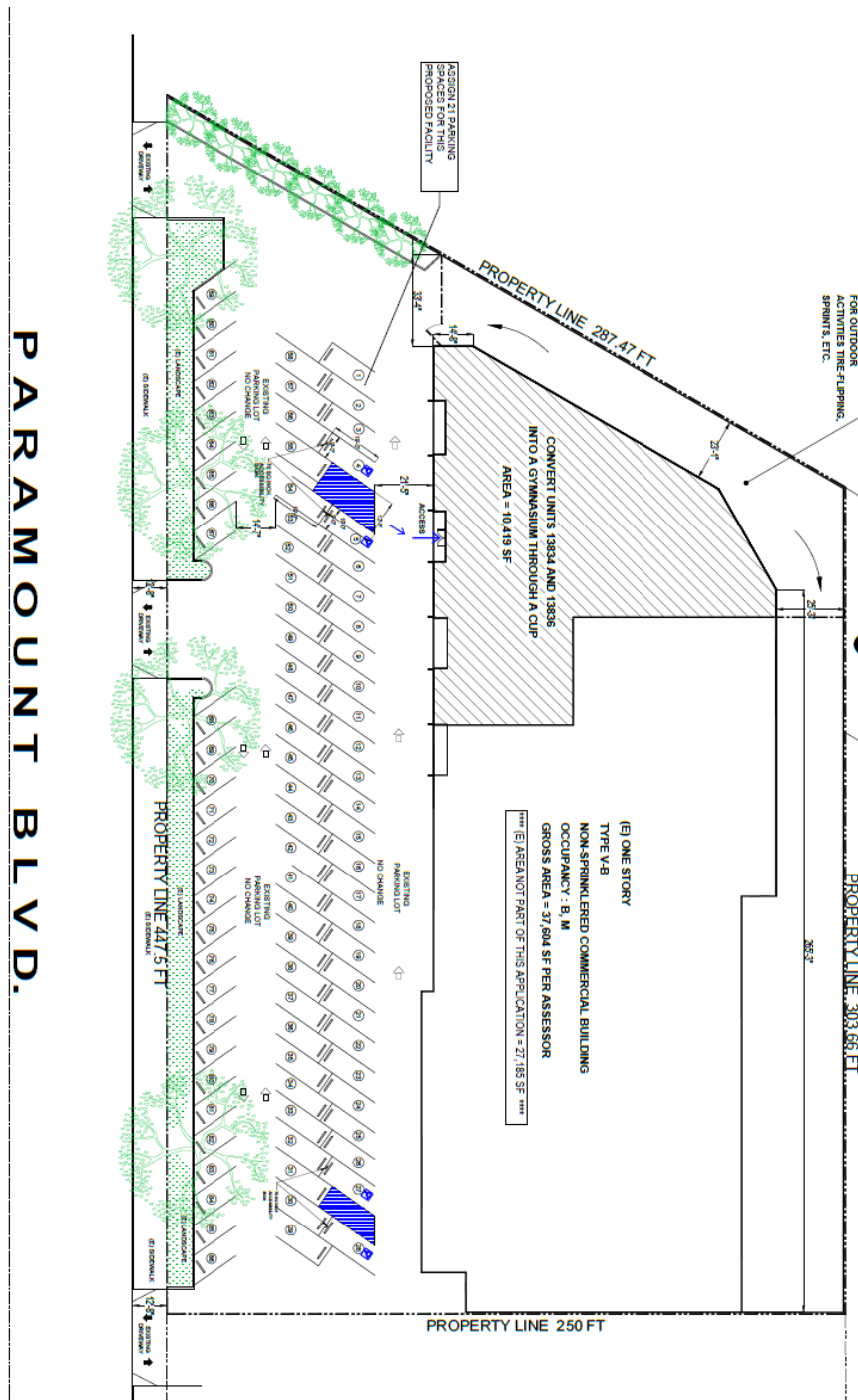
DESCRIPTION

In 2023, UNIQ HQ has been operating as a personal training fitness studio at 15340 Paramount Boulevard (formerly The Work Out) as allowed with CUP No. 834. The business is relocating to a larger facility to accommodate their growing number of clients and provide a free-use gym that will offer a variety of amenities including cardio machines, free weights, and single-person-use equipment. The business hours of operations would be Monday through Sunday from 5:00 a.m. to 10:00 p.m. There would be a total of 15 employees working onsite.

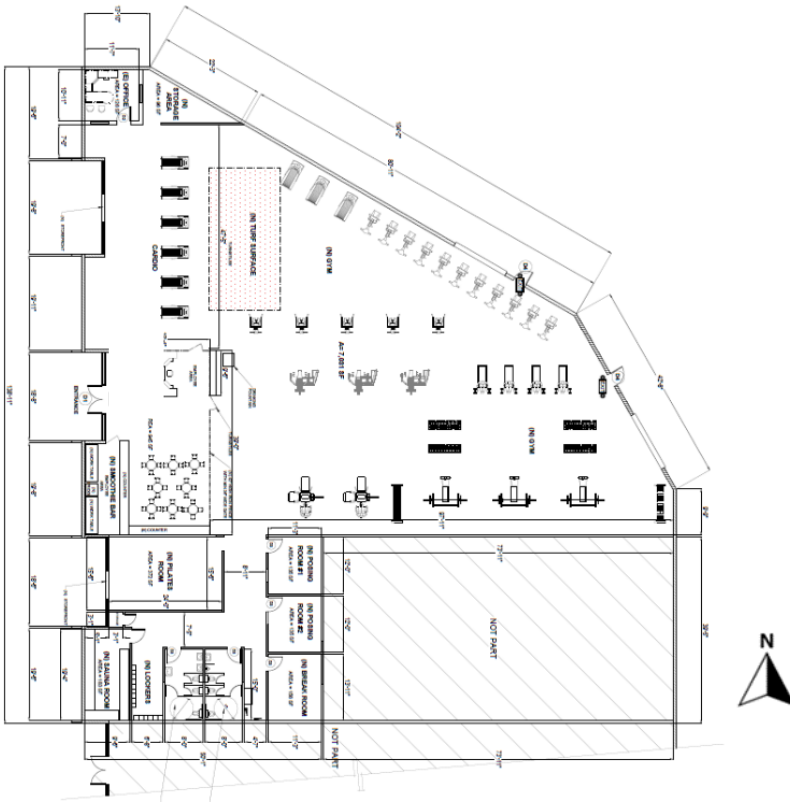
Due to proximity to residential neighborhoods, the gym is also proposing two set times of "quiet hours" from 5:00 a.m. to 7:00 a.m. and 8:00 p.m. to 10:00 p.m. which will consist of reduced level of sound emitted from gym group exercise. A maximum of eight clients would have personal training or group training during quiet hours.

As part of the CUP review, staff conducted a parking analysis based on the parking requirements of one parking space per 500 square feet of gross floor area for indoor recreational facilities. Based on the total square footage of the suite, the proposed business is required to have a total of 21 parking spaces. A total of 86 parking spaces are provided, including three Americans with Disabilities Act (ADA)-accessible parking spaces.

Below is the proposed site location.



Below is the floor plan.



Below are site photos from March 19, 2025.



*The front (east) of the suite,
facing Paramount Boulevard*



The west side entryway to the suite

Analysis

The business would be located in an appropriate commercial zone and is compatible with the surrounding businesses in the commercial center. The location is adequate in size and sufficient parking will be provided.

Environmental Assessment

This project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration not involving substantial expansion.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 2: Community Health.

RECOMMENDED ACTION

Read by title only, waive further reading, and adopt Resolution No. PC 25:011, approving Conditional Use Permit No. 979, subject to the conditions of approval in the resolution.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:011**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDINGS OF FACT AND DECISION RELATIVE TO CONDITIONAL USE PERMIT NO. 979, A REQUEST BY MARIAH DEFLORES/UNIQ HQ TO OPERATE A GYMNASIUM AT 13832-13836 PARAMOUNT BOULEVARD IN THE C-M (COMMERCIAL MANUFACTURING) ZONE

WHEREAS, the Planning Commission of the City of Paramount has received an application from Mariah DeFlores/UNIQ HQ to operate a gymnasium at 13832-13836 Paramount Boulevard in the C-M (Commercial Manufacturing) zone; and

WHEREAS, Ordinance No. 178, the Zoning Ordinance of the City of Paramount, requires the Planning Commission to announce its findings and decisions in zoning matters; and

WHEREAS, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration to an existing private structure.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission finds that the evidence presented does justify the granting of this application for the following reasons:

1. The requested use at the location proposed will not:
 - a. Adversely affect the health, peace, safety or welfare of persons residing or working in the surrounding area;
 - b. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site; nor

- c. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as is otherwise required in order to integrate such use with the uses in the surrounding area; and
3. That the proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and
 - b. By other public or private service facilities as are required.

SECTION 5. That pursuant to Resolution No. 82:043 of the City Council the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 6. The Planning Commission hereby approves the applied for Conditional Use Permit as to use in the above entitled matter, subject to the following conditions:

General

1. Conditions. All conditions of approval of Conditional Use Permit No. 979 shall be printed as general notes on the approved set of building plans.
2. Material Deviation. Except as set forth in conditions, development shall take place substantially as shown on the approved site plan. Any material deviation must be approved by the Planning Department before construction.
3. Affidavit. This Conditional Use Permit shall not be effective for any purposes until the applicant has first filed at the office of the Planning Commission a sworn affidavit acknowledging and accepting all conditions of this Conditional Use Permit. The affidavit shall be submitted by Friday, April 18, 2025. Failure to provide the City of Paramount with the requisite affidavit within the stated here in above shall render the Conditional Use Permit void.
4. One-Year Approval. This approval is valid for a period of one year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall terminate and shall be null and void.

5. Revocation. It is hereby declared to be the intent, that if any provision of this permit is violated or held to be invalid, or if any law, statute, or ordinance is violated, this Permit shall be subject to the revocation process at which time, the Permit may become terminated and the privileges granted hereunder shall lapse.
6. Violations. It is further declared and made a condition of this Conditional Use Permit that if any condition hereof is violated or if any law, statute or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
7. The applicant understands that an Unclassified Use Permit, Conditional Use Permit, and/or Variance granted under the Zoning Ordinance, or any section thereof, is granted and accepted by all parties with the express understanding that the Planning Commission may hold a public hearing, notice of time and place of which shall be given to the applicant, if one or more of the following conditions exists:
 - a) That the approval was obtained by fraud;
 - b) That the need for which such approval was granted has ceased to exist or has been suspended for one year or more;
 - c) That the Unclassified Use Permit, Conditional Use Permit, and/or Variance is being, or recently has been, exercised contrary to the terms or conditions of such approval or in violation of any statute, provision of the Code, ordinance, law or regulation;
 - d) That the need for which the approval was granted was so exercised as to be detrimental to the public health or safety or so as to constitute a nuisance (Section 17.48.070, Paramount Municipal Code).

If after such hearing, the Planning Commission finds that any grounds modification, suspension, or revocation exist, the Planning Commission may modify, suspend, or revoke such Unclassified Use Permit, Conditional Use Permit, and/or Variance.

Permitting

8. License. All contractors shall obtain a business license to work and/or conduct business in the City of Paramount.
9. Fees. All applicable development fees are due prior to the issuance of building permits.

10. Alterations. No exterior structural alteration or building color change, other than the colors or building treatments originally approved, shall be permitted without the prior approval of the Planning Department.
11. Window Security Bars. The installation of exterior window security bars is prohibited in accordance with Section 4.3.2 (E) of the North Paramount Gateway Specific Plan.
12. Paint. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint.
13. Tarps. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in all front and side setback areas, rear yard areas, over driveways, and in parking and circulation areas.
14. Lighting. A sufficient amount of lighting, as determined by the Planning Department, shall illuminate the premises. New light fixtures as needed shall be reviewed and approved by the Planning Department for their decorative quality and location, and permits shall be obtained.
15. Labor Regulations. The applicant shall comply with all relevant labor laws and regulations of the Division of Labor Standards Enforcement of the California Department of Industrial Relations and the Division of Occupational Safety and Health (Cal/OSHA).
16. Agency Regulations. In the ongoing business operations, the applicant shall comply with all relevant federal, state, and local laws and regulations of all relevant government agencies, including but not limited to (1) the Los Angeles County Fire Department, (2) the Industrial Waste Unit of the Los Angeles County Department of Public Works (3) the South Coast Air Quality Management District, and (4) the California Department of Resources Recycling and Recovery (CalRecycle).
17. Parking. All parking areas shall comply with applicable development requirements as specified in Article 3 (Loading Areas and Off-Street Parking) of Chapter 17.44 of the Paramount Municipal Code. The parking lot shall be restriped and maintained in a clear condition in compliance with Americans with Disabilities Act (ADA) requirements. The parking spaces and drive aisles shall meet all Municipal Code and Americans with Disabilities Act (ADA) requirements.
18. Urban Stormwater Management. The applicant shall comply with Chapter 8.20 (Urban Stormwater Management) of the Paramount Municipal Code. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, the parking lot, and the surrounding property perimeter. The parking lot shall be completely swept and maintained free of debris and litter at least weekly. Areas adjacent to a parking lot, including, but not

limited to, planters, loading and unloading areas, and surrounding public rights-of-way shall be maintained free of debris and litter by sweeping and other equally effective measures. Such debris and litter shall be collected and properly disposed of in compliance with all applicable local, State, and Federal regulations.

Business Operations

19. **Business Hours.** Business hours shall be limited to 5:00 a.m. to 10:00 p.m., Monday through Sunday. Quiet hours at a minimum shall be 5:00 a.m. to 7:00 a.m. and 8:00 p.m. to 10:00 p.m. All doors/gates to the facility shall be closed to minimize any projection of music.
20. **Business License.** The applicant and all successor tenants shall obtain and maintain a current City of Paramount business license.
21. **Signs.** Signs, banners, and feather flags require separate review and approval by the Planning Department prior to fabrication and installation. Signs shall not conceal architectural features on the exterior of the building. Damage to the building exterior from wall signs that have been removed shall be repainted and repaired as needed.
22. **Special Events.** Special events shall be reviewed in accordance with Special Event Permit regulations for possible approval by the Planning Department.
23. **Clean Premises.** The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, and the surrounding property perimeter.
24. **Landscaping.** Landscaping shall be maintained to the satisfaction of the Planning Department in perpetuity. Landscape changes are subject to Planning Department review and approval. Mature trees shall not be removed without prior written approval by the Planning Department. Plant material shall be maintained in a thriving condition in perpetuity in compliance with Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code.
25. **Landscaping Maintenance.** A two-inch layer of brown mulch shall be applied along the north side of the perimeter landscaping areas and parking lot planters on the northwest corner of the property.
26. **Outdoors.** Outdoors storage and outdoor work are prohibited.
27. **Truck Delivery.** Stopping, loading, and unloading of delivery trucks associated with inbound and outbound shipments is prohibited on public streets and alleys.

28. The approved floor plan shall not be changed without prior approval by the Planning Department.
29. Security Cameras. Security cameras shall be installed following City review and approval of a security camera plan. The approved cameras or more technologically advanced versions of the approved cameras shall be maintained in perpetuity. Security camera recordings shall be maintained for at least 30 days and provided for law enforcement review upon request.
30. Noise. Noise shall comply with Chapter 9.12 of the Paramount Municipal Code. Outdoor speakers or other exterior audible devices are prohibited.
31. Window Signs. Window sign area shall be limited to forty percent of each grouping of adjacent panes of glass.
32. Bicycle Racks. At least two bicycle racks shall be provided and maintained in good condition in perpetuity. The racks shall be an inverted "U" or another rack type that allows for a bicycle frame and one wheel to be attached. The type, color, and precise location of the racks shall be reviewed and approved by the Planning Department prior to purchase or installation of the racks. The precise location shall be within the clear range of a security camera.
33. Building Maintenance. The existing exterior slumpstone block, tile roof, stucco wall finish, and storefront windows and door shall be touched up, repaired as needed, and maintained in good condition.
34. Signs. Any sign on the building and parking lot area of the subject suite in disrepair shall be repaired or replaced with an equivalent sign and maintained in good condition.
35. Parking Lot. The parking lot shall be refurbished and maintained free of any cracks or damage.
36. Outdoor Storage. All outdoor storage and materials must be removed from previous use.
37. Vehicle Storage. Prior to issuing the business license, existing shipping container and commercial vehicles parked adjacent to the subject suite shall be removed.
38. Organic Waste. The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
39. Tenant Improvement. Future tenant improvements and other construction shall meet all requirements of the Building and Safety Division.

- 40. Graffiti Removal. Any graffiti, including graffiti in the form of window etching, shall be promptly removed.
- 41. Noise Ordinance. In the ongoing business operations, the applicant shall comply with the Noise Ordinance (Chapter 9.12 of the Paramount Municipal Code).
- 42. All operations conducted on the premises shall not be objectionable by reason of noise, steam, vibration, odor, or hazard.
- 43. Digital Plans. An electronic copy (PDF format) of the plans shall be submitted to the Planning Department prior to permit issuance.

Final Approval

- 44. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.

SECTION 7. This Resolution shall take effect immediately upon its adoption.

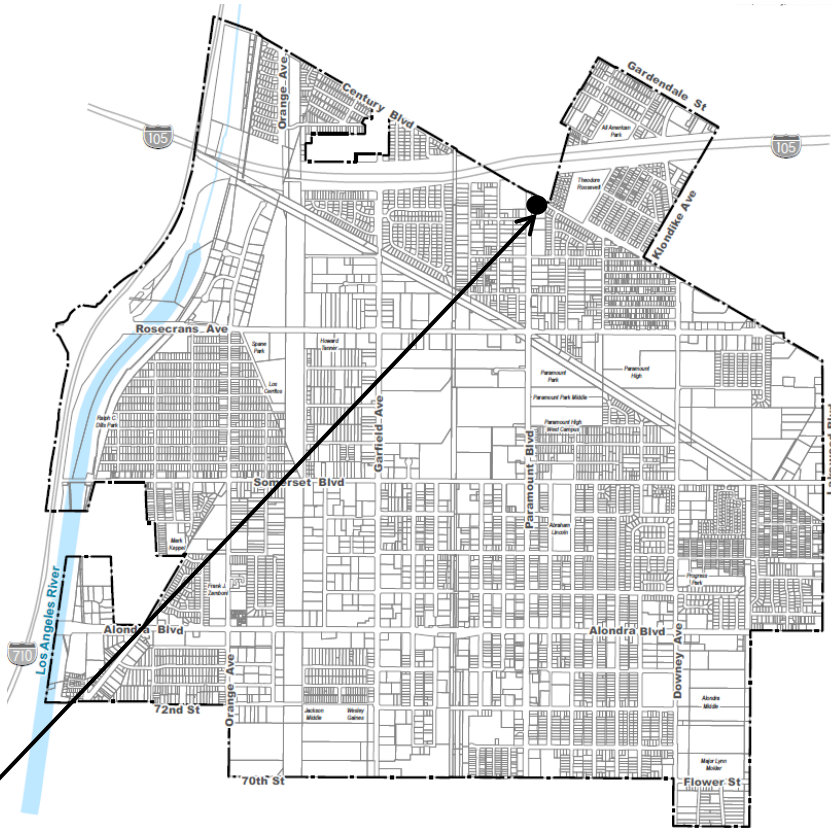
PASSED, APPROVED, and ADOPTED this 2nd day of April 2025.

Gordon Weisenburger, Chair

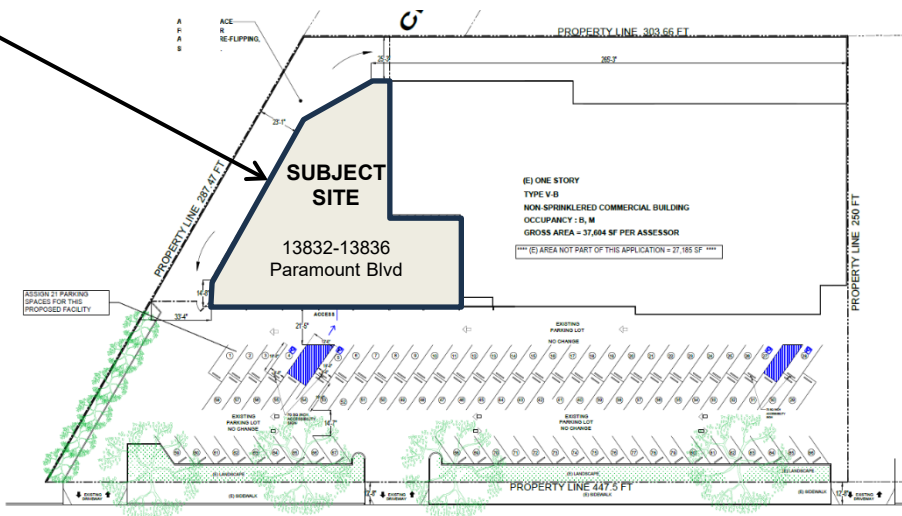
Attest:

Biana Salgado, Administrative Assistant

Conditional Use Permit No. 979



Subject
Property



PARAMOUNT BLVD.

13832-13836 Paramount Boulevard

APRIL 2, 2025

PUBLIC HEARING

UNCLASSIFIED USE PERMIT NO. 24-01

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:
READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT
PLANNING COMMISSION RESOLUTION NO. PC 25:013, APPROVING
A REQUEST BY ECDC ENVIRONMENTAL, LC FOR THE OPERATION
OF SOUTHERN CALIFORNIA TRANS/RAIL FOR LOADING SEALED
BINS CONTAINING RCRA (RESOURCE CONSERVATION AND
RECOVERY ACT) AND NON-RCRA WASTE ONTO RAIL FLAT CARS
AT 7727 JACKSON STREET IN THE M-2 (HEAVY MANUFACTURING)
ZONE.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

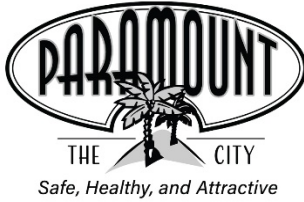
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



REVISED 4/2/25

CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER: Unclassified Use Permit No. 24-01

REQUEST: Approve the operation of Southern California Trans/Rail for loading sealed bins containing RCRA (Resource Conservation and Recovery Act) and non-RCRA waste onto rail flat cars

APPLICANT: ECDC Environmental, LC

MEETING DATE: April 2, 2025

LOCATION: 7727 Jackson Street

ZONE: M-2 (Heavy Manufacturing)

GENERAL PLAN: Railroad Right-of-way

PLANNER: John King

RECOMMENDATION: Approval



To: Honorable Planning Commission
From: John King, AICP, Planning Director
By:
Date: April 2, 2025

**Subject: UNCLASSIFIED USE PERMIT NO. 24-01
ECDC ENVIRONMENTAL, LC**

BACKGROUND

This application is a request by ECDC Environmental, LC for an unclassified use permit (UUP) for the operation of Southern California Trans/Rail for loading sealed bins containing RCRA (Resource Conservation and Recovery Act) and non-RCRA waste onto rail flat cars at 7727 Jackson Street in the M-2 (Heavy Manufacturing) zone.

In 2023, the City received complaints about trucks dragging and depositing dirt from the Union Pacific Railroad right-of-way onto City streets, including Monroe and Vermont Avenue. A notice of violation from the Code Enforcement Division action to correct the issue resulted in a determination that Republic Services did not have an active business license.

On October 3, 2023, Consolidated Disposal Service LLC, which is an affiliate of Republic Service, submitted a business license application with the business description, "Waste materials transfer bin to rail."

Upon understanding that Republic Services/Consolidated Disposal Service was hauling soil and other contaminated and hazardous material from the Alt Air/World Energy refinery site and other sites, Planning Department staff soon thereafter determined that further study and permitting was necessary for the business operations.

On October 17, 2023, the Planning Department informed Republic Services of the requirement to file an application for a UUP.

In January 2024, Republic Services submitted an application – UUP No. 24-01 under an ancillary business, ECDC Environmental. Planning Department staff determined that the application was incomplete until an environmental analysis under the California Environmental Quality Act (CEQA) accompanied the application (as required of all discretionary permits such as an unclassified use permit).

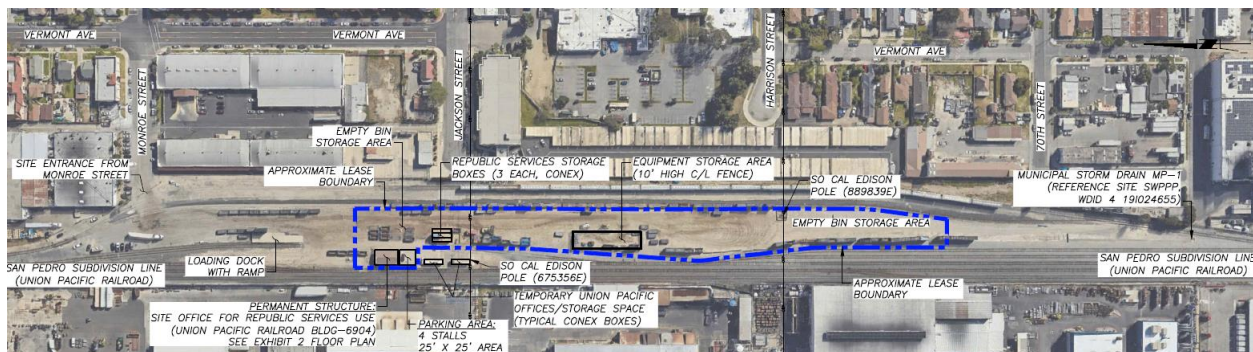
Upon review of environmental consultants, EPD Solutions was identified as a leading environmental planning firm with the expertise to review such a UUP application. On May 16, 2024, following research into the subject matter, EPD Solutions responded to a request for proposal.

In July 2024, Republic Services/ECDC Environmental submitted a revised UUP application reflecting changes to their internal staffing.

On October 8, 2024, the City Council approved an agreement with EPD Solutions to complete an environmental analysis following CEQA.

Plans

Below is the site plan. North is to the left.



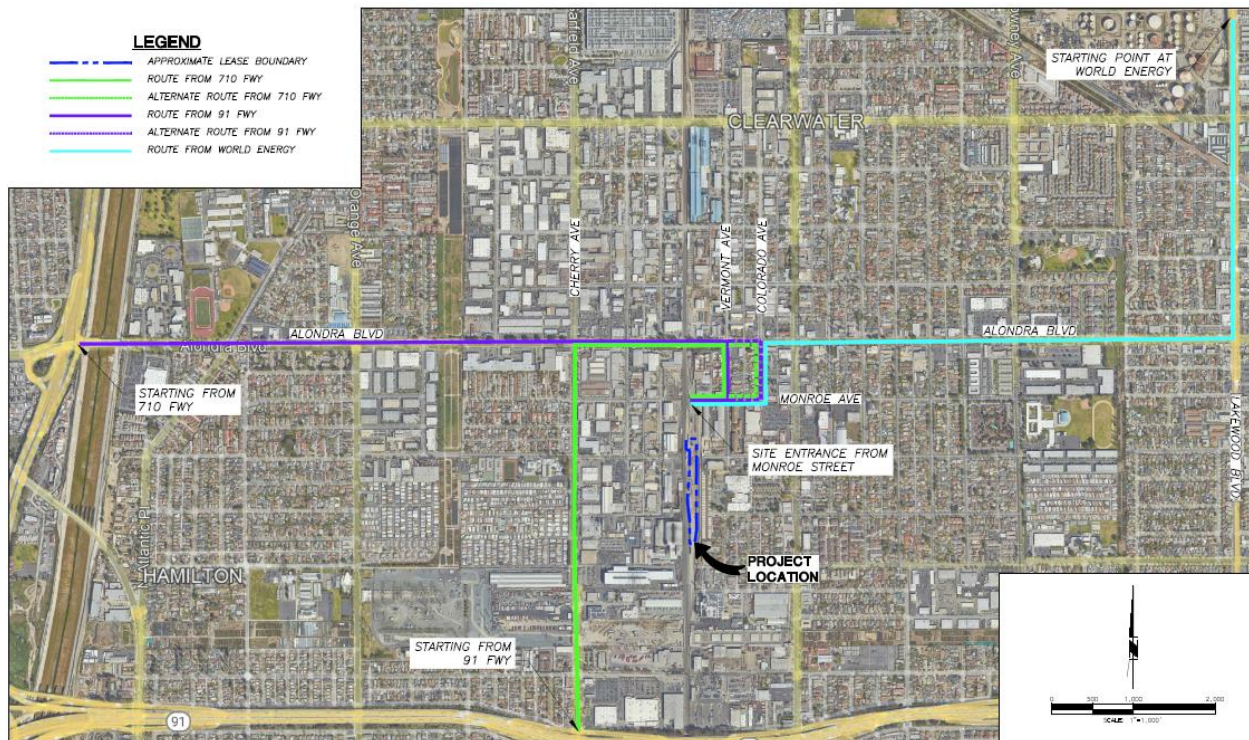
DISCUSSION

Republic Services is applying for a UUP for current operations related only to the transport of hazardous waste and materials through Paramount using City roads and facilities to the site surrounding 7727 Jackson Street. The purpose of the UUP is to ensure Republic Services is in compliance with all applicable transport law. Currently, the transport operations include trucking of sealed bins containing RCRA and non-RCRA waste from various sites through the City to the Southern Cal Trans/Rail Site where they are then transported by rail to landfills in Utah and Idaho operated by Republic Services/ECDC Environmental.

As researched by EPD Solutions, the site has historically been used for industrial purposes since at least the 1950s, initially functioning as a railroad car storage yard. From 1960 to 1985, the site operated as the UPRR Paramount Freight Station, and from 2005 to 2014, it was used by ECDC Waste for waste-related activities. ECDC has leased the site from UPRR since 2002. The property continues to serve as a waste transfer facility, where Consolidated Disposal Service, under Republic Services, handles the transfer of hazardous and non-hazardous waste.

Truck Routes

Below is an aerial photo with truck routes to the facility as provided by the applicant:



Analysis

The project would not result in land use changes. Pursuant to Section Chapter 17.40 of the City of Paramount Municipal Code, hazardous waste facilities are permitted only in the M-2 zone. The project is for an exempt hazardous waste transfer facility. No facility shall be permitted within 2,000 feet of permanent residential structures, hospitals, or schools. A separation greater than 2,000 feet may be required if determined necessary by a risk assessment.

The project site is, in fact, located within 2,000 feet of residential structures and a hospital; however, the facility has been operating as a transfer facility since at least the 1950s. The project site was conducting freight transfer operations prior to the development of surrounding sensitive land uses. Therefore, operation of the exempt hazardous waste transfer facility is consistent with the hazardous waste facility land use requirements outlined in Chapter 17.40 of the City of Paramount Municipal Code.

Additionally, California Health and Safety Code Section 25123.3(b) states that transfer facilities that commenced initial operations on and after January 1, 2005, and are located within 500 feet of a residence or other sensitive receptors, cannot be classified as an exempt transfer facility. However, since the project site began operations under ECDC Environmental in 2002, this requirement was not applicable, and the facility has

maintained its exempt status. Therefore, the project is consistent with existing land use requirements and no impacts would occur.

Environmental Assessment

EPD Solutions conducted an environmental analysis (attached along with a technical memo from Roux Associates, Inc.). This project is exempt from the provisions of CEQA as a Section 15301, Class 1 Categorical Exemption – minor alteration not involving substantial expansion. The proposed project qualifies for the Class 1 categorical exemption because it consists of the continuation of operation of Southern California Trans/Rail for loading sealed bins containing RCRA and non-RCRA waste onto rail flat cars at 7727 Jackson Street and surrounding properties. The project does not involve expansion of the existing site, structures, or services. The project would not result in any construction or operational changes to the facility. The facility would continue to operate in the same manner as it has been.

FISCAL IMPACT

None.

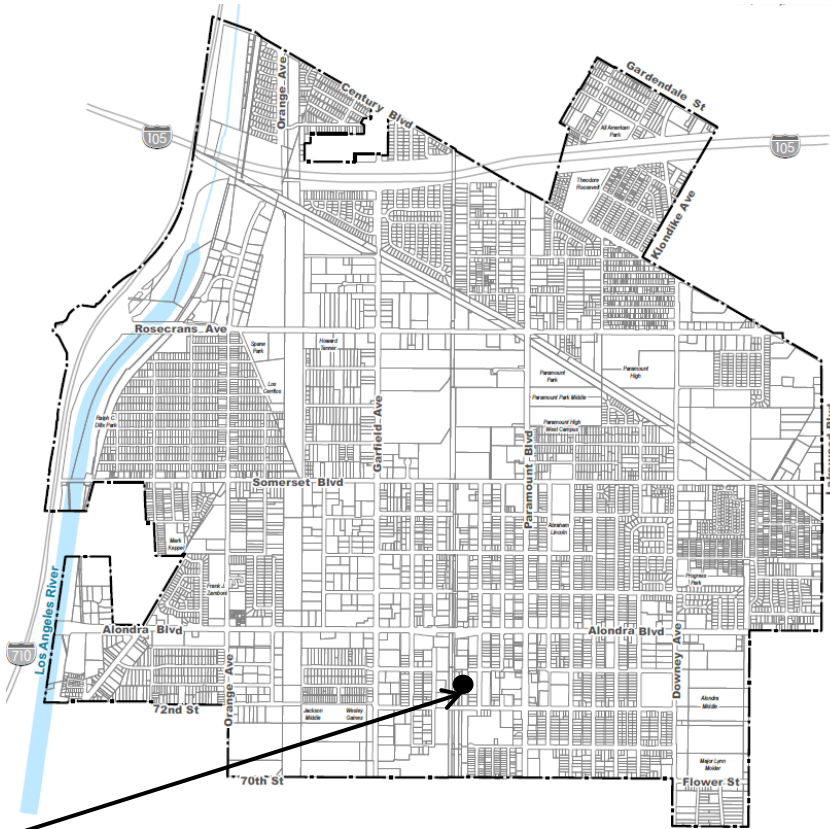
VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community.

RECOMMENDED ACTION

Read by title only, waive further reading, and adopt Resolution No. PC 25:013, approving Unclassified Use Permit No. 24-01, subject to the conditions of approval in the resolution.

Unclassified Use Permit No. 24-01



Subject
Property



7727 Jackson Street

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:013**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDINGS OF FACT AND DECISION RELATIVE TO UNCLASSIFIED USE PERMIT NO. 24-01, A REQUEST BY EDC ENVIRONMENTAL, LC FOR AN UNCLASSIFIED USE PERMIT (UUP) FOR THE OPERATION OF SOUTHERN CALIFORNIA TRANS/RAIL FOR LOADING SEALED BINS CONTAINING RCRA (RESOURCE CONSERVATION AND RECOVERY ACT) AND NON-RCRA WASTE ONTO RAIL FLAT CARS AT 7727 JACKSON STREET IN THE M-2 (HEAVY MANUFACTURING) ZONE

WHEREAS, the Planning Commission of the City of Paramount has received an application from EDC Environmental, LC for an unclassified use permit (UUP) for the operation of Southern California Trans/Rail for loading sealed bins containing RCRA (Resource Conservation and Recovery Act) and non-RCRA waste onto rail flat cars at 7727 Jackson Street in the M-2 (Heavy Manufacturing) zone; and

WHEREAS, Paramount Municipal Code Section 17.48.030 et seq., a portion of the Zoning Ordinance of the City of Paramount, requires the Planning Commission to duly notice a public hearing, receive a report from staff, conduct the hearing and consider all evidence before it, and thereafter to announce its findings and decisions in zoning matters and specifically for conditional use permits; and

WHEREAS, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration to an existing private structure.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission finds that the evidence presented does justify the granting of this application for the following reasons:

1. The requested use at the location proposed will not:
 - a. Adversely affect the health, peace, safety, or welfare of persons residing or working in the surrounding area;
 - b. Be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; nor
 - c. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as is otherwise required in order to integrate such use with the uses in the surrounding area; and
3. That the proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and
 - b. By other public or private service facilities as are required.

SECTION 5. That pursuant to Resolution No. 82:043 of the City Council the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 6. The Planning Commission hereby approves the applied for Unclassified Use Permit as to use in the above entitled matter, subject to the following conditions:

General

1. Affidavit. This Unclassified Use Permit shall not be effective for any purposes until the applicant has first filed at the office of the Planning Commission a sworn affidavit acknowledging and accepting all conditions of this Conditional Use Permit. The affidavit shall be submitted by Friday, April 18, 2025. Failure to provide the City of Paramount with the requisite affidavit within the stated here in above shall render the Unclassified Use Permit void.
2. One-Year Approval. This approval is valid for a period of one year from the date of final determination. If the use approved by this action is not established within such a period of time, this approval shall terminate and shall be null and void.

3. Revocation. It is hereby declared to be the intent, that if any provision of this permit is violated or held to be invalid, or if any law, statute, or ordinance is violated, this Permit shall be subject to the revocation process at which time, the Permit may become terminated and the privileges granted hereunder shall lapse.
4. Violations. It is further declared and made a condition of this Unclassified Use Permit that if any condition hereof is violated or if any law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
5. The applicant understands that an Unclassified Use Permit, Conditional Use Permit, and/or Variance granted under the Zoning Ordinance, or any section thereof, is granted and accepted by all parties with the express understanding that the Planning Commission may hold a public hearing, notice of time and place of which shall be given to the applicant, if one or more of the following conditions exists:
 - a) That the approval was obtained by fraud;
 - b) That the need for which such approval was granted has ceased to exist or has been suspended for one year or more;
 - c) That the Unclassified Use Permit, Conditional Use Permit, and/or Variance is being, or recently has been, exercised contrary to the terms or conditions of such approval or in violation of any statute, provision of the Code, ordinance, law, or regulation;
 - d) That the need for which the approval was granted was so exercised as to be detrimental to the public health or safety or so as to constitute a nuisance (Section 17.48.070, Paramount Municipal Code).

If after such hearing, the Planning Commission finds that any grounds modification, suspension, or revocation exist, the Planning Commission may modify, suspend, or revoke such Unclassified Use Permit, Conditional Use Permit, and/or Variance.

Permitting

6. License. All contractors, vendors, and consultants shall obtain a business license to work and/or conduct business in the City of Paramount.
7. Alterations. No exterior structural alteration or building color change, other than the colors or building treatments originally approved, shall be permitted without the prior approval of the Planning Department.

8. Window Security Bars. The installation of exterior window security bars is prohibited in accordance with Section 17.44.630(C) of the Paramount Municipal Code.
9. Paint. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint.
10. Tarps. Tarps are prohibited from use as carports, patio covers, and shade covers.
11. Lighting. A sufficient amount of lighting, as determined by the Planning Department, shall illuminate the premises. New light fixtures as needed shall be reviewed and approved by the Planning Department for their location, and permits shall be obtained.
12. Parking. All parking areas shall comply with applicable development requirements as specified in Article 3 (Loading Areas and Off-Street Parking) of Chapter 17.44 of the Paramount Municipal Code. The parking lot shall be restriped and maintained in a clear condition in compliance with Americans with Disabilities Act (ADA) requirements. The parking spaces and drive aisles shall meet all Municipal Code and Americans with Disabilities Act (ADA) requirements.
13. Floor Plan. The approved floor plan shall not be changed without prior approval by the Planning Department.

Business Operations

14. Business License. The applicant and all successor tenants shall obtain and maintain a current City of Paramount business license.
15. Agency Regulations. In the ongoing business operations, the applicant shall comply with all relevant federal, state, and local laws and regulations of all relevant government agencies, including but not limited to (1) the Los Angeles County Fire Department, (2) the Industrial Waste Unit of the Los Angeles County Department of Public Works (3) the South Coast Air Quality Management District, (4) the California Department of Resources Recycling and Recovery (CalRecycle), (5) the Department of Toxic Substances Control (DTSC), (6) the U.S. Department of Transportation, and (7) the U.S. Environmental Protection Agency.
16. Labor Regulations. The applicant shall comply with all relevant labor laws and regulations of the Division of Labor Standards Enforcement of the California Department of Industrial Relations and the Division of Occupational Safety and Health (Cal/OSHA).

17. Signs. Signs, banners, and feather flags require separate review and approval by the Planning Department prior to fabrication and installation. Damage to the building exterior from wall signs that have been removed shall be repainted and repaired as needed.
18. Truck Delivery. Stopping, loading, and unloading of delivery trucks associated with inbound and outbound shipments is prohibited on public streets and alleys.
19. Security Cameras. Security cameras shall be installed following City review and approval of a security camera plan. The approved cameras or more technologically advanced versions of the approved cameras shall be maintained in perpetuity. Security camera recordings shall be maintained for at least 30 days and provided for law enforcement review upon request.
20. Building Maintenance. The existing exterior of the office building at the subject site shall be touched up, repaired as needed, and maintained in good condition.
21. Urban Stormwater Management. The applicant shall comply with Chapter 8.20 (Urban Stormwater Management) of the Paramount Municipal Code. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, the parking lot, and the surrounding property perimeter. Any parking lot shall be completely swept and maintained free of debris and litter at least weekly. Areas adjacent to a parking lot, including, but not limited to, planters, loading and unloading areas, and surrounding public rights-of-way shall be maintained free of debris and litter by sweeping and other equally effective measures. Such debris and litter shall be collected and properly disposed of in compliance with all applicable local, State, and Federal regulations.
22. Vehicle Storage. Prior to issuing the business license, existing shipping container and commercial vehicles parked adjacent to the subject suite shall be removed.
23. Organic Waste. The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
24. Tenant Improvement. Future tenant improvements and other construction shall meet all requirements of the Building and Safety Division.
25. Graffiti Removal. Any graffiti, including graffiti in the form of window etching, shall be promptly removed.
26. Noise Ordinance. In the ongoing business operations, the applicant shall comply with the Noise Ordinance (Chapter 9.12 of the Paramount Municipal Code).

27. **Objectional Operations.** All operations conducted on the premises shall not be objectionable by reason of noise, steam, vibration, odor, or hazard.
28. **Prohibited Maintenance.** Onsite truck or vehicle maintenance is prohibited.
29. **10-Day Maximum.** Exempt transfer facilities may only hold wastes in areas that are operated by the transporter for less than 10 days. A day is defined as a calendar day, except that when counting days, the first partial day does not count. In addition, if the last day falls on a State holiday, Saturday or Sunday, these days do not count toward the 10-day limits.
30. **Sealed Bins/Containers.** Onsite bins/containers shall remain sealed at all times. Bins/containers shall remain closed and cannot be opened for sampling or other handling, including but not limited to consolidation of contents into larger containers, mixing, etc.
31. **Commercial Vehicle Regulations.** Except as otherwise provided by the Paramount Municipal Code, no person shall park or leave standing any commercial vehicle on any public street or right-of-way within the City, or on any private property within a residential zone, or on any private property containing a residential use, or on any City-owned off-street parking facility within any zone.
32. **Staff Training.** All staff working at the site shall be regularly trained regarding the emergency containment and cleanup procedures that have been reviewed and accepted by the Los Angeles County Fire Department and the California Department of Toxic Substances Control (DTSC). All staff shall be 40-hour Occupational Safety and Health Administration (OSHA) Hazardous Waste Operations and Emergency Response (HAZWOPER)-certified and shall receive annual eight-hour refresher training.
33. **Dust Control.** The applicant shall implement best available dust control measures (BACM) during active operations capable of generating fugitive dust in accordance with Rule 403 of the South Coast Air Quality Management District and, if necessary due to failure of BACM to mitigate dust, paving portions of the work site. The applicant shall ensure that dust, dirt, and soil from the work site are not dragged and/or deposited on City streets or other City infrastructure.

Additional Conditions

34. **Asphalt and Other Surface Repair.** The asphalt in the subject operating area in disrepair shall be repaired and/or repaved as needed and maintained in good condition. All potholes shall be filled/repaved as needed. All other surfaces shall be repaired as needed and maintained in good condition. Repairs shall be completed by June 2, 2025.

35. Tire Shakers. The existing tire shakers shall be replaced with enhanced tire shakers to remove loose dirt from truck wheels upon exiting the subject property and entering the City street. The replacement tire shakers shall be installed by June 2, 2025.
36. Street Sweeper. Street sweeping shall be continued to clean any wayward dust, dirt, and debris on Monroe Street and Vermont Avenue generated from the business use. Any street sweeper hired or contracted by the applicant or successor tenant to clean City streets or other City infrastructures shall obtain an encroachment permit from the Public Works Department within 10 business days of the approval of the unclassified use permit.
37. Gate. The swing gate separating Monroe Street from the subject private property shall be replaced with a secure fence to prevent unauthorized access following separate Planning Department review and approval of the fence material and precise location. The gate shall be installed by June 2, 2025.
38. Illegal Dumping. A program or policy shall be implemented to promptly remove materials or liquid debris dumped illegally in the subject lease area.

Final Approval

39. Final Approval. Final approval from the Planning Division shall be obtained. All conditions of approval shall be met prior to final approval by the Planning Division.

SECTION 7. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED, and ADOPTED this 2nd day of April 2025.

Gordon Weisenburger, Chair

Attest:

Biana Salgado, Administrative Assistant

ENVIRONMENT | PLANNING | DEVELOPMENT SOLUTIONS, INC.

Date: March 26, 2025

Prepared by: Danielle Thayer, Associate Planner II, EPD Solutions

To: John King, AICP, Planning Direction
City of Paramount Planning Department
16400 Colorado Ave
Paramount, CA 90723

Project: Republic Services Unclassified Use Permit No. 24-01

Location: 7727 Jackson Street, Paramount, CA 90723

Subject: CEQA Class 1 Exemption – Republic Services Unclassified Use Permit Project

East Carbon Development Corporation (ECDC) Environmental, LLC is seeking an Unclassified Use Permit (Unclassified Use Permit No. 24-01) to ensure that existing operations on the Project site, including applicable hazardous waste and transfer laws, are compliant with City requirements. The facility, located at 7727 Jackson Street in the southern portion of the City of Paramount, Los Angeles County, has been running 24 hours a day, 7 days a week and services the larger Los Angeles County region. The proposed Project would seek to regularize the ongoing operation of the facility, which involves the loading of sealed bins containing both RCRA (Resource Conservation and Recovery Act) and non-RCRA waste onto rail flat cars. The facility would continue to use rail transportation to efficiently manage the movement of hazardous and non-hazardous waste materials, adhering to all applicable federal and state environmental regulations.

The proposed Project would not involve an expansion of services or facilities beyond the current operations but would aim to formalize and permit the existing activities. The facility would continue to operate at its current scale, with the goal of improving logistical efficiency for waste transfer while maintaining compliance with environmental standards. This approval would ensure that the facility operates within the appropriate regulatory framework, addressing environmental concerns and ensuring safe waste management practices for the surrounding community and region.

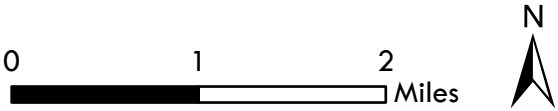
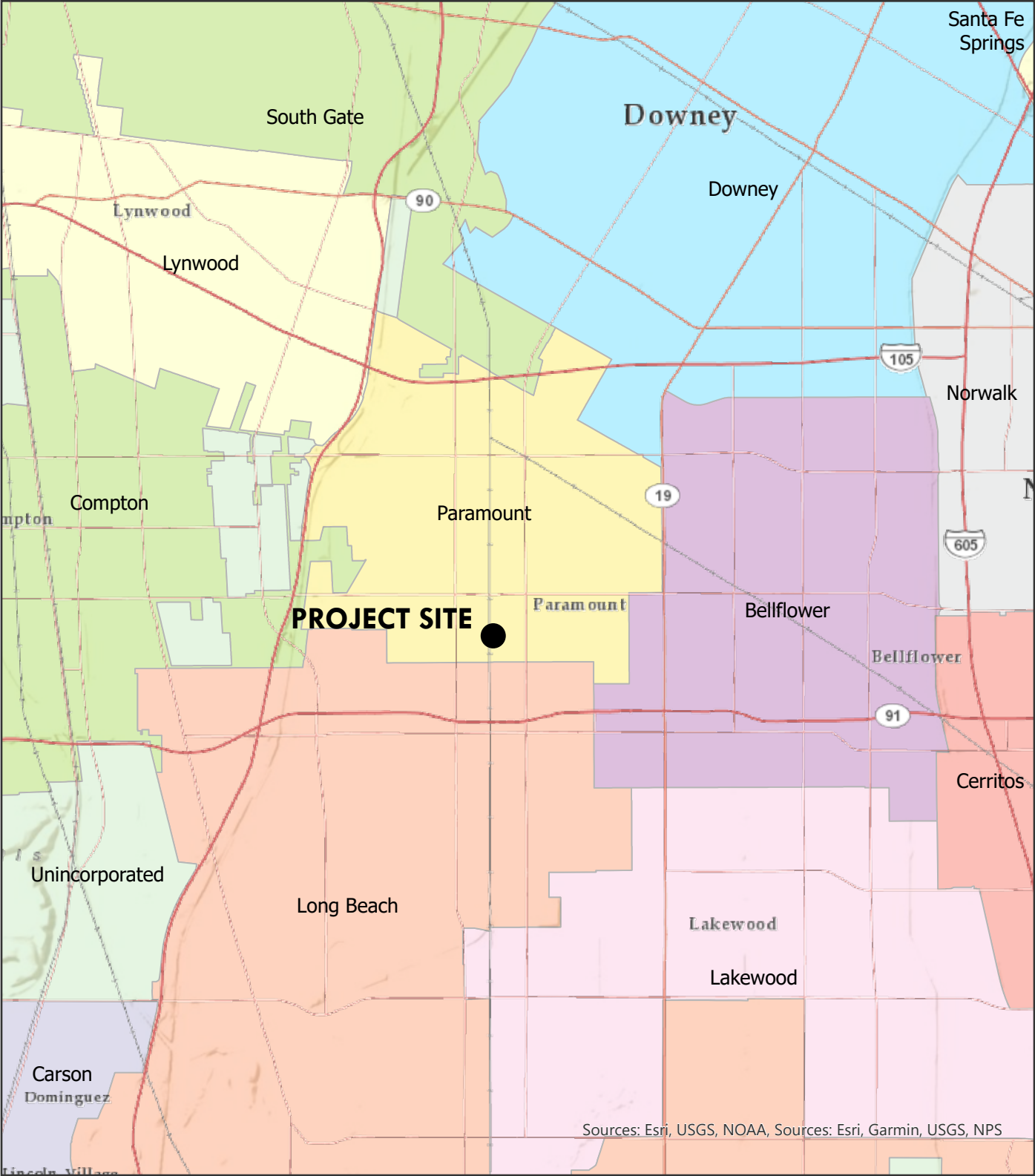
Location and Environmental Setting

The Project site is located at 7727 Jackson Street in the southern portion of the City of Paramount, Los Angeles County, on an approximately 3.4-acre area leased by ECDC from Union Pacific Railroad Co. (UPRR). The Project site includes portions of Assessor Parcel Numbers (APNs) 7102-017-809, -810, and -813; and 7102-023-820 through -825. See Figure 1, *Regional Location*, Figure 2, *Local Vicinity*, and Figure 3, *Aerial*.

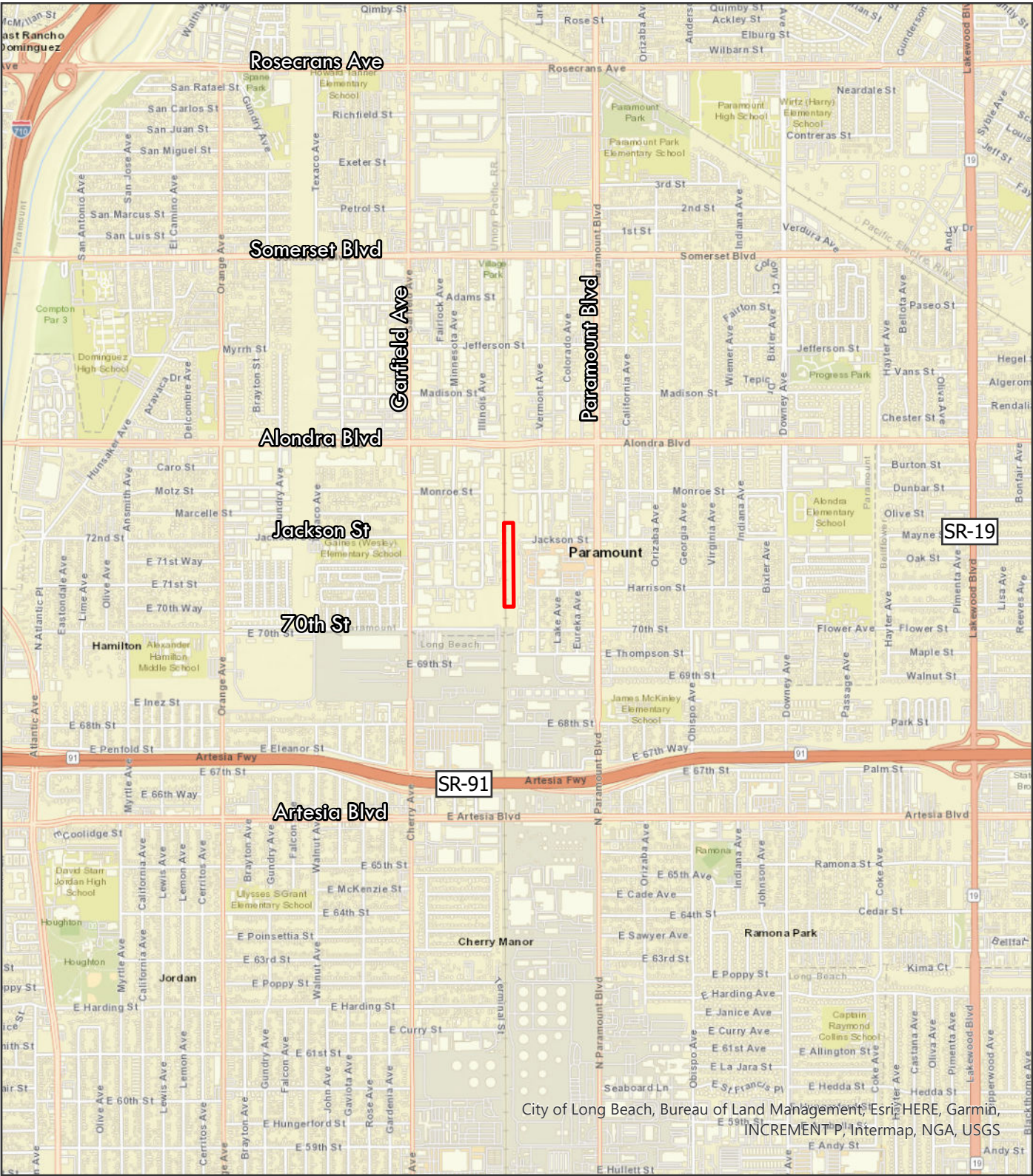
The site is designated as “Railroad ROW” General Plan land use. This area is preserved specifically for the railroad easement that transects the City of Paramount (see Figure 4, *General Plan Designation*).

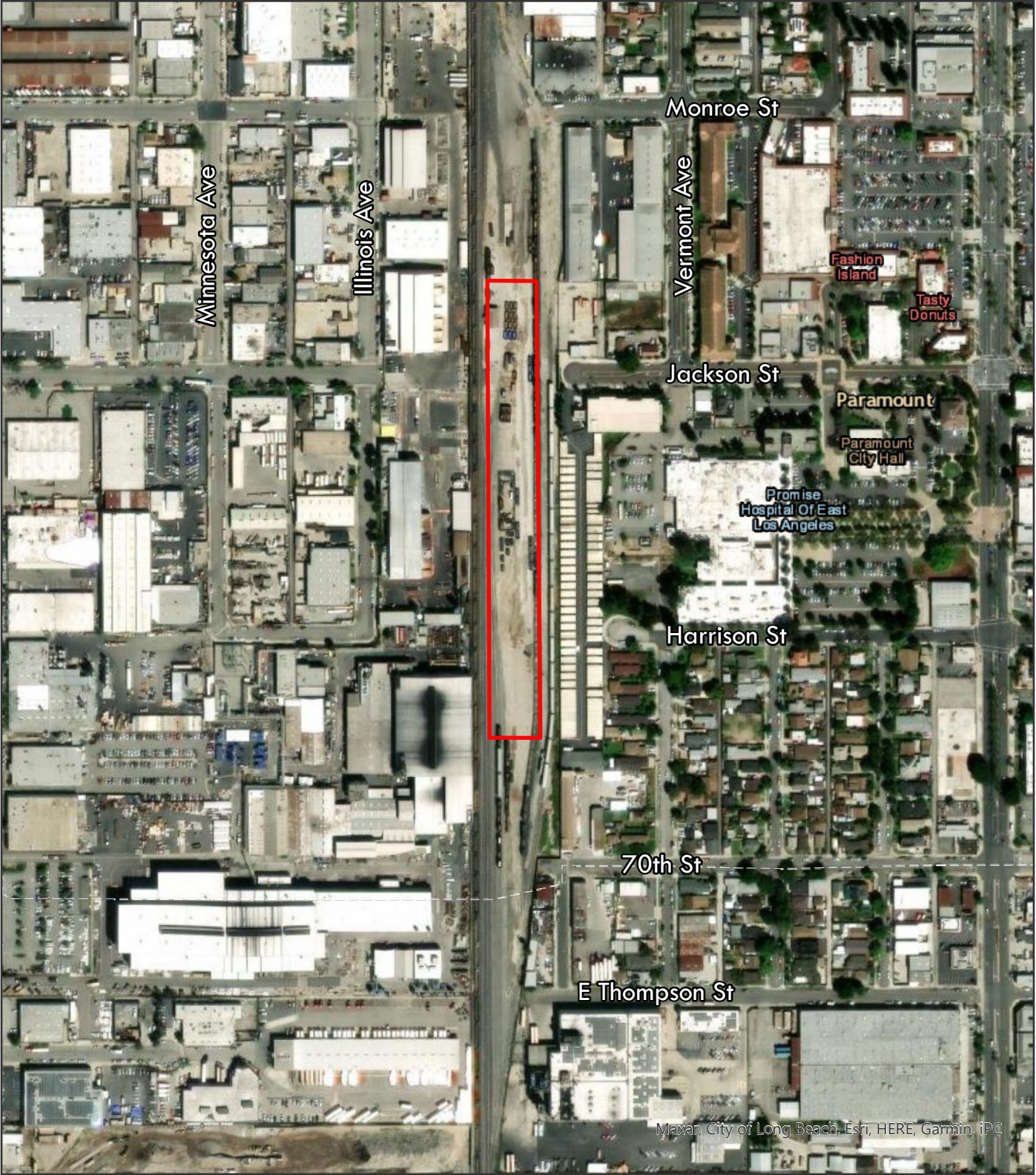
The Project site is zoned as Heavy Manufacturing (M-2), which provides for a variety of industrial uses. The site is bordered to the east by UPRR train tracks, with surrounding land uses primarily composed of industrial land use. Single family residential is located directly east of the UPRR train tracks, approximately 140 feet from the Project site boundary. Multifamily residential development is located approximately 400 feet northeast of the site. Kindred Hospital Paramount is located approximately 400 feet east of the Project site boundary, directly east of the UPRR train tracks. See Figure 5, *Zoning Designation*.

Regional Location



Local Vicinity

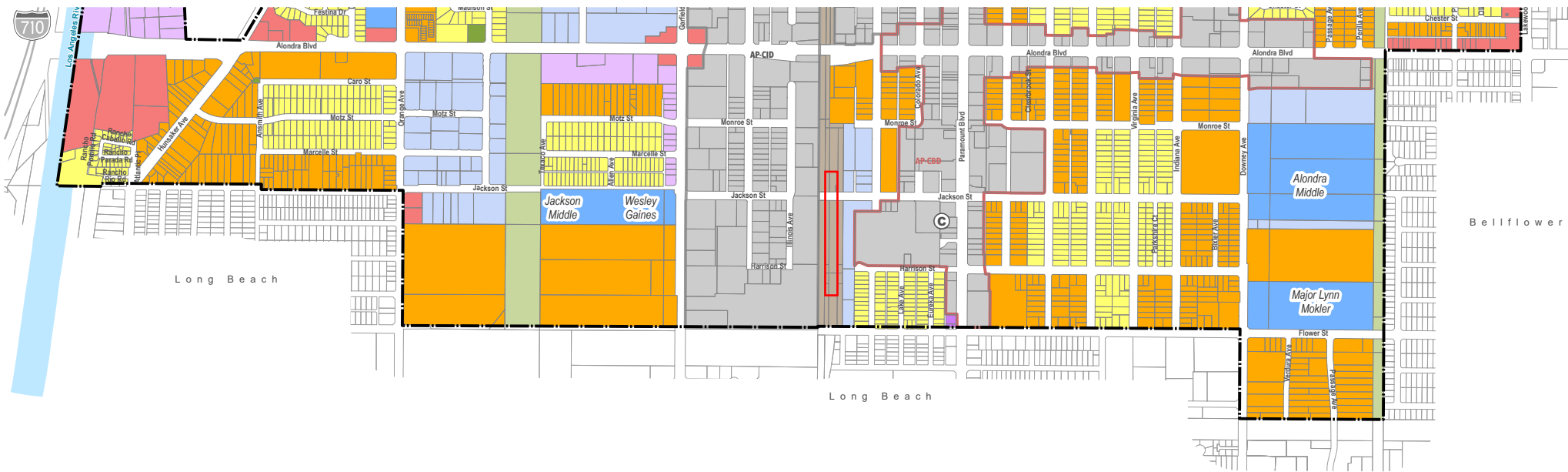




Legend

 Project Site

General Plan Designation



LEGEND



Project Site

General Plan Land Use Designations

- Single-Family Residential (SFR)
- Multi-Family Residential (MFR)
- Commercial (C)
- Mixed-use Commercial and Senior Assisted/Independent Living Facility
- Industrial (I)
- Business Park (BP)
- School (S)
- Park (P)
- Utility/Easement (U/E)
- Los Angeles River (LAR)
- Railroad ROW (RR)

North Paramount Gateway Specific Plan

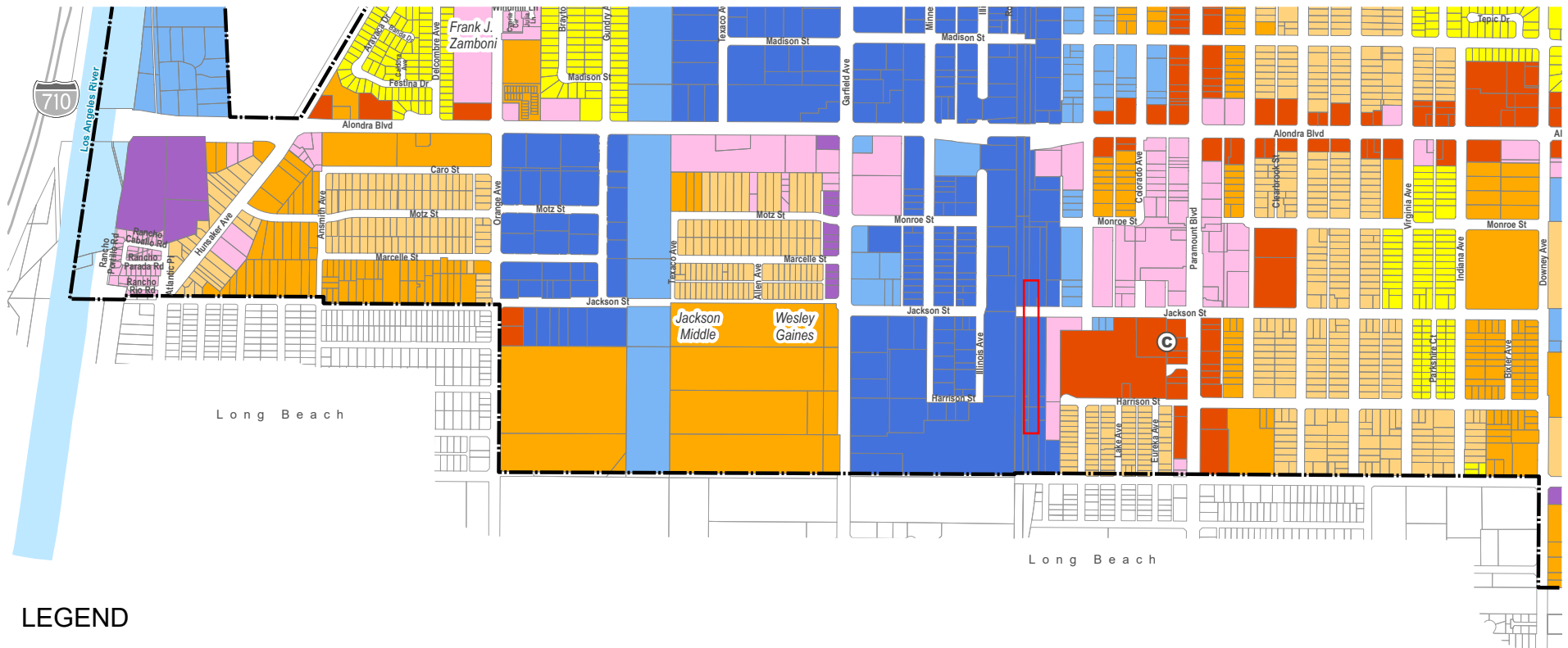
- Multiple Family Residential, Medium Density
- Multiple Family Residential, High Density
- Mixed Use, Medium Density
- Mixed Use, High Density
- Area Plans
 - Clearwater West (AP-CW)
 - Clearwater East (AP-CE)
 - Central Industrial District (AP-CID)
 - Somerset Ranch (AP-SR)
 - Central Business District (AP-CBD)

Base Map Features

- Paramount City Boundary
- Water
- City Hall
- Sheriff's Station
- City Yard



Zoning Designation



LEGEND

Project Site

Zoning Districts

Residential Zones

- R-1 Single-Family Residential
- R-2 Medium Density Residential
- R-M Multiple-Family Residential

Commercial Zones

- C-3 General Commercial
- C-M Commercial-Manufacturing

Industrial Zones

- M-1 Light Manufacturing
- M-2 Heavy Manufacturing

Specific Plans and Planned Developments

- CESP Clearwater East Specific Plan
- PD-PS Planned Development with Performance Standards

Project Site Background

Historically, the site has been used for industrial purposes since at least the 1950s, initially functioning as a railroad car storage yard. From 1960 to 1985, the site operated as the UPRR Paramount Freight Station, and from 2005 to 2014, it was used by ECDC Waste for waste-related activities. ECDC has leased the site from UPRR since 2002. The property continues to serve as a waste transfer facility, where Consolidated Disposal Services LLC, under Republic Services, handles the transfer of hazardous and non-hazardous waste.

Consolidated Disposal Services is registered with the Department of Toxic Substances Control (DTSC) as a Hazardous Waste Transporter (registration number 6716) and reportedly operates an exempt transfer facility in accordance with HSC § 25201 and CCR Exempt Transfer Facility (22 CCR § 66263.18). The facility operates 24 hours a day, 7 days a week, servicing the larger Southern California region. Its primary operations involve the temporary storage and transfer of waste contained in sealed bins. These bins are loaded onto railcars for transport out of state for treatment or disposal. The bins arrive clean from out-of-state landfills, and the facility inspects and prepares them for use by installing new liners and checking the vinyl tarps for damage. The bins are then delivered to clients' facilities and later picked up when filled. Upon return, the bins are tightly sealed and transported back to the site. The waste bins are loaded directly onto UPRR railcars without being opened or relabeled on-site. The loading process typically takes place over three to four days, with the bins remaining on-site for up to 10 days before being loaded onto the trains for transport.

The hazardous materials stored on-site are minimal, including small quantities of welding gases used for bin repairs and a 55-gallon drum of hydraulic oil for maintaining site equipment such as forklifts and water trucks. No truck or vehicle maintenance is performed on-site. The bins are securely closed and sealed with rubber straps, ensuring that waste is contained safely during the entire process. Once the bins are picked up, they are transported back to the site without being opened, relabeled, or handled beyond the basic inspections and repairs needed to maintain the containers.

In 2023, the City determined that the industrial facility had been operating without a proper City business permit. Upon understanding that Republic Services/Consolidated Disposal Service was hauling soil and other contaminated and hazardous material from the Alt Air/World Energy refinery site and other sites, Planning Department staff soon thereafter determined that further study and permitting was necessary for the business operations. Therefore, the applicant is seeking approval of an Unclassified Use Permit.

Unclassified Use Permit

Pursuant to Section 17.36.020, Permitted uses generally, of the City of Paramount Municipal Code, "unclassified uses" are listed as generally allowed within the M-2 zone.

An Unclassified Use Permit is generally applicable to facilities that "are declared to be uses possessing characteristics of such unique and special form as to make impractical their being included automatically in any classes of [other City] use[s]... and the authority for the location and operation thereof shall be subject to and permitted only after first obtaining a conditional use permit in the manner prescribed in Chapter 17.48 of the City's Municipal Code" (Municipal Code Chapter 17.40, Unclassified Uses).

A "hazardous waste facility" is typically permitted within the M-2 zoning district with an appropriate Unclassified Use Permit, as outlined in Section 17.40 of the City of Paramount Municipal Code. However, the current operation on the project site qualifies as an exempt hazardous waste transfer facility, which does not meet the definition of a "hazardous waste facility" as defined in Section 25199.1(m) of the California Health and Safety Code. The City's Municipal Code also references Section 25199.1(m) of the California Health and Safety Code to define "hazardous waste facility." As a result, the existing operation on the Project site is not subject to the City's regulations for "hazardous waste facilities." Nonetheless, an Unclassified Use Permit is the best City review mechanism for the operation of this use within the M-2 zone.

The Unclassified Use Permit is a permit issued to an applicant by the Planning Commission allowing a particular use or activity not allowed as a matter of right within a zoning district. The Unclassified Use Permit process is designed to give the Planning Commission an opportunity to consider the peculiar characteristics of the proposed use relative to placement at specific locations and to ensure proper integration with other existing or permitted uses in the same zone or zones.

The applicant for an Unclassified Use Permit shall substantiate to the satisfaction of the Planning Commission the following facts:

A) That the requested use at the location proposed will not:

- (1) Adversely affect the health, peace, safety, or welfare of persons residing or working in the surrounding area;
- (2) Be materially detrimental to the use, enjoyment, or valuation of property of other persons located in the vicinity of the site; nor
- (3) Jeopardize, endanger, or otherwise constitute a menace to the public health, safety, or general welfare; and

B) That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other development features prescribed in this chapter, or as is otherwise required in order to integrate such use with the uses in the surrounding area; and

C) That the proposed site is adequately served:

- (1) By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and
- (2) By other public or private service facilities as are required; and

D) That such use is necessary or desirable for the development of the community, is essentially in harmony with the various elements of the Paramount General Plan, and is not detrimental to existing use or to uses specifically permitted in the zone in which the proposed use is located.

Proposed Project

The City requires the facility to secure an Unclassified Use Permit for ongoing activities at 7727 Jackson Street, located in the southern portion of the City of Paramount, Los Angeles County. ECDC Environmental, LLC is seeking approval for Unclassified Use Permit No. 24-01 to continue operations at the existing Southern California Trans/Rail waste transfer facility. Currently, the facility operates without an active permit, and the Project would ensure that it obtains the necessary City permit to remain in compliance for continued operations. The proposed Project would formalize the facility's existing operations, which includes loading of sealed bins containing both RCRA (Resource Conservation and Recovery Act) and non-RCRA waste onto rail flat cars. The site would continue to operate 24 hours a day, 7 days a week at existing capacity.

Class 1 Existing Facility Exemption

Article 19 of the CEQA Guidelines includes, as required by Public Resources Code Section 21084, a list of classes of projects which have been determined not to have a significant effect on the environment. This document demonstrates that the proposed Project qualifies for a Categorical Exemption as an Existing Facility (Class 1 Exemption), consistent with the provisions of CEQA Guidelines Sections 15301 and 15300.2 and provides information for City decisionmakers to find that the proposed Project is exempt under CEQA.

Pursuant to CEQA Guidelines Section 15301, a Class 1 Exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing

or former use. The types of "existing facilities" itemized in the CEQA Guidelines are not intended to be all-inclusive of the types of projects which might fall within Class 1 Exemption. The key consideration is whether the project involves negligible or no expansion of use. According to Section 15302 (e)(2), expansions of use are considered negligible if additions to existing structures will not result in an increase of more than 10,000 square feet (SF) and the project site is (A) in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project site is located is not environmentally sensitive.

The City of Paramount has determined that the proposed Project would not result in any significant effects on the environment. This finding is supported by the analysis provided in Table 1, *Environmental Impact Analysis*, below. The City of Paramount makes the following findings in support of the Class 1 Exemption (refer to CEQA Guidelines §15301):

This Project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15301 Class 1 as an Existing Facility (Class 1 Exemption). The proposed Project qualifies for the Class 1 categorical exemption because it consists of the continuation of operation of Southern California Trans/Rail for loading sealed bins containing Resource Conservation and Recovery Act (RCRA) and non-RCRA waste onto rail flat cars at 7727 Jackson Street and surrounding properties. The Project does not involve expansion of the existing site, structures, or services. The Project would not result in any construction or operational changes to the facility. The facility would continue to operate in the same manner as it has been.

None of the exceptions to the exemptions as set forth in State CEQA Guidelines Section 15300.2 apply. Specifically, the proposed Project:

- a. Is not located in a particularly sensitive environment. The subject site is located in an urbanized area designated for industrial use and is not listed as a hazardous site pursuant to Government Code Section 65962.5 (Cortese List).
- b. There is no possibility of a cumulative impact of the same type of project in the same place over time. The proposed Project involves the continuation of operation of an existing industrial facility. Once the Project is completed (e.g. the UUP is approved), the likelihood of a successive project on this site is low and probability of a cumulative impact is low.
- c. No Significant Effect. No adverse environmental impacts will occur as a result of the Project's continued use of the existing facility for the transfer of waste (see Table 1 below).
- d. Would not damage scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.
- e. Would not cause a substantial adverse change in the significance of a historical resource.

The proposed Project would not meet any of the conditions of exceptions, and therefore would qualify for a Class 1 Exemption.

Environmental Analysis

The discussion in Table 1 below compares the environmental impacts of the proposed Project to the existing conditions.

Table 1: Environmental Impact Analysis

Environmental Topic	Impacts
Aesthetics:	No impact. The Project does not propose any physical exterior or interior improvements to the Project site or existing building.
Agriculture and Forest Resources:	No impact. The Project would not result in land use changes or ground disturbance.
Air Quality:	No impact. The Project would not require construction or changes in existing operation of the Project site.
Biological Resources:	No impact. The Project would not result in construction or changes to existing vegetation on the Project site.
Cultural Resources:	No impact. The Project would not result in construction or ground disturbance.
Energy:	No impact. The Project would not require construction or changes in existing operation of the Project site.
Geology/Soils:	No impact. The Project would not result in construction or ground disturbance.
Greenhouse Gas Emissions:	No impact. The Project would not require construction or changes in existing operation of the Project site.
Hazards and Hazardous Materials:	Less than significant impact. See below.
Hydrology/Water Quality:	<p>No impact. The Project would not result in construction or changes to site hydrology and water quality.</p> <p>The National Pollutant Discharge Elimination System (NPDES) and California Integrated Water Quality System (CIWQS) listings are associated with stormwater discharge for Consolidated Disposal Services/ECDC. NPDES reports an active status for the Project site as of January 2014 with a primary standard industrial classification (SIC) code of 4011 (railroads, line-haul operating) and a secondary SIC code of 4953 (refuse systems). The CIWQS listing classifies the Project site as subject to the industrial stormwater program; however, no vehicle maintenance and cleaning of equipment reportedly occurs onsite, which excludes the Project site from requiring an Industrial General Permit. Additionally, to be regulated by an Industrial General Permit under SIC code 4953, the Project site must be defined as a Treatment, Storage, and Disposal Facility (TSDF) or a landfill. Therefore, the operations are exempt from industrial stormwater</p>

	requirements (Industrial General Permit Section XIX and 40 CFR § 122.26(a)(9)(i)(D).
Land Use/Planning:	<p>No impact. The Project would not result in land use changes.</p> <p>Pursuant to Section Chapter 17.40 of the City of Paramount Municipal Code, the City sets forth criteria for “hazardous waste facilities”, which are permitted uses under the M-2 (Heavy Industrial) zone. However, the Project is for an exempt hazardous waste transfer facility and does not meet the definition of “hazardous waste facility” as defined per Section 25199.1(m) of the California Health and Safety Code, and further, the City Municipal Code. Therefore, the criteria for “hazardous waste facilities” do not apply to the Project.</p> <p>Additionally, Health and Safety Code Section 25123.3(b) states that hazardous waste transfer facilities that commenced initial operations on and after January 1, 2005, and are located within 500 feet of a residence or other sensitive receptors, cannot be classified as an exempt transfer facility. However, since the Project site began operations under ECDC Environmental, LLC in 2002, this requirement was not applicable, and the facility maintained its exempt status.</p> <p>Therefore, the Project is consistent with existing land use requirements and no impacts would occur.</p>
Mineral Resources:	No impact. The Project would not result in mineral extraction.
Noise:	No impact. The Project would not require construction or changes in existing operation of the Project site.
Population/Housing:	No impact. The Project would not result in changes to population or housing.
Public Services:	No impact. The Project would not result in changes to public services.
Recreation:	No impact. The Project would not result in changes to public recreation facilities.
Transportation:	No impact. The Project would not require construction or changes in existing operation of the Project site.
Tribal Cultural Resources:	No impact. The Project would not result in construction or ground disturbance.
Utilities/Service Systems:	No impact. The Project would not result in the construction or relocation of utility systems.
Wildfire:	No impact. The Project would not result in construction or changes to the site that could exacerbate the risk of wildfire.

Hazards and Hazardous Materials:*Regulatory Setting*

The California DTSC is responsible for providing oversight of hazardous waste transfer facilities. Activities related to transport of hazardous wastes in California are regulated by the California Health and Safety Code (HSC), California Vehicle Code, California Code of Regulations (CCR) title 22, Chapter 13, Code of Federal Regulations (CFR) title 40, part 263, and the U.S. Department of Transportation's (DOT) Hazardous Materials Transportation Act regulations (49 CFR §171-179). The following regulations are related to the Project.

- Health & Safety Code, Section 25123.3(a)(3) states that for industrially zoned areas, exempt transfer facilities may only hold wastes in areas that are operated by the transporter for less than 10 days. A day is defined as a calendar day, except that when counting days, the first partial day does not count. In addition, if the last day falls on a State holiday, Saturday or Sunday, these days do not count toward the 10-day limits.
- Per the 22 CCR § 66263.18, exempt transfer facilities are authorized to only transfer packaged or containerized hazardous wastes, and those wastes must remain in the containers that they arrive in. Further, the containers must remain closed and cannot be opened for sampling or other handling including consolidation into larger containers, mixing, etc.
- Per Vehicle Code Article 1. Hazardous Materials § 31303, vehicles used for the transportation of hazardous materials cannot be left unattended or parked overnight in a residential district.
- In developing its regulations, DTSC and the U.S. Environmental Protection Agency (U.S. EPA) adopted by reference the U.S. DOT Hazardous Materials Transportation Act regulations (49 CFR §171-179). DTSC's and U.S. EPA's regulations are consistent with each other, but according to DTSC these regulations do not include all of the provisions contained in DOT's regulations. Key requirements relevant to Project operations include:
 - In the course of transportation, a vehicle containing hazardous materials (e.g., wastes) must be attended by its driver and cannot be parked within five feet of the traveled portion of a public street or highway except brief periods when necessary for operations and it is impractical to park anywhere else (49 CFR § 397.5(d)(1)). A vehicle is considered parked when it is stopped for a purpose unrelated to driving, (e.g., fueling, eating, loading and unloading).
 - A transporter may designate a qualified representative to attend to the vehicle only if the representative is aware of the nature of the hazardous materials contained in the vehicle, has been instructed on the procedures that must be followed in an emergency, is authorized to move the vehicle, and has the means and ability to do so (49 CFR § 397.5). Wastes parked at exempt transfer facilities must remain under the control and custody of the transporter as designated on the manifest.

Environmental Impact

The proposed Project would include authorization of Unclassified Use Permit No. 24-01, which would bring the existing Southern California Trans/Rail waste transfer facility, at 7727 Jackson Street, into compliance to ensure that existing operations on the Project site, including all hazardous waste and transfer laws, are in compliance. The facility has been operating without an Unclassified Use Permit, and this Project aims to ensure the facility obtains proper City permits. The Project qualifies for the Class 1 Existing Facilities Exemption under CEQA, as it involves the continued operation of an existing facility without any significant expansion or changes.

The Project would not result in any construction or operational changes to the facility. The facility would continue to operate in the same manner as it has been, following the existing protocols for handling hazardous materials. It would remain subject to the same regulatory requirements, including those under the

Health & Safety Code, Section 25123.3(a)(3) California Health and Safety Code, California Code of Regulations, and federal regulation, which limits the holding of waste to 10 days for the facility; 22 CCR § 66263.18, which allows the facility to only transfer packaged or containerized hazardous wastes and those wastes must remain in the containers that they arrive in; Vehicle Code Article 1. Hazardous Materials § 31303, which prohibits vehicles used for the transportation of hazardous materials from being left unattended or parked overnight in a residential district; and 49 CFR § 397.5, which includes requirements for the transport of hazardous waste (PPP HAZ-1 through PPP HAZ-4).

The facility would continue to be monitored for compliance with applicable regulations, and the proposed Project would not introduce any modifications that could result in new impacts or noncompliance related to hazardous materials. Therefore, no impact related to the disposal or transfer of hazardous materials would be anticipated under the Project.

Plans, Policies, and Programs (PPPs)

- **PPP HAZ-1:** Health & Safety Code, Section 25123.3(a)(3) states that for industrially zoned areas, exempt transfer facilities may only hold wastes in areas that are operated by the transporter for less than 10 days. A day is defined as a calendar day, except that when counting days, the first partial day does not count. In addition, if the last day falls on a State holiday, Saturday or Sunday, these days do not count toward the 10-day limits.
- **PPP HAZ-2:** Per the 22 CCR § 66263.18, exempt transfer facilities are authorized to only transfer packaged or containerized hazardous wastes, and those wastes must remain in the containers that they arrive in. Further, the containers must remain closed and cannot be opened for sampling or other handling including consolidation into larger containers, mixing, etc.
- **PPP HAZ-3:** Per Vehicle Code Article 1. Hazardous Materials § 31303, vehicles used for the transportation of hazardous materials cannot be left unattended or parked overnight in a residential district.
- **PPP HAZ-4:** In developing its regulations, DTSC and the U.S. Environmental Protection Agency (U.S. EPA) adopted by reference the U.S. DOT Hazardous Materials Transportation Act regulations (49 CFR §171-179). DTSC's and U.S. EPA's regulations are consistent with each other, but according to DTSC these regulations do not include all of the provisions contained in DOT's regulations. Key requirements relevant to Project operations include:
 - In the course of transportation, a vehicle containing hazardous materials (e.g., wastes) must be attended by its driver and cannot be parked within five feet of the traveled portion of a public street or highway except brief periods when necessary for operations and it is impractical to park anywhere else (49 CFR § 397.5(d)(1)). A vehicle is considered parked when it is stopped for a purpose unrelated to driving, (e.g., fueling, eating, loading and unloading).
 - A transporter may designate a qualified representative to attend to the vehicle only if the representative is aware of the nature of the hazardous materials contained in the vehicle, has been instructed on the procedures that must be followed in an emergency, is authorized to move the vehicle, and has the means and ability to do so (49 CFR § 397.5). Wastes parked at exempt transfer facilities must remain under the control and custody of the transporter as designated on the manifest.

References

- California Department of Conservation. (2025). *California Geological Survey*. Retrieved from Earthquake Zones of Required Investigation:
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- CommercialPro 247. (n.d.). *Property Details Report*. Retrieved March 14, 2025, from
<https://www.titlepro247.com/>
- Roux Associates, Inc. (2025). *Technical memorandum Environmental Regulatory Review 7727 Jackson Street, Paramount, California*.

Date: March 24, 2025

To: Ms. Meaghan Truman
Associate Environmental Planner II
EPD Solutions, Inc.
3333 Michelson Drive, Suite 500
Irvine, CA 92612

From: Natalie Fox, CIH, CSP, Roux Associates, Inc.
Kasia Anderson, Roux Associates, Inc.

Subject: **Technical Memorandum
Environmental Regulatory Review
7727 Jackson Street, Paramount, California**

Roux Associates, Inc. (Roux) has prepared this Technical Memorandum (TM) on behalf of EPD Solutions, Inc. (EPD Solutions, Client) to document the history and operations of the ECDC Environmental, LC (ECDC) facility, located at 7727 Jackson Street, Paramount, California (Site, Attachment A). The Site has been assigned the Los Angeles County Assessor Parcel Numbers (APNs) 7102-017-809, -810, and -813; 7102-023-820 through -825; and 7113-007-801. The Site is occupied by ECDC/Consolidated Disposal Service, an affiliate of Republic Services, as a Resource Conservation and Recovery Act (RCRA) hazardous and non-RCRA waste transfer facility. Republic Services provides recycling and waste solutions for residential, commercial and industrial customers throughout the United States.

Republic Services has applied for an unclassified use permit for their waste transfer facility from the City of Paramount ("the City"); in order to support the permit application, the City retained EPD Solutions to assist with a California Environmental Quality Act (CEQA) Review. Subsequently, to assist with their CEQA Review, EPD Solutions requested that Roux perform a review of potentially applicable environmental regulatory requirements for the transfer facility to better understand potential environmental liabilities and impacts.

SITE HISTORY AND DESCRIPTION

To obtain information associated with the Site history and operations, Roux requested historical city directories and Sanborn fire insurance maps from Environmental Database Resources, LLC (EDR). Copies of these associated EDR reports are provided in Attachment B. Sanborn fire insurance maps were not available from EDR. Roux also reviewed aerial photographs provided online by Nationwide Environmental Title Research, LLC (NETR).

The Site consists of an approximately 3.4-acre area that ECDC leases from Union Pacific Railroad Co. (UPRR). The Site is comprised of a hard packed dirt lot that contains a rail spur used for loading sealed bins containing RCRA and non-RCRA waste onto railcars. Details regarding ECDC/Consolidated Services' operations are provided in the sections below. The Site address was listed in city directories as Union Pacoima Railroad Co. and Railway Express Agency Inc. in the early 1950s, UPRR Paramount Freight Station from at least 1960 to 1985, and ECDC Waste from 2005 through 2014. Historic aerial photographs indicate the Site was used as a railroad car storage yard from at least 1954 through the early-2000s. ECDC has leased the Site from UPRR from 2002 to the present.

REGULATORY BACKGROUND

The California Department of Toxic Substances Control (DTSC) is responsible for providing oversight of hazardous waste transfer facilities. Activities related to the transportation of hazardous wastes in

California are regulated by the California Health and Safety Code (HSC), California vehicle code, California Code of Regulations (CCR) title 22, chapter 13, and Code of Federal Regulations (CFR) title 40, part 263. In developing its regulations, DTSC and the United States (U.S.) Environmental Protection Agency (U.S. EPA) adopted by reference the U.S. Department of Transportation's (DOT) Hazardous Materials Transportation Act regulations (49 CFR §171-179). DTSC's and U.S. EPA's regulations are consistent with each other, but according to DTSC these regulations do not include all of the provisions contained in DOT's regulations. As such, DTSC requires transporters to ensure that their operations comply with all applicable state and federal regulations.

Consolidated Disposal Services is registered with the DTSC as a Hazardous Waste Transporter (registration number 6716) and reportedly operates an exempt transfer facility in accordance with HSC § 25201 and CCR Exempt Transfer Facility (22 CCR § 66263.18). Per the CCR, exempt transfer facilities are authorized to only transfer packaged or containerized hazardous wastes and those wastes must remain in the containers that they arrive in. Further, the containers must remain closed and cannot be opened for sampling or other handling including consolidation into larger containers, mixing, etc. Vehicles used for the transportation of hazardous materials cannot be left unattended or parked overnight in a residential district (Vehicle Code Article 1. Hazardous Materials § 31303).

For industrially zoned areas, exempt transfer facilities may only hold wastes in areas that are operated by the transporter for less than 10 days. A day is defined as a calendar day, except that when counting days, the first partial day does not count. In addition, if the last day falls on a State holiday, Saturday or Sunday, these days do not count toward the 10 day limits. Further, transfer facilities that commenced initial operations on and after January 1, 2005 and are located within 500 feet of a residence or other sensitive receptors cannot be classified as an exempt transfer facility. However, since the Site began operations in 2002, this requirement would not be applicable.

Hazardous waste transporters are also subject to DOT requirements. Relevant requirements include that in the course of transportation a vehicle containing hazardous materials (e.g., wastes) must be attended by its driver and cannot be parked within five feet of the traveled portion of a public street or highway except brief periods when necessary for operations and it is impractical to park anywhere else (49 CFR § 397.5(d)(1)). A vehicle is considered parked when it is stopped for a purpose unrelated to driving, (e.g., fueling, eating, loading and unloading)¹. A transporter may designate a qualified representative to attend to the vehicle only if the representative is aware of the nature of the hazardous materials contained in the vehicle, has been instructed on the procedures that must be followed in an emergency, is authorized to move the vehicle, and has the means and ability to do so (49 CFR § 397.5). Wastes parked at exempt transfer facilities must remain under the control and custody of the transporter as designated on the manifest. Note: A transporter must have a valid EPA identification number and be registered with DTSC to transport hazardous wastes in California.

REGULATORY AGENCY RECORDS

In order to verify ECDC's operations as well as their conformance with the regulations detailed above, Roux contacted select regulatory agencies to request publicly available records and reviewed environmental database listings provided by EDR. Copies of the agency records discussed are provided in Attachment C and the EDR Radius Map Report is provided in Attachment D. The following provides a summary of Roux's findings.

Department of Toxic Substances Control

Records provided by DTSC included a Compliance Evaluation Inspection/Complaint Investigation Report for an inspection conducted on June 5, 2024 and a Notice of Violation Rescission letter, dated October 8, 2024. As part of the June 2024 inspection, DTSC noted that the facility receives hazardous waste from

¹ Parking at fueling facilities to obtain fuel, oil, etc., or at a carrier's terminal are considered necessities of operation (49 CFR §397.7).

customers and then loads the waste onto railcars for transportation to treatment facilities by rail. Hazardous waste is staged in the rail line/yard area and loaded onto railcars until there are enough containers to make a shipment out for transport to an off-site Treatment, Storage, and Disposal Facility (TSDF). DTSC issued a violation due to the proximity of residences and a hospital within 500 feet of the Site. However, the lease agreement between UPRR and ECDC indicated the lease commenced on January 1, 2002. Since the transfer facility commenced operations prior to January 1, 2005, the facility qualifies as an exempt transfer facility and the violation was rescinded.

Los Angeles County Fire Department (LACFD)

The LACFD is the lead Certified Unified Program Agency (CUPA) responsible for oversight of hazardous materials and waste regulation enforcement for the Site. Records provided by the LACFD included inspection reports from 2018, 2021, and 2024 for Consolidated Disposal Services LLC. The 2018 inspection report indicated that the facility receives hazardous waste mainly from refineries & TSDFs; the report detailed that upon arrival at the Site, wastes were already containerized, covered and labeled with manifest copies attached. Per the July 2024 inspection report, the facility reportedly only transfers containers from truck to train railcar and containers remain on-site for no more than 10 days. In April 2018, a violation notice was issued associated with the business not submitting their Hazardous Materials Business Plan (HMBP) and associated documentation by the reporting deadline. This violation was brought to compliance by May 2018. No other violations were noted in the inspection reports.

According to the LACFD July 2024 Inspection Report for Consolidated Disposal Services LLC, the Site operates inside the dirt area of expanded UPRR train tracks and provides transport service of hazardous waste roll-off bins from large quantity waste generators. The Site loads these waste bins onto train cars for transport out of State for treatment and/or disposal. Hazardous materials stored onsite are mainly small quantities of welding gases for bin repairs and a 55-gallon drum of hydraulic oil for the water truck and forklifts. According to the LACFD July 2024 report, the Facility Manager reported no truck/vehicle maintenance is conducted on-site. Hazardous waste bins are received back clean from out of State hazardous waste landfills and the Site installs new bin liners and inspects the heavy vinyl lids (tarps) for wear/tears and patches; tarps are replaced as needed. Once prepped, the waste bins are delivered by truck to their client's facility locations. Once filled, the bins are picked up by Consolidated Disposal Services/Republic Services and transported back to the Site; bins are maintained tightly closed with lids secured with rubber straps on all four sides at all times after being picked up at generator sites. The bins are not opened or relabeled after pickup and are loaded directly onto train cars until there are enough to make a shipment, usually resulting in approximately three to four days onsite. As per the Facility Manager, the Site has a time requirement of 10 days to load their bins onto the UPRR train cars, which then become the responsibility of UPRR from that point.

Roux also reviewed the California Environmental Reporting System (CERS) Consolidated Emergency Response/Contingency Plan, also referred to as a HMBP, completed by Consolidated Disposal Service, dated February 28, 2024. This document outlines the steps that the facility will take in the event of a spill, release, or other emergency incident. This document was reviewed and accepted by the LACFD and DTSC. The HMBP reported the type of business as "rail loading sealed bins with non-RCRA haz[ardous] waste."² The specific emergency containment and cleanup procedures listed in the HMBP are as follows:

- Monitor for leaks, ruptures, pressure build-up, etc.;
- Provide absorbent physical barriers
- Eliminate sources of ignition for flammable hazards;
- Stop processes and/or operations;
- Shut off water, gas, electrical utilities;

² The DTSC 2024 Compliance Investigation report indicates that the Consolidated Disposal Services Facility Manager stated that approximately 70% of the off-Site generated waste which is accepted by the facility is characterized as non-RCRA hazardous waste.

- Call 911
- Notify and evacuate persons in all threatened and/or impacted areas;
- Account for evacuated persons immediately after evacuation;
- Hire licensed hazardous waste contractor;
- Use absorbent material for spill containment; provide safe temporary storage of hazardous waste generated during emergency actions; and
- Use heavy-duty 20 cubic yard bin liners and shovels to create a temporary bermed sump on unpaved ground using soil.

Clean Harbors has been contracted by Consolidated Disposal to provide emergency spill response services. The HMBP lists equipment available on-Site for emergency response including protective clothing, first aid kit, fire extinguishers, and spill control equipment. The HMBP indicates that all staff are trained on this HMBP and are 40-hour [Occupational Safety and Health Administration](#) (OSHA) Hazardous Waste Operations and Emergency Response (HAZWOPER) certified and receive annual 8-hour refresher training.

Environmental Database Review

The EDR Radius Map Report indicates that the Site was listed on the following environmental databases:

- **ECDC Environmental – FINDS**

This database serves as a pointer to other databases and does not provide any details.

- **Southern Cal Trans – FINDS, ECHO, CERS HAZ WASTE, HWTS, HAZNET, NPDES, CIWQS, CERS**

The CERS HAZ WASTE and CERS listings are associated with the Consolidated Disposal Services/ECDC operations as a chemical storage facility and include information provided by the LACFD records.

The National Pollutant Discharge Elimination System (NPDES) and California Integrated Water Quality System (CIWQS) listings are associated with stormwater discharge for Consolidated Disposal Services/ECDC. NPDES reports an active status as of January 2014 with a primary standard industrial classification (SIC) code of 4011 (railroads, line-haul operating) and a secondary SIC code of 4953 (refuse systems). The CIWQS listing classifies the Site within the industrial stormwater program; however, even though the Site is classified under SIC code 4011, they would not be regulated by the Industrial General Permit since they are reportedly not performing vehicle maintenance or cleaning equipment. Further, for regulation under an Industrial General Permit under SIC code 4953, the Site must be defined as a TSDF or a landfill. Therefore, the operations would also be exempt from industrial stormwater requirements (Industrial General Permit section XIX and 40 CFR § 122.26(a)(9)(i)(D)).

The HWTS and HAZNET listings were associated with UPRR and indicate that Union Pacific had a hazardous waste manifest for 0.05 tons of off-specification, aged, or surplus organics in 1995. These listings are not associated with the current Consolidated Disposal Services/ECDC operations. Based on Roux's review, these listings do not identify an environmental concern.

CONCLUSIONS

The Site operates as an exempt transfer facility that receives and transfers hazardous and non-hazardous waste. Based on Roux's review of the available regulatory records, the facility is in compliance with the requirements of an exempt transfer facility and no environmentally significant violations have been issued associated with the on-Site operations.

APRIL 2, 2025

PUBLIC HEARING

ZONE CHANGE NO. 250

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:
READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT
PLANNING COMMISSION RESOLUTION NO. PC 25:013,
RECOMMENDING THAT THE CITY COUNCIL CHANGE THE OFFICIAL
ZONING MAP FROM R-1 (SINGLE-FAMILY RESIDENTIAL) TO M-2
(HEAVY MANUFACTURING) ON VACANT LAND NORTH OF 13900
ORANGE AVENUE IDENTIFIED AS APNS 6236-003-901 AND 6236-
003-902.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

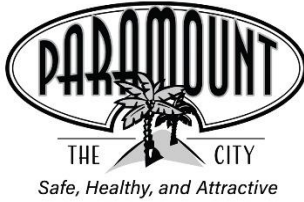
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER: Zone Change No. 250

REQUEST: Recommend that the City Council approve Zone Change No. 250, changing the official Zoning Map from R-1 (Single-Family Residential) to M-2 (Heavy Manufacturing)

APPLICANT: City of Paramount

MEETING DATE: April 2, 2025

LOCATION: Vacant land north of 13900 Orange Avenue identified as APNs 6236-003-901 and 6236-003-902

ZONE: R-1 (Single-Family Residential)

GENERAL PLAN: Railroad Right-of-way

PLANNER: John King

RECOMMENDATION: Approval



To: Honorable Planning Commission
From: John King, AICP, Planning Director
By:
Date: April 2, 2025

**Subject: ZONE CHANGE NO. 250
CHANGING THE OFFICIAL ZONING MAP FROM R-1 (SINGLE-FAMILY
RESIDENTIAL) TO M-2 (HEAVY MANUFACTURING)**

BACKGROUND

This item is a request for the Planning Commission to recommend to the City Council to approve Zone Change No. 250, changing the official Zoning Map from R-1 (Single-Family Residential) to M-2 (Heavy Manufacturing) on vacant land north of 13900 Orange Avenue identified as APNs 6236-003-901 and 6236-003-902.

Zone changes are processed in compliance with State law and Chapter 17.52 of the Paramount Municipal Code. The Planning Commission's decision is a recommendation to the City Council.

The two properties have been vacant for decades since the discontinuation of the Pacific Electric Railway on May 25, 1958.

Below is an aerial photo showing the subject properties in a red boundary.



DISCUSSION

The current R-1 zone allows for housing. As housing is not feasible or practical at this location, the City is proposing to change the zone to M-2. Although an application has not been formally submitted, one idea under serious consideration is the possible permitting of a digital billboard. Such billboards are not allowed in residential zones.

Upon approval of this item, the proposed zone will be consistent with the General Plan Land Use Designation of Railroad Right-of-way. Given the existing M-2-zoned properties to the south, the project will not be out of character with the surrounding zoning and the Paramount General Plan.

Environmental Assessment

This project is exempt from the provisions of the California Environmental Quality Act per Section 15061(b)(3) – general rule that CEQA only applies to projects which have the potential for causing a significant effect on the environment.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community.

RECOMMENDED ACTION

It is recommended that the Planning Commission adopt Resolution No. PC 25:012, recommending that the City Council approve Zone Change No. 250, changing the official Zoning Map from R-1 (Single-Family Residential) to M-2 (Heavy Manufacturing) on vacant land north of 13900 Orange Avenue identified as APNs 6236-003-901 and 6236-003-902.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:012**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDING OF FACT, AND RECOMMENDING THAT THE CITY COUNCIL APPROVE ZONE CHANGE NO. 250, CHANGING THE OFFICIAL ZONING MAP FROM R-1 (SINGLE-FAMILY RESIDENTIAL) TO M-2 (HEAVY MANUFACTURING) ON VACANT LAND NORTH OF 13900 ORANGE AVENUE IDENTIFIED AS APNS 6236-003-901 AND 6236-003-902

WHEREAS, the Planning Commission of the City of Paramount recommends that the City Council approve Zone Change No. 250, changing the official Zoning Map from R-1 (Single-Family Residential) to M-2 (Heavy Manufacturing) on vacant land north of 13900 Orange Avenue identified as APNs 6236-003-901 and 6236-003-902; and

WHEREAS, Paramount Municipal Code Section 17.48.030 et seq., a portion of the Zoning Ordinance of the City of Paramount, requires the Planning Commission to duly notice a public hearing, receive a report from staff, conduct the hearing and consider all evidence before it, and thereafter to announce its findings and decisions in zoning matters and specifically for conditional use permits; and

WHEREAS, the Planning Commission of the City of Paramount finds that this zoning ordinance text amendment is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) which is the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission hereby finds that Zone Change No. 250 is consistent with desirable land use trends.

SECTION 5. The Planning Commission determines that upon applying the principles and practices of land use planning, the amendment to the Code should be made to encourage activity that will produce a desirable pattern of growth, encourage the most appropriate use of land, enhance the value of property, and promote the health, safety, and general welfare of the public in the best interests of the City.

SECTION 6. The Planning Commission hereby recommends that the City Council approve Zone Change No. 250, changing the official Zoning Map from R-1 (Single-Family Residential) to M-2 (Heavy Manufacturing) on vacant land north of 13900 Orange Avenue identified as APNs 6236-003-901 and 6236-003-902.

SECTION 7. That pursuant to Resolution No. 82:043 of the City Council, the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 8. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED and ADOPTED by the Planning Commission of the City of Paramount this 2nd day of April 2025.

Gordon Weisenburger, Chair

Attest:

Biana Salgado, Administrative Assistant

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

ORDINANCE NO. ____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT, APPROVING ZONE CHANGE NO. 250, CHANGING THE OFFICIAL ZONING MAP FROM R-1 (SINGLE-FAMILY RESIDENTIAL) TO M-2 (HEAVY MANUFACTURING) ON VACANT LAND NORTH OF 13900 ORANGE AVENUE IDENTIFIED AS APNS 6236-003-901 AND 6236-003-902

WHEREAS, the Zoning Ordinance of the City of Paramount, including the Zoning Map, was adopted by Ordinance No. 178 on February 20, 1962 by the City Council; and

WHEREAS, the City Council determines that upon applying the principles and practices of land use planning, adoption of this Ordinance No. ____, approving Zone Change No. 250 should be made to encourage activity that will produce a desirable pattern of growth, encourage the most appropriate use of land, enhance the value of property and promote the health, safety, and general welfare of the public in the best interests of the City ; and

WHEREAS, the City Council finds that the proposed Zone Change No. 250 is consistent with desirable land use trends; and

THE CITY COUNCIL OF THE CITY OF PARAMOUNT DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. Purpose and Findings. The City Council finds and declares as follows:

- A. California Constitution Article XI, Section 7, enables the City of Paramount ("the City") to enact local planning and land use regulations; and
- B. The authority to adopt and enforce zoning regulations is an exercise of the City's police power to protect the public health, safety, and welfare; and
- C. The authority to adopt and enforce zoning regulations is an exercise of the City's police power to protect the public health, safety, and welfare; and
- D. The City desires to ensure that development occurs in a prudently effective manner, consistent with the goals and objectives of the General Plan as updated and adopted by the City Council on August 7, 2007 and reasonable land use planning principles; and

- E. The Planning Commission held a duly noticed public hearing on April 2, 2025 at which time it considered all evidence presented, both written and oral, and at the end of the hearing voted to adopt Resolution No. PC 25:012, recommending that the City Council adopt this Ordinance; and
- F. The City Council held a duly noticed public hearing on this Ordinance on _____, at which time it considered all evidence presented, both written and oral.

SECTION 2. The Recitals set forth hereinabove are true and correct and incorporated herein by reference as if fully set forth herein.

SECTION 3. The official Zoning Map of the City of Paramount adopted by Ordinance No. 178 on February 20, 1962 is amended as shown on the map attached hereto, marked "Exhibit A", to be zoned PD-PS (Planned Development with Performance Standards). Said change shall be made on the official Zoning Map of the City of Paramount.

SECTION 4. California Environmental Quality Act (CEQA). This ordinance is exempt from CEQA pursuant to exempt from the provisions of the California Environmental Quality Act per Section 15061(b)(3) – general rule that CEQA only applies to projects which have the potential for causing a significant effect on the environment.

SECTION 5. Severability. If any section, subsection, sentence, clause, or phrase in this ordinance or the application thereof to any person or circumstance is for any reason held invalid, the validity of the remainder of the ordinance or the application of such provision to other persons or circumstances shall be adopted thereby. The City Council hereby declares it would have passed this ordinance and each section, subsection, sentence, clause, or phrase thereof, irrespective of the fact that one or more sections, subsections, sentences, clauses, or phrases or the application thereof to any person or circumstance be held invalid.

SECTION 6. Effective Date. This Ordinance shall take effect thirty days after its adoption, shall be certified as to its adoption by the City Clerk, and shall be published as required by law together with the names and members of the City Council voting for and against the Ordinance.

PASSED, APPROVED and ADOPTED by the City Council of the City of Paramount this __ day of ____ 2025.

Mayor

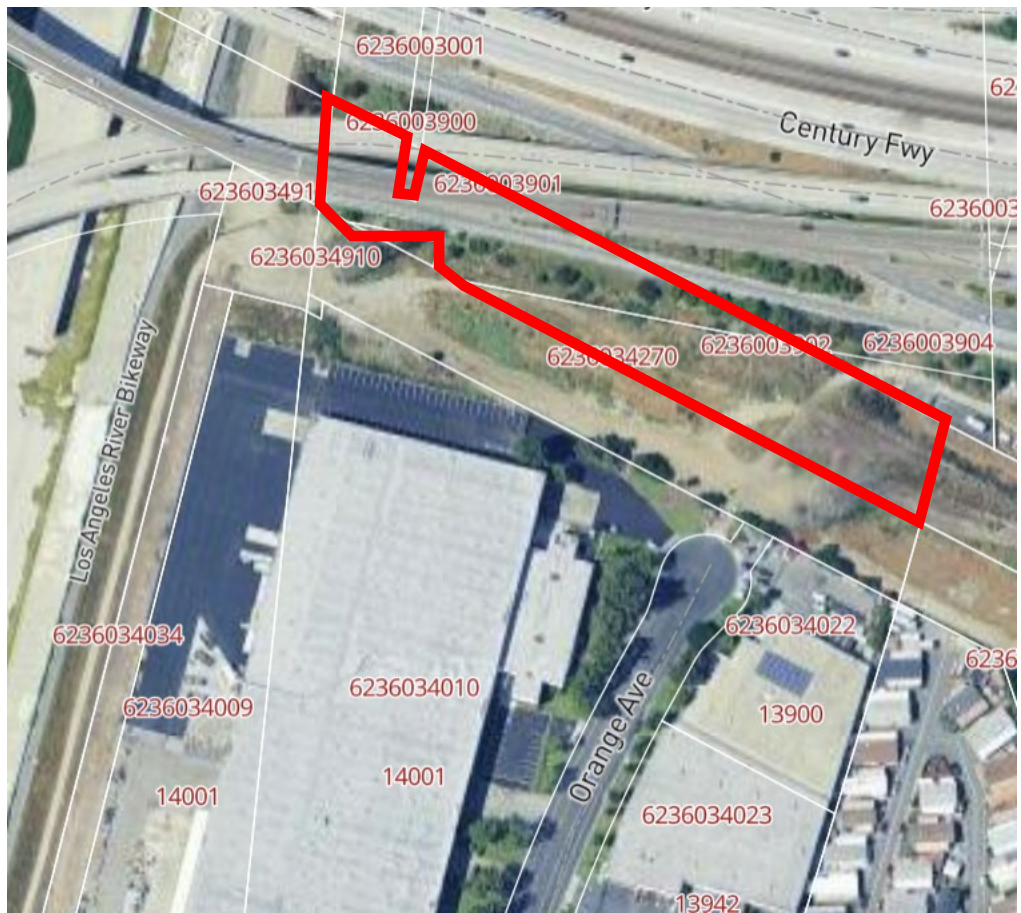
ORDINANCE NO. _____

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ATTEST

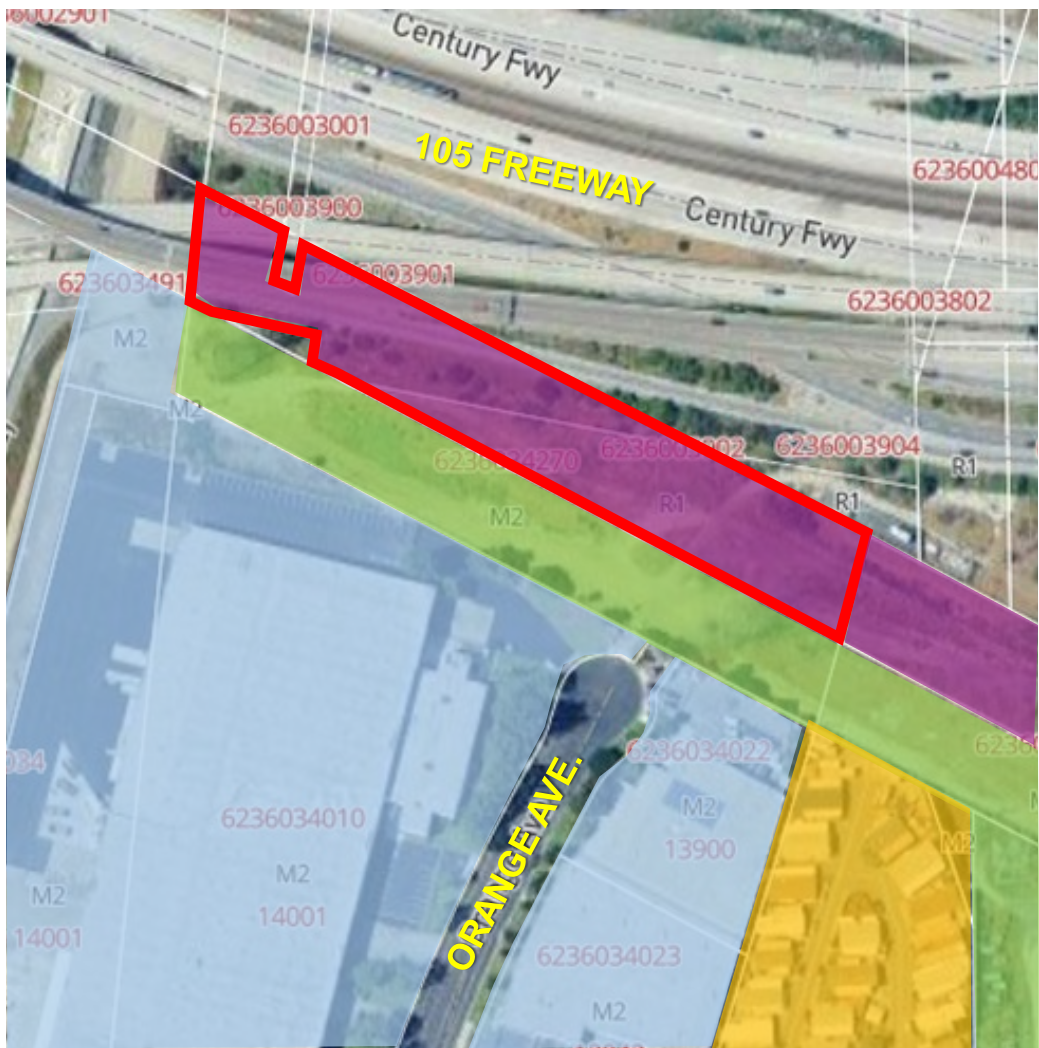
Heidi Luce, City Clerk





EXHIBIT A



Zone Change No. 250

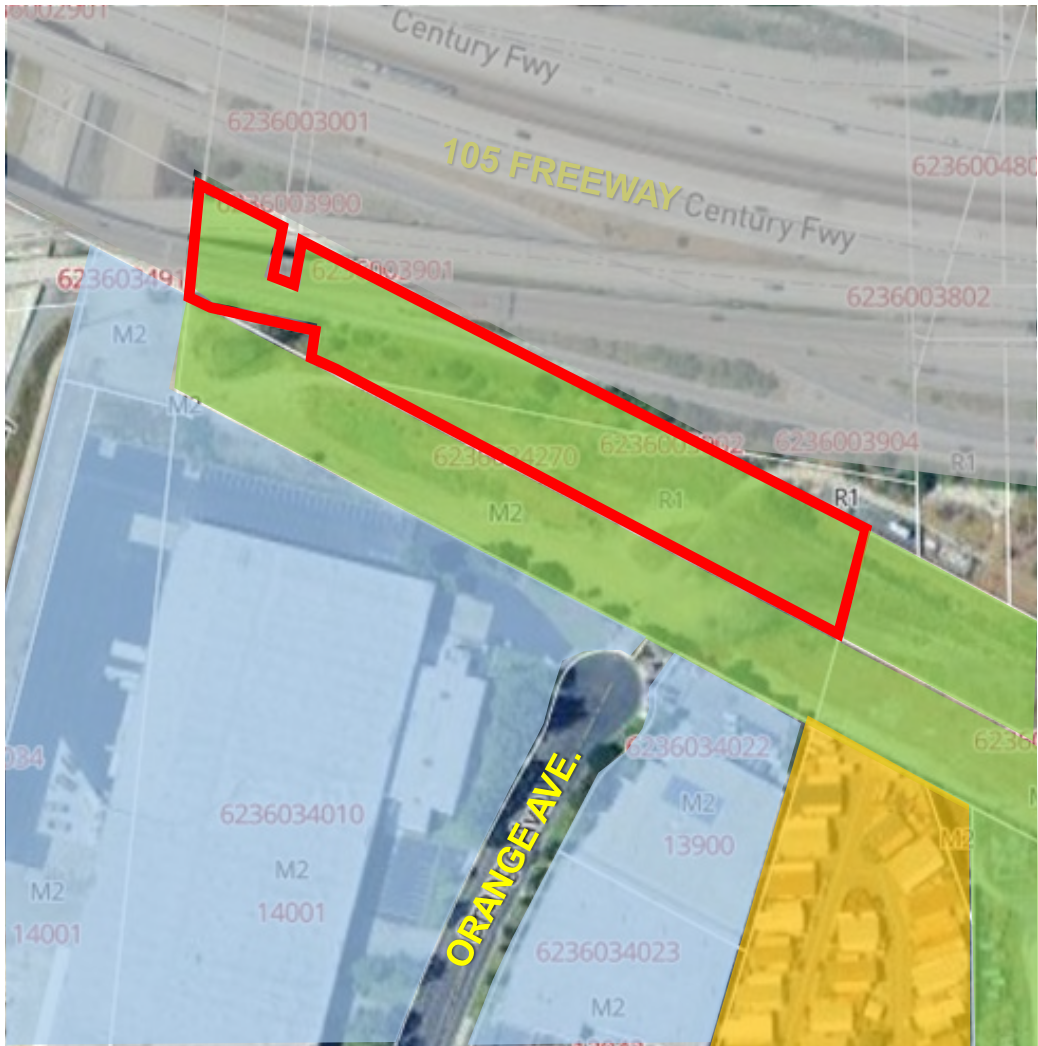
General Plan Land Use Designation



-  Utility/Easement
-  Industrial
-  Multi-Family Residential
-  Railroad ROW (RR)

Zone Change No. 250

Existing Land Uses






-  Vacant
 Industrial
 Mobile Home Park
 Freeway

Zone Change No. 250

Existing Zoning






-  R-1 (Single-Family Residential)
-  M-1 (Light Manufacturing)
-  M-2 (Heavy Manufacturing)

Zone Change No. 250

Proposed Zoning



-  R-1 (Single-Family Residential)
-  M-1 (Light Manufacturing)
-  M-2 (Heavy Manufacturing)

APRIL 2, 2025

ORAL REPORT

CITY COUNCIL ACTIONS

APRIL 2, 2025

PLANNING COMMISSION

COMMENTS FROM CITY ATTORNEY, COMMISSIONERS, AND STAFF