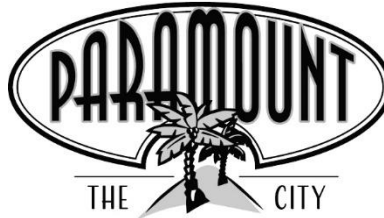


AGENDA

Paramount Development Review Board
August 6, 2025



Safe, Healthy, and Attractive

Regular Meeting
City Hall Council Chambers
6:00 p.m.

City of Paramount

16400 Colorado Avenue ♦ Paramount, CA 90723 ♦ (562) 220-2000 ♦ www.paramountcity.gov

PUBLIC PARTICIPATION NOTICE

In-person Attendance: The public may attend the Development Review Board meetings in-person.

Public Comments: Members of the public wanting to address the Development Review Board, either during public comments or for a specific agenda item, or both, may do so by the following methods:

- **In-person**

If you wish to make a statement, please complete a Speaker's Card prior to the commencement of the Public Comments period of the meeting. Speaker's Cards are located at the entrance. Give your completed card to a staff member and when your name is called, please go to the podium provided for the public.

- **E-mail:** planning@paramountcity.gov

E-mail public comments must be received **15 minutes prior to the start of the meeting**. The e-mail should specify the following information: 1) Full Name; 2) City of Residence; 3) Phone Number; 4) Public Comment or Agenda Item No.; 5) Subject; 6) Written Comments.

All public comments are limited to a maximum of three (3) minutes unless an extension is granted. No action may be taken on items not on the agenda except as provided by law. All public comments will be recorded and rules of decorum and procedures for the conduct of City meetings will apply when addressing the Development Review Board whether in-person or via email.

Notes

CALL TO ORDER:

Chair David Moody

ROLL CALL OF
MEMBERS:

Board Member Javier Gonzalez
Board Member Linda Timmons
Board Member Gordon Weisenburger
Vice Chair Ernie Esparza
Chair David Moody

MINUTES

1. APPROVAL OF MINUTES July 2, 2025

REORGANIZATION

2. REORGANIZATION

PUBLIC COMMENTS

PUBLIC HEARINGS

OLD BUSINESS

3. DEVELOPMENT REVIEW APPLICATION NO. 25:005
A request by Humberto Avila/Los Altos Boots to legalize a 3,180 square foot storage addition attached to the rear of the existing 39,500 square foot building at 14910 Garfield Avenue in the M-2 (Heavy Manufacturing) zone.

NEW BUSINESS

4. DEVELOPMENT REVIEW APPLICATION NO. 25:004
A request by Gold Key Development, Inc. to allow the construction of 17 single-family residential dwelling units ranging in size from 1,707 square feet to 1,875 square feet on a 1.04-acre property located west of Paramount Boulevard between Harrison Street and 70th Street at 16635, 16675, and 16683 Paramount Boulevard in the PD-PS (Planned Development with Performance Standards)/Mixed-Use Commercial and Senior Assisted/Independent Living Facility zone.
5. DEVELOPMENT REVIEW APPLICATION NO. 25:006
A request by Jesus A. Lara and Jesus Martinez/RMCA Architects for Stater Bros. Markets to approve the proposed exterior remodel of an existing grocery store and a 400 square foot reduction of the building floor area at 8640 Alondra Boulevard in the PD-PS (Planned Development with Performance Standards) zone.

COMMENTS

6. **COMMENTS**
- Board Members
 - Staff

ADJOURNMENT

To a meeting on Wednesday, September 3, 2025, at 6:00 p.m. in the Council Chamber at City Hall, 16400 Colorado Ave., Paramount, California.

Americans with Disabilities Act: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office at (562) 220-2225 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility to this meeting. **Note:** Agenda items are on file in the Planning Department office and are available for public inspection during normal business hours. Materials related to an item on this Agenda submitted after distribution of the agenda packet are also available for public inspection during normal business hours in the Planning Department office. The Planning Department office is located at City Hall, 16400 Colorado Avenue, Paramount.

AUGUST 6, 2025

APPROVAL OF MINUTES

DEVELOPMENT REVIEW BOARD

MOTION IN ORDER:

APPROVE THE DEVELOPMENT REVIEW BOARD MINUTES OF JULY 2, 2025.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

DEVELOPMENT REVIEW BOARD MINUTES JULY 2, 2025

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER: The meeting of the Development Review Board was called to order by Chair David Moody at 6:22 p.m. at City Hall, Council Chamber, 16400 Colorado Avenue, Paramount, California.

**ROLL CALL OF
BOARD MEMBERS**

Present: Board Member Javier Gonzalez
Board Member Linda Timmons
Board Member Gordon Weisenburger
Vice Chair Ernie Esparza
Chair David Moody

STAFF PRESENT: Lindsay Thorson, Planning Commission Attorney
John King, Planning and Building Director
Monica Rodriguez, Assistant Planning and Building Director
Rick Baptista, Building and Safety Manager
Sol Bejarano, Management Analyst
Ivan Reyes, Associate Planner
Leslie Corrales, Assistant Planner
Biana Salgado, Administrative Assistant

MINUTES

1. **APPROVAL OF
MINUTES** Chair Moody presented the Development Review Board minutes of June 4, 2025 for approval.

It was moved by Vice Chair Esparza, seconded by Board Member Gonzalez, to approve the minutes as presented. The motion was passed by the following roll call vote:

AYES: Board Members Weisenburger, Timmons,
and Gonzalez, Vice Chair Esparza
Chair Moody

NOES: None

ABSENT: None

ABSTAIN: None

PUBLIC COMMENTS

There were none.

NEW BUSINESS

2. DEVELOPMENT
REVIEW
APPLICATION NO.
25:005
HUMBERTO
AVILA/LOS ALTOS
BOOTS
14910 GARFIELD
AVENUE

Planning and Building Director John King stated that the staff's recommendation is to open the public hearing and continue Development Review Application No. 25:005, a request to legalize a 3,180 square foot storage structure attached to the rear of an existing 39,500 square foot building at 14910 Garfield Avenue in the M-2 (Heavy Manufacturing) zone. The item will be continued to the August 6, 2025 Development Review Board meeting as more time is needed to resolve some issues with the site plan.

It was moved by Board Member Gonzalez, seconded by Board Member Esparza, to open the public hearing and continue the item to the August 6, 2025 Development Review Board Meeting. The motion was passed by the following roll call vote:

AYES: Board Members Gonzalez, Timmons and
Weisenburger, Vice Chair Esparza,
Chair Moody
NOES: None
ABSENT: None
ABSTAIN: None

At 6:24 p.m., Board Member Timmons recused herself from the next item on the Agenda.

3. DEVELOPMENT
REVIEW
APPLICATION NO.
24:005 (ONE-YEAR
EXTENSION)
DR. EUGENE
ALLEN
8225 ALONDRA
BOULEVARD

Planning and Building Director John King stated that Assistant Planning and Building Director Monica Rodriguez gave an overview of Development Review Application No. 24:005, a request for a one-year extension to remodel an existing commercial building at 8225 Alondra Boulevard in the PD-PS (Planned Development with Performance Standards) zone. The item was heard earlier in the evening during the Planning Commission meeting in conjunction with Conditional Use Permit No. 966.

It was moved by Board Member Weisenburger, seconded by Board Member Gonzalez, to approve the one-year extension. The motion was passed by the following roll call vote:

AYES: Board Members Gonzalez and Weisenburger,
Vice Chair Esparza,
Chair Moody
NOES: None
ABSENT: None
ABSTAIN: Board Member Timmons

At 6:26 p.m., Board Member Timmons returned to the dais.

COMMENTS

There were none.

ADJOURNMENT

There being no further business to come before the Board, the meeting was adjourned by Chair Moody at 6:25 p.m. to the next meeting of the Development Review Board to be held on Wednesday, August 6, 2025, at City Hall Council Chamber, 16400 Colorado Avenue, Paramount, California, at 6:00 p.m.

David Moody, Chair

ATTEST:

Biana Salgado, Administrative Assistant

AUGUST 6, 2025

REORGANIZATION OF THE DEVELOPMENT REVIEW BOARD

Minute Clerk:	<p>OPEN NOMINATIONS FOR OFFICE OF DEVELOPMENT REVIEW BOARD CHAIR</p> <p>_____ was nominated by _____ (NO SECOND REQUIRED)</p> <p>_____ was nominated by _____ (NO SECOND REQUIRED)</p> <p>ROLL CALL VOTE FOR _____ AS DEVELOPMENT REVIEW BOARD CHAIR</p> <p>Board Member Esparza _____</p> <p>Board Member Gonzalez _____</p> <p>Board Member Moody _____</p> <p>Board Member Timmons _____</p> <p>Board Member Weisenburger _____</p>
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Board Chair:	<p>OPEN NOMINATIONS FOR OFFICE OF DEVELOPMENT REVIEW BOARD VICE CHAIR</p> <p>_____ was nominated by _____ (NO SECOND REQUIRED)</p> <p>_____ was nominated by _____ (NO SECOND REQUIRED)</p> <p>ROLL CALL VOTE FOR _____ AS DEVELOPMENT REVIEW BOARD VICE CHAIR</p> <p>Board Member Esparza _____</p> <p>Board Member Gonzalez _____</p> <p>Board Member Moody _____</p> <p>Board Member Timmons _____</p> <p>Board Member Weisenburger _____</p>
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AUGUST 6, 2025

PUBLIC HEARING

DEVELOPMENT REVIEW APPLICATION NO. 25:005

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:
APPROVE A REQUEST BY HUMBERTO AVILA/LOS ALTOS BOOTS
TO LEGALIZE A 3,180 SQUARE FOOT STORAGE STRUCTURE
ATTACHED TO THE REAR OF THE EXISTING 39,500 SQUARE FOOT
BUILDING LOCATED AT 14910 GARFIELD AVENUE IN THE M-2
(HEAVY MANUFACTURING) ZONE.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

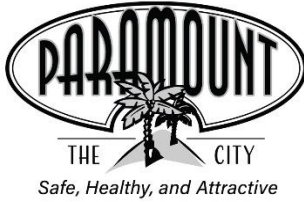
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER: Development Review Application 25:005

REQUEST: Legalize a 3,180 square foot storage structure attached to the rear of an existing 39,500 square foot building

APPLICANT: Humberto Avila/Los Altos Boots, Inc.

MEETING DATE: August 6, 2025

LOCATION: 14910 Garfield Avenue

ZONE: M-2 (Heavy Manufacturing) zone

GENERAL PLAN: Heavy Manufacturing

PLANNER: Leslie A. Corrales

RECOMMENDATION: Approval



To: Honorable Development Review Board

From: John King, AICP, Planning and Building Director

By: Leslie A. Corrales, Assistant Planner

Date: August 6, 2025

**Subject: DEVELOPMENT REVIEW APPLICATION NO. 25:005
LOS ALTOS BOOTS**

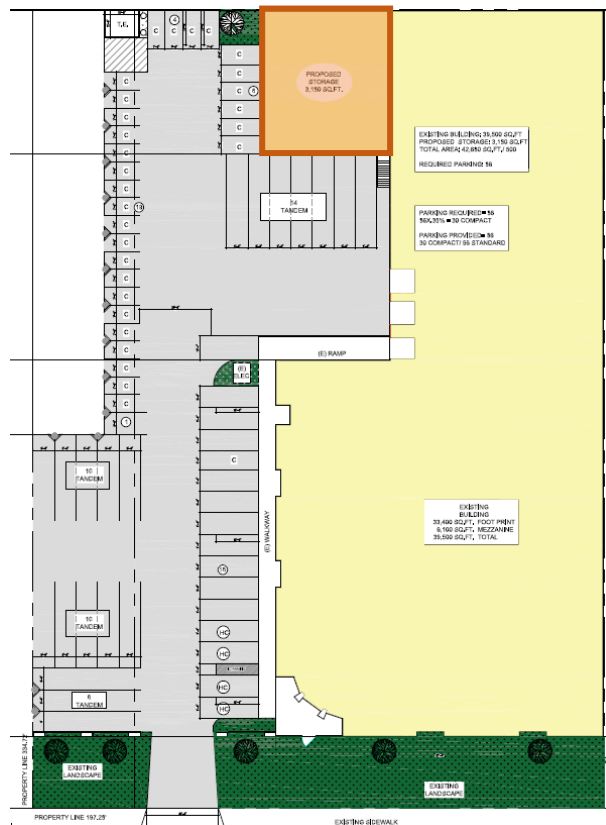
BACKGROUND

This application is a request by Humberto Avila/Los Altos Boots, Inc. to legalize a 3,180 square foot storage addition attached to the rear of an existing 39,500 square foot building at 14910 Garfield Avenue in the M-2 (Heavy Manufacturing) zone. When complete, the building floor area will total 39,100 square feet.

Los Altos Boots, Inc. was founded in 1994. The business has been at the current location since 2008 when construction of the existing building was completed. The purpose of the request is to bring the existing storage addition, which the owners constructed without permits, into compliance with current zoning and building standards. Legalization will allow the structure to be formally recognized as part of the primary use onsite, ensuring that it meets applicable safety, use, and development.

DISCUSSION

The 3,180 square foot structure proposed to be legalized is utilized as storage space for inventory to support the primary operations of the business. The existing building is a concrete tilt-up building. The addition is presently constructed of corrugated metal which does not match the primary building. In order to bring consistency between the existing building and the proposed legalization of the addition, the applicant is proposing to update the storage addition to match the architectural style, materials, and height of the existing structure. Doing so would ensure visual and functional continuity across the site, maintaining consistency with the surrounding industrial context.



Below are the renderings for the storage to be legalized.



Design

The applicant proposes an architectural design featuring smooth concrete wall finishes and complementary decorative trim that aligns with the aesthetic of the existing building. The storage area will incorporate industrial-style accents with off-white and grey colored exterior walls to enhance the building character and maintain visual consistency across the site.

The applicant is proposing a number of architectural elements for the project to meet City design standards:

- Decorative trim treatment along the building border.
- Smooth cement wall finish in a two-tone palette of grey and off-white.
- Install a decorative wall-mounted light fixture at each entrance of the buildings following separate Planning Division review and approval of the types and specific locations.

Additional property improvements required as conditions of approval include:

- Paint all rooftop vents to match the predominant color of the roofing.
- Maintaining perimeter and parking lot landscaping.
- Extend irrigation to proposed tree walls.
- Trees with a minimum size of 15 gallons shall be planted.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The City Council implemented the Strategic Outcomes to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community.

RECOMMENDED ACTION

It is recommended that the Development Review Board approve Development Review Application No. 25:005, subject to the following conditions:

General

1. Conditions. All planning conditions of approval for Development Review Application No. 25:005 shall be printed as general notes on all sets of building plans.
2. Invalid Provision. It is hereby declared to be the intent that if any provision of this application is held or declared to be invalid, the application shall be void and the privileges granted hereunder shall lapse.
3. Violations. It is further declared and made a condition of this application that if any condition hereof is violated or if any law, statute, or ordinance is violated, the approval shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
4. Material Deviation. Except as set forth in conditions, development shall take place substantially as shown on the approved site plans and elevations. Any material deviation must be approved by the Planning and Building Department before construction.
5. Affidavit. This Development Review Application shall not be effective for any purposes until the applicant has first filed at the office of the Development Review Board a sworn affidavit both acknowledging and accepting all conditions of approval of this Development Review Application. The affidavit shall be submitted by Friday, August 22, 2025. Failure to provide the City of Paramount with the requisite affidavit within the time stated hereinabove shall render the Development Review Application void.

6. One-Year Approval. Approval of this Development Review Application No. 25:005 shall be valid for one (1) year from the date of final approval and shall become null and void unless construction has commenced within this time period or an extension of time is granted administratively pursuant to a written request by the applicant no less than thirty days prior to the expiration date of August 6, 2026. The Director at his or her discretion may grant a one-year extension. The Planning Commission may grant up to a one-year extension at the conclusion of the initial one-year extension. Prior to the granting of the extension request by the Planning Commission, notice shall be given in the same manner as required for the original application. Commencement of development shall mean that appropriate permits have been obtained, and the development has successfully completed the first Building and Safety Division inspection.
7. Colors and Materials. All exterior colors and materials shall be submitted to the Planning and Building Director for approval. All approvals must be obtained prior to installation. Colors and materials shall be approved separately from the design approval and from the working drawings.
8. Alterations. No exterior structural alteration or building color change, other than those colors or building treatments originally approved by this application, shall be permitted without the prior approval of the Planning and Building Department.
9. Lighting. A precise lighting plan shall be submitted showing the location and types of all exterior lighting. The plan shall be subject to the approval of the Planning and Building Department. Approval criteria will emphasize both the functional as well as the decorative nature of the proposed lighting. The parking lot and other common areas shall be illuminated to a demonstrated degree equal to or exceeding one point five candles per foot. The plan and fixture design shall be approved separately from the design approval and from the working drawings. Install a decorative wall-mounted light fixture at each entrance of the buildings following separate Planning and Building Department review and approval of the types and specific locations.
10. Contractors. Prior to the release of utilities or service connections, final building, electrical, plumbing, and/or mechanical approval, the owner or general contractor shall submit a list of all contractors and/or subcontractors performing work on this project or development to the Planning and Building Department.
11. Business License. All contractors shall obtain a business license to work and/or do business in the City of Paramount.
12. Fees. All applicable development fees are due prior to the issuance of building permits.
13. Fire Department. The plans are subject to Los Angeles County Fire Department approval, including all required conditions of approval of the Land Development Unit of the Fire Prevention Division.

14. Utility Plan. A utility plan shall be approved by the Planning Division before a permit is issued. All mechanical equipment and appurtenances of any type, whether located on rooftop, ground level, or anywhere on the building structure or site shall be completely enclosed or screened so as not to be visible from any public street and/or adjacent property. Such enclosure of facilities or screening shall be of compatible design related to the building structure for which such facilities are intended to serve.
15. Graffiti. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint. Graffiti shall be promptly painted over with paint to match the predominant surface paint or stucco color. Live plants that have been vandalized with graffiti shall be trimmed to remove the graffiti. Graffiti in the form of window etching shall be promptly removed.
16. Signs. All signs shall require separate review and approval by the Planning and Building Department. The applicant shall submit precise plans showing the design size and location of all proposed signing.
17. Tarps. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in front setbacks, side setbacks, rear yard areas, over driveways, and in parking and circulation areas.
18. Trash. All trash, debris, and junk throughout the site shall be removed.

Construction

19. Repair Damage. Any damage to the adjacent public streets or private property from project construction shall be promptly cleaned/repared by the applicant.
20. NPDES. The applicant shall comply with all National Pollution Discharge Elimination System (NPDES) regulations.
21. Backflow Devices. The location of all backflow devices shall be approved by the Planning and Building Department prior to installation. Backflow devices shall be painted and screened with landscaping as approved by the Planning Division.
22. Landscaping and Irrigation. A landscaping and irrigation plan in compliance with Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code shall be submitted to the Planning and Building Department for review and possible approval. The plan shall include all tree wells and planters. Plants shall be planted and irrigation installed in accordance with the approved plan. All trees shall be a minimum of 15-gallon. Shrubs, groundcover, and a two-inch layer of brown mulch shall be provided and maintained in good condition. No mature trees shall be removed without the authorization of the Planning and Building Department.

23. Parking. Parking spaces on the property shall be noted on the site plan on the working construction drawings.
24. Hours of Construction. Construction shall take place 7:00 a.m. to 7:00 p.m. Mondays through Fridays and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction is prohibited on Sundays and national holidays.
25. Infrastructure and SCAQMD. The applicant shall ensure that the public streets, other public infrastructure, and adjoining private properties remain clean from dirt and other debris during construction. The applicant shall comply with South Coast Air Quality Management District (SCAQMD) Rule 403 regarding reduction of fugitive dust with best available fugitive dust control measures.
26. Organic Waste Disposal. The property shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
27. Chain Link Fencing. With the exception of temporary construction screening fencing that shall be removed at the end of construction, no chain link fence shall be installed.
28. Barbed/Razor Wire. Barbed/razor wire is prohibited.

Design

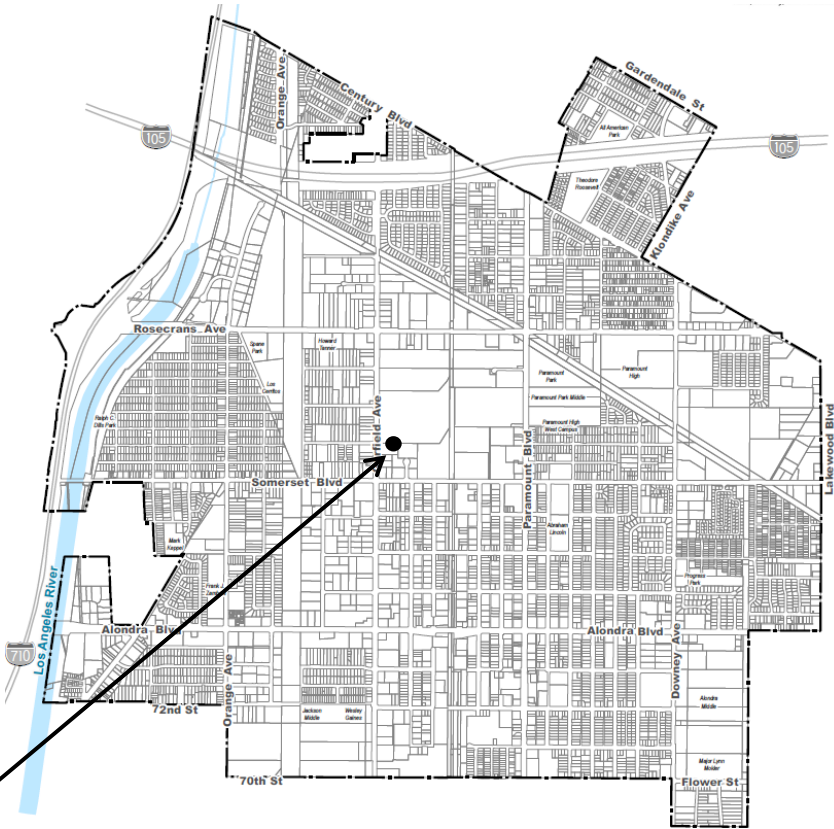
29. Roofline. Decorative trim treatment along the building roofline shall be installed and maintained in good condition.
30. Materials and Colors. The exterior walls of the storage addition shall be finished with a smooth concrete finish in a two-tone palette of grey and off-white to match the existing building.
31. Landscaping. Landscaping along the perimeter and parking lot shall be maintained.
32. Traffic signs. All directional and informational signs shall be cleaned, repaired, and maintained.
33. Signs. All permanent and temporary signs shall require separate review and approval by the Planning and Building Department prior to installation of the signs. Tenants and subtenants shall not install temporary signs without the appropriate permit from the Planning and Building Department, and unpermitted signs shall be promptly removed.
34. Driveway. Refurbish the colored entrance treatment to ensure it remains in good condition.

- 35. Window Signs. All window sign area shall be limited to 40% of the square footage of each grouping of adjacent windows, including a glass door, within an outer framed pane of glass. Sign area shall be limited to 40% of each glass door that is not adjacent to a window.
- 36. Height. The height of the structure shall not exceed 25 feet.
- 37. Digital Plans. An electronic copy (PDF format) of the plans shall be submitted to the Planning and Building Department prior to permit issuance.
- 38. Rooftop Vents. All rooftop vents shall be painted to match the predominant color of the roofing.

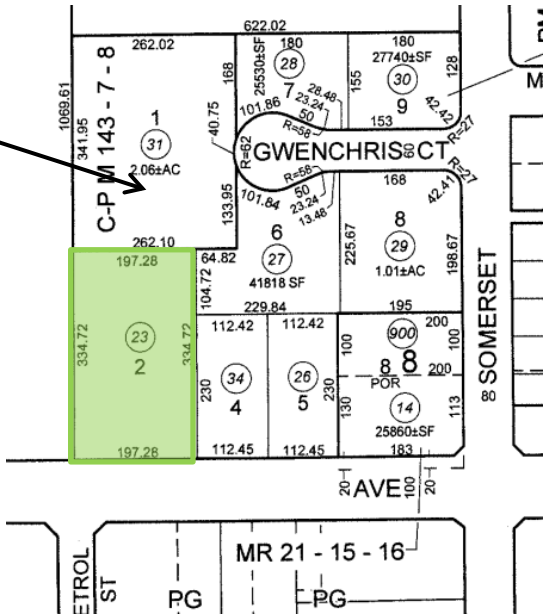
Final Approval

- 39. Final Approval. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.

Development Review Application No. 25:005



Subject
Property



14910 Garfield Avenue

AUGUST 6, 2025

PUBLIC HEARING

DEVELOPMENT REVIEW APPLICATION NO. 25:004

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:

APPROVE A REQUEST BY GOLD KEY DEVELOPMENT, INC. TO CONSTRUCT 17 SINGLE-FAMILY HOMES AT 16635, 16683, AND 16675 PARAMOUNT BOULEVARD IN THE PD-PS (PLANNED DEVELOPMENT WITH PERFORMANCE STANDARDS)/MIXED-USE COMMERCIAL AND SENIOR ASSISTANT/INDEPENDENT LIVING ZONE.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

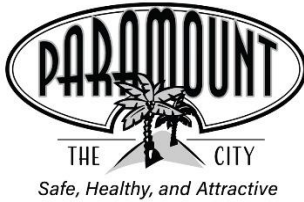
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER: Development Review Application No. 25:004

REQUEST: Construct 17 single-family homes

APPLICANT: Gold Key Development, Inc.

MEETING DATE: August 6 2025

LOCATION: 16635, 16675, and 16683 Paramount Boulevard
(APNs: 7102-030-1024, 7102-030-1020, and 7102-030-1021)

ZONE: Planned Development with Performance Standards
(PD-PS)/Mixed-Use Commercial and Senior
Assisted/Independent Living Facility zone

GENERAL PLAN: Mixed-Use Commercial and Senior Assisted/
Independent Living Facility

PLANNER: Ivan Reyes

RECOMMENDATION: Approval



To: Honorable Development Review Board

From: John King, AICP, Planning and Building Director

By: Monica Rodriguez, Assistant Planning and Building Director
Ivan Reyes, Associate Planner

Date: August 6, 2025

**Subject: DEVELOPMENT REVIEW APPLICATION NO. 25:004
GOLD KEY DEVELOPMENT, INC.**

BACKGROUND

This application is a request by Gold Key Development, Inc., to construct 17 single-family homes at 16635, 16675, and 16683 Paramount Boulevard in the PD-PS (Planned Development with Performance Standards)/Mixed-Use Commercial and Senior Assisted/Independent Living zone. The project area encompasses three parcels, totaling 1.04-acres. Two parcels to the south (16675 and 16683 Paramount Boulevard) are currently developed with commercial uses, formerly occupied by an auto repair shop and a restaurant/bar. The third parcel, 16635 Paramount Boulevard, is currently vacant and was formerly occupied by the United Methodist Church. The development of residential units at the subject property will be consistent with the goals, policies, objectives, standards, and guidelines set forth in the City's adopted General Plan.

Earlier in the evening, the Planning Commission considered General Plan Amendment No. 25-2, recommending that the City Council change the General Plan Land Use Designation of the project site from Mixed-Use Commercial and Senior Assisted/Independent Living Facility to Mixed-Use Commercial and Multiple-Family Residential, as well as changing the official Zoning Map from PD-PS/Mixed-Use Commercial and Senior Assisted/Independent Living Facility to PD-PS/Multiple-Family Residential. Furthermore, the Planning Commission also considered Tentative Parcel Map No. 084854, a request by the same applicant to subdivide the existing 45,302 square feet (1.04-acres) into 17 lots.

In 2023, the City Council adopted Ordinance No. 1167, approving Zone Change No. 239 to change the official Zoning Map from C-3 (General Commercial) to PD-PS /Mixed-Use Commercial and Senior Assisted/Independent Living Facility.

DISCUSSION

Description

The applicant is proposing to construct 17 detached two-story single-family homes that include nine 4-bedroom units and eight 3-bedroom units. The unit sizes will range in size from 1,707 square feet to 1,860 square feet. There are three different types of floor plans proposed, as detailed in Table A below:

Type	Number of bedrooms	Number of bathrooms	Living area	Parking
Plan Type A	4	2.5	1,860 sf.	2-car garage
Plan Type B	3	2.5	1,725 sf.	2-car garage
Plan Type C	3	2.5	1,707 sf.	

Residential Plan A

Plan Type A will have an 1,860 square foot living area and a 416 square foot two-car garage. The living area will consist of a living room, a kitchen, a dining area, and a powder room on the first floor. The living area for the second floor will consist of the following: a laundry closet, three bedrooms, a bathroom, and a master bedroom suite.

Residential Plan B

Plan Type B will have an 1,725 square foot living area and a 429 square foot two-car garage. The living area will consist of a living room, a kitchen, a dining area, and a powder room on the first floor. The living area for the second floor will consist of the following: a laundry closet, three bedrooms, a bathroom, and a master bedroom suite. Two additional parking spaces for each unit would also be available on the driveway accessible from the existing alley.

Plan B would have a total building floor area of approximately 1,725 square feet and would include 3 bedrooms and 2 ½ bathrooms. A total of 5 units would be Plan B units. The Plan B units would be market rate units. The units would be two levels with a maximum height of 26 feet. Each unit would be provided with a 429 square foot two-car garage. Two additional parking spaces for each unit would also be available on the driveway apron from the existing alley.

Residential Plan C

Plan C would have a total building floor area of approximately 1,707 square feet including 3 bedrooms and 2 ½ bathrooms. A total of 3 units would be Plan C units. The Plan C units would be affordable units. The units would consist of two levels with a maximum height of 26 feet. Each unit would be provided with a 416 square foot two-car garage. Two additional parking spaces for each unit would also be available on the driveway apron from the existing alley.

Parking and Access

Each unit would be provided with a two-car garage. Two additional parking spaces for each unit would also be available on the driveway apron. Vehicular access to the project would be provided by an existing alley located west of the project site while pedestrian access would be provided by a pedestrian walkway located to the east of the site along through Paramount Boulevard.

Design

The homes will include a two-stucco exterior, multilevel roof lines, varying building insets and projections, lifetime asphalt composition shingles, varying siding and stone materials, window surrounds, decorative sectional rollup garage doors, and decorative entry doors. Site improvements will include landscaped yards, decorative block walls around the perimeter of the site, and private patios for each unit.

Additional property improvements required as conditions of approval include:

- Paint all rooftop vents to match the predominant color of the roofing.
- The driveway and circulation area shall incorporate decorative stamped and stained concrete or pavers. The precise location, color, and size of concrete and/or paver areas shall be approved by the Planning and Building Department prior to construction.
- A six-foot-high decorative block wall shall be constructed along the perimeter of the property (with the exception of the front yard). A decorative bullnose cap with one-inch overhang shall be applied to the walls. The required block wall materials and finish colors shall be reviewed and approved separately by the Planning and Building Department prior to purchase or installation of the materials.
- Each home shall contain an area for the storage of garbage or recyclable barrels. Said space shall not be visible from the public right-of-way.
- The plans are subject to Los Angeles County Fire Department approval, including all required conditions of approval of the Land Development Unit of the Fire Prevention Division. The applicant shall pay all associated fire hydrant flow tests fees to the Water Division of the Paramount Public Works Department when the Los Angeles County Fire Department requires a fire hydrant flow test.
- Stamped and stained driveway treatments shall be installed at the driveways from 70th Street following Planning and Building Department review and approval of the stamp pattern, color, and specific location.

Below are photos of the project site.



*Northeast side of 16635
Paramount Blvd*



*16675 Paramount Blvd
looking west*



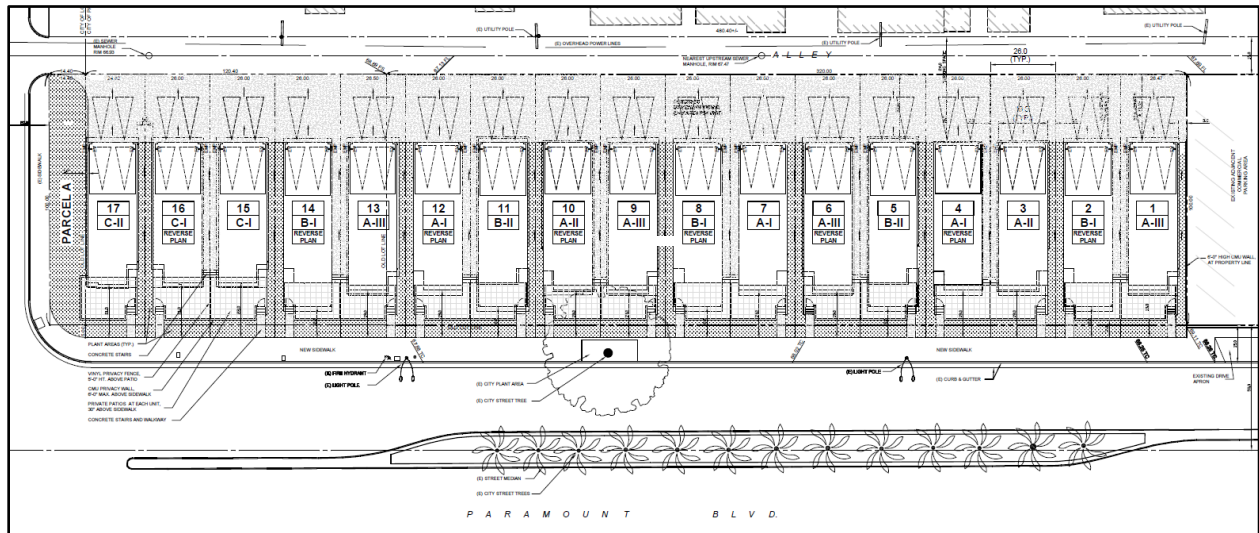
*16683 Paramount Blvd.
looking north*

The following is an aerial photograph of the project area with the site highlighted in red:



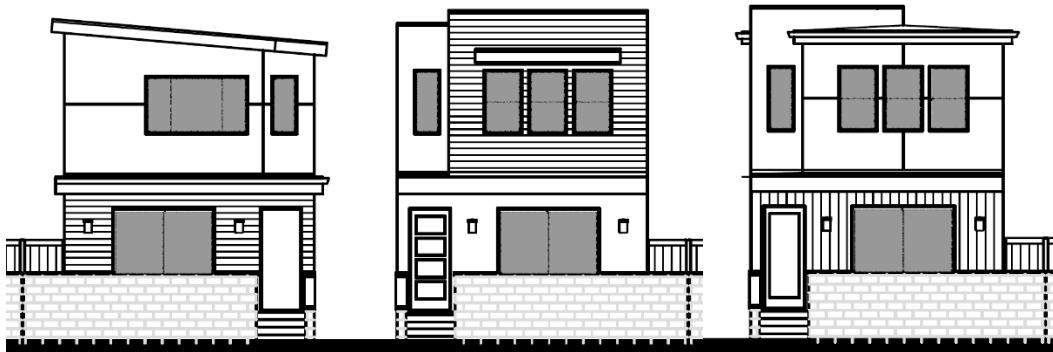
Project Design

Below is the project site plan with north pointing the right of the property.



Residential Unit A

Below is the front elevation of Plan Type-A (A-I, II, III).



Residential Unit B

Below is the front elevation of Plan Type-B (B-I, II).



Residential Unit C

Below is the front elevation of Plan Type-C (C-I, II).



FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The City Council implemented the Strategic Outcomes to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community and No. 4 Environmental Health.

RECOMMENDED ACTION

It is recommended that the Development Review Board approve Development Review Application No. 25:004, subject to following conditions:

General

1. Conditions. All planning conditions of approval for Development Review Application No. 25:004 shall be printed as general notes on the approved set of building plans.
2. Revocation. It is hereby declared to be the intent that if any provision of this application is held or declared to be invalid, the application shall be void and the privileges granted hereunder shall lapse.
3. Violations. It is further declared and made a condition of this application that if any condition hereof is violated or if any law, statute, or ordinance is violated, the approval shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
4. Material Deviation. Except as set forth in conditions, development shall take place substantially as shown on the approved site plans and elevations. Any material deviation must be approved by the Planning and Building Department before construction.
5. Affidavit. This Development Review Application shall not be effective for any purposes until the applicant has first filed at the office of the Development Review Board a sworn affidavit both acknowledging and accepting all conditions of approval of this Development Review Application. The affidavit shall be submitted by Friday, August 22, 2025. Failure to provide the City of Paramount with the requisite affidavit within the time stated hereinabove shall render the Development Review Application void.
6. One-year Approval. Approval of this Development Review Application No. 25:004 shall be valid for one (1) year from the date of final approval and shall become null and void unless construction has commenced within this time period or an extension of time is granted administratively pursuant to a written request by the applicant no less than thirty days prior to the expiration date of August 6, 2026. The Director at his or her discretion may grant a one-year extension. Time extension may be granted at the discretion of the Development Review Board.
7. Discretionary Permits. All conditions and performance standards of General Plan Amendment 25-2, Zone Change No. 252 and Tentative Tract Map No. 084854 are applicable in perpetuity.

Site Standards

8. Lighting. A precise lighting plan shall be submitted showing the location and types of all exterior lighting. The plan shall be subject to the approval of the Planning and Building Department. Approval criteria will emphasize both the functional as well as the decorative nature of the proposed lighting. The parking lot and other common areas shall be illuminated to a demonstrated degree equal to or

- exceeding one point five candles per foot. The plan and fixture design shall be approved separately from the design approval and from the working drawings.
9. Ornamental. Decorative front porch lights shall be installed at each unit following separate Planning and Building Department review and approval of the light fixture types and specific locations.
 10. Material Board. Colors and materials for all exterior colors and materials shall be submitted separately to the Planning and Building Department for approval. All approvals shall be obtained prior to installation or application of the material.
 11. Modification. No exterior structural alteration or exterior building color or material change, other than those colors or building treatments originally approved by this application, shall be permitted without the prior approval of the Planning and Building Department.
 12. Fencing. A decorative block wall shall be constructed along the perimeter of the property following separate Planning and Building Department review and approval of the wall height, primary and accent materials, and precise wall location. Wall heights shall not obstruct driveway entry or exit views. A decorative bullnose cap with one-inch overhang shall be applied to the walls.
 13. Entrance. All entry doors shall include metal door jambs, be of solid core construction, and include a peephole or vision glass, at minimum. The front doors shall be of architectural quality with design subject to the approval of the Planning and Building Department.
 14. Garage. All garage doors shall be decorative, rollup sectional doors with automatic garage door openers following separate review and approval by the Planning and Building Department.
 15. Architectural Design. Each building design shall include decorative stucco work, decorative windows, asphalt composition shingle with a lifetime manufacturer warranty, decorative plant-ons, and roof overhang.
 16. Drainage. All surface drainage shall be underground and shall not incorporate gutters or swales.
 17. Security Bars. The installation of exterior security bars is prohibited on the exterior of any building. The applicant shall pay the water capital improvement charge.
 18. Tarps. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in front setbacks, side setbacks, rear yard areas, over driveways, and in parking and circulation areas.

19. Parking. All parking areas shall comply with applicable development requirements as specified in Section 17.44, Article 3 (Loading Areas and Off-Street Parking) of the Paramount Municipal Code.
20. Waste Matter. All trash, debris, and junk throughout the site shall be removed.
21. Trash. Each home shall contain an area for the storage of garbage or recyclable barrels. Said space shall not be visible from the public right-of-way.
22. Demand Type. All water heaters shall be tankless.
23. Appliances. Each unit shall be equipped with a washer and dryer.
24. Driveway. Stamped and stained driveway treatments or decorative pavers shall be installed at the driveways from 70th Street following Planning and Building Department review and approval of the stamp or paver pattern, color, and specific location.
25. Prohibited Fencing. All chain link fencing shall be removed from the site.
26. Streetview Fencing. Walls/fencing in the front setback areas shall not exceed 42 inches in height.
27. Vandalism. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti.
28. Parking. All parking areas shall comply with applicable development requirements as specified in Article 3, (Loading Areas and Off-Street Parking) of Chapter 17.44 of the Paramount Municipal Code.

Permitting

29. Grading. The developer shall provide the Director of Public Works/City Engineer with a grading plan depicting the method of drainage and shall be subject to the approval of the Director of Public Works/City Engineer.
30. Utilities. Prior to the release of utilities or service connections, final building, electrical, and plumbing, and/or mechanical approval, the owner or general contractor shall submit a list of all contractors and/or subcontractors performing work on this project to the Planning and Building Department. All contractors shall obtain a business license to work and/or conduct business in the City of Paramount.
31. Fire. The plans are subject to Los Angeles County Fire Department approval, including all required conditions of approval of the Land Development Unit of the Fire Prevention Division. The applicant shall pay all associated fire hydrant flow tests fees to the Water Division of the Paramount Public Works Department when the Los Angeles County Fire Department requires a fire hydrant flow test.

32. Screening. The Planning and Building Department shall approve a utility plan before permit issuance. All mechanical equipment and appurtenances of any type, whether located on rooftop, ground level, or anywhere on the building structure or site shall be completely enclosed or screened so as not to be visible from any public street and/or adjacent property. Such enclosure of facilities or screening shall be of compatible design related to the building structure for which such facilities are intended to serve.
33. Utility Concealment. The applicant shall underground all onsite utilities so that no overhead electrical, telephone, or cable television lines shall drop from the pole to the structure.
34. Water Infrastructure. The applicant shall pay the water capital improvement charge.
35. Pubic Right-of-Way. New curbs, gutters, and sidewalks shall be reviewed and approved separately by the Director of Public Works/City Engineer.
36. Encroachment. All damaged curb, gutter, or sidewalk sections in front of the subject site shall be removed and replaced to the satisfaction of the Director of Public Works/City Engineer. Prior to commencing such repair work, the approval of the Director of Public Works/City Engineer must be obtained to include obtaining proper permits or written approval. All unused driveway aprons shall be closed and replaced with curb, gutter and sidewalk, per specifications from the Public Works Department.
37. Fees. All applicable development fees are due prior to the issuance of building permits.
38. NPDES. The applicant shall comply with all National Pollution Discharge Elimination System (NPDES) regulations.
39. Backflow. The location of all backflow devices shall be approved by the Planning and Building Department prior to installation. Backflow devices shall be painted and screened with landscaping as approved by the Planning and Building Department.
40. Electrical Panels. The location of all electrical panels and meters shall be approved by the Planning and Building Department prior to installation. Electrical panels shall not detract from the primary view of the subject building. Electrical panels and meters shall be screened with landscaping as approved by the Planning and Building Department.

Construction

41. Business License. All contractors shall obtain a business license to work and/or do business in the City of Paramount.

42. Hours of Construction. Construction shall take place 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 5:00 p.m. on Saturday. Construction is prohibited on Sundays and national holidays.

Landscaping

43. Landscaping and Irrigation. Existing planters shall be refurbished as needed. A two-inch layer of brown mulch shall be applied in the planters. Red mulch is not an acceptable material. A precise landscaping and irrigation plan shall be submitted showing the size, type, and location of all plant material (including trees, shrubs, groundcover and mulch) and irrigation. The plan shall comply with the Model Water Efficient Landscape Ordinance (MWELO) of the State of California and Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code. The plan shall be subject to the approval consideration of the Planning and Building Department and shall be approved separately from the design approval and from the working drawings. Landscaping shall be planted and irrigation shall be installed and maintained in perpetuity in accordance with the approved plan and State and City regulations. No mature trees shall be removed without the authorization of the Planning and Building Department.
44. Trees. The applicant shall plant and maintain a minimum of 17 additional 24-inch-box shade/canopy tree on the subject property following Planning and Building Department review and approval of the specific type and location.

General Housekeeping

45. Infrastructure. The applicant shall ensure that the public streets and other public infrastructure remain clean from dirt and other debris during construction. The applicant shall comply with South Coast Air Quality Management District Rule 403 regarding reduction of fugitive dust with best available fugitive dust control measures.
46. Organic Waste. The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
47. Labor Regulations. The applicant shall comply with all relevant labor laws and regulations of the Division of Labor Standards Enforcement of the California Department of Industrial Relations and the Division of Occupational Safety and Health (Cal/OSHA).
48. Agencies. The applicant shall comply with all relevant federal, state, and local laws and regulations of all relevant government agencies, including but not limited to (1)

the Los Angeles County Fire Department, (2) the Industrial Waste Unit of the Los Angeles County Department of Public Works (3) the South Coast Air Quality Management District, and (4) the California Department of Resources Recycling and Recovery (CalRecycle).

49. Urban Stormwater Management. The applicant shall comply with Chapter 8.20 (Urban Stormwater Management) of the Paramount Municipal Code. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, the parking lot, and the surrounding property perimeter. The parking lot shall be completely swept and maintained free of debris and litter weekly. Areas adjacent to a parking lot, including, but not limited to, planters, loading and unloading areas, and surrounding public rights-of-way shall be maintained free of debris and litter by sweeping and other equally effective measures. Such debris and litter shall be collected and properly disposed of in compliance with all applicable local, State, and Federal regulations.
50. Digital Plans. An electronic copy (PDF format) of the plans shall be submitted to the Planning and Building Department prior to permit issuance.

Final Approval

51. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.

[illegible][illegible]

16635, 16675, & 16638 Paramount Boulevard

AUGUST 6, 2025

PUBLIC HEARING

DEVELOPMENT REVIEW APPLICATION NO. 25:006

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:

APPROVE A REQUEST BY JESUS A. LARA AND JESUS MARTINEZ/RMCA ARCHITECTS FOR STATER BROS. MARKETS TO APPROVE THE PROPOSED EXTERIOR REMODEL OF AN EXISTING 49,065 SQUARE FOOT GROCERY STORE BUILDING AND A 400 SQUARE FOOT REDUCTION OF THE BUILDING FLOOR AREA AT 8640 ALONDRA BOULEVARD IN THE PD-PS (PLANNED DEVELOPMENT WITH PERFORMANCE STANDARDS) ZONE.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

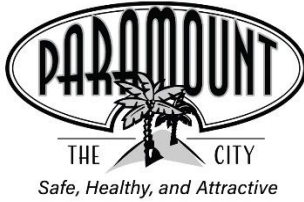
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER: Development Review Application No. 25:006

REQUEST: Exterior remodel of an existing 49,065 square foot grocery store building and a 400 square foot reduction of the building floor area

APPLICANT: Jesus A. Lara and Jesus Martinez/RMCA Architects for Stater Bros. Markets

MEETING DATE: August 6, 2025

LOCATION: 8640 Alondra Boulevard

ZONE: PD-PS (Planned Development with Performance Standards)

GENERAL PLAN: Central Business District

PLANNER: Leslie A. Corrales

RECOMMENDATION: Approval



To: Honorable Development Review Board

From: John King, AICP, Planning and Building Director

By: Leslie A. Corrales, Assistant Planner

Date: August 6, 2025

**Subject: DEVELOPMENT REVIEW APPLICATION NO. 25:006
STATER BROS. MARKETS**

BACKGROUND

This application is a request by Jesus A. Lara and Jesus Martinez/RMCA Architects for Stater Bros. Markets to approve the proposed exterior remodel of an existing 49,065 square foot grocery store building and a 400 square foot reduction of the building floor area at 8460 Alondra Boulevard in the PD-PS (Planned Development with Performance Standards). The property part of the Paramount Park Plaza shopping center and is on the south side of Alondra Boulevard.

DISCUSSION

Stater Bros. Market has been a longstanding community-serving grocery store within Paramount since 1988, contributing to local commerce and neighborhood vitality. The store is now proposing a renovation of its existing facility to modernize its appearance and better serve the area's evolving needs. The property includes a total lot area of 182,280 square feet, with the building covering 49,085 square feet, within the six-acre Paramount Park Plaza.

The exterior upgrades have been reviewed and are found to meet commercial design standards. The proposed improvements align with the character of the business and will enhance the overall site design while remaining compliant with applicable requirements. The proposed improvements are expected to positively impact the pedestrian experience and contribute to the commercial corridor's ongoing revitalization.

Photos

Below are the site photos from July 24, 2025. The photo depicts the front of the building structure.



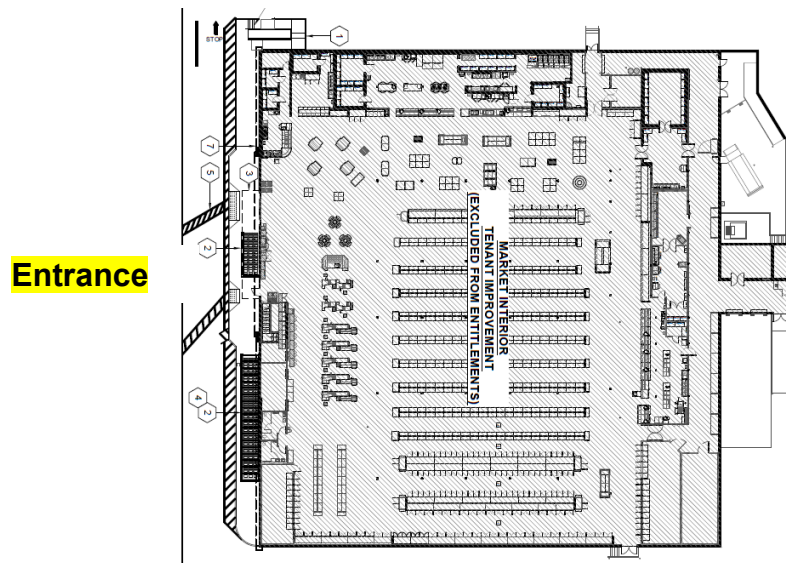
Front view of grocery store.

Plans

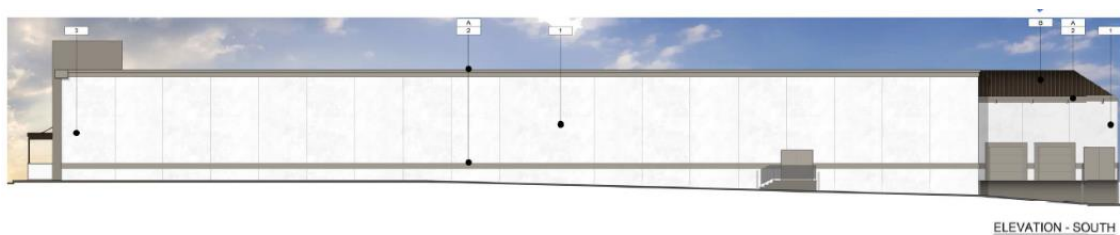
Below is the proposed site plan, with the reduction shaded in blue.



Below is the proposed floor plan of the grocery store.



Below are the elevations and colored renderings of the grocery store.





Design

The applicant proposes a contemporary architectural design with stone veneer and standing seam metal roofing material. The building will be decorated with “modern traditional-style” features and off-white colored stucco with a decorative metal cladding roofing exterior layer for added character.

The applicant is proposing a number of architectural elements for the project to meet City design standards:

- Decorative accents of stone veneer and metal cladding
- Durable, weather-resistant standing seam cladding roofing for a modern appearance
- Metal trellis above entrance

Additional property improvements required as conditions of approval include:

- All rooftop vents shall be painted to match the predominant color of the roofing.
- Decorative lighting shall be installed as shown on the precise lighting plan.
- Parking lot striping and traffic signs in the parking lot shall be refurbished or replaced as needed.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City’s Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The City Council implemented the Strategic Outcomes to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcomes No. 1: Safe Community, and No. 3 Economic Health

RECOMMENDED ACTION

It is recommended that the Development Review Board approve Development Review Application No. 25:006, subject to the following conditions:

General

1. Conditions. All planning conditions of approval for Development Review Application No. 25:006 shall be printed as general notes on all sets of building plans.
2. Invalid Provision. It is hereby declared to be the intent that if any provision of this application is held or declared to be invalid, the application shall be void and the privileges granted hereunder shall lapse.
3. Violations. It is further declared and made a condition of this application that if any condition hereof is violated or if any law, statute, or ordinance is violated, the approval shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
4. Material Deviation. Except as set forth in conditions, development shall take place substantially as shown on the approved site plans and elevations. Any material deviation must be approved by the Planning Division before construction.
5. Affidavit. This Development Review Application shall not be effective for any purposes until the applicant has first filed at the office of the Development Review Board a sworn affidavit both acknowledging and accepting all conditions of approval of this Development Review Application. The affidavit shall be submitted by Friday, August 22, 2025. Failure to provide the City of Paramount with the requisite affidavit within the time stated hereinabove shall render the Development Review Application void.
6. One-Year Approval. Approval of this Development Review Application No. 25:005 shall be valid for one (1) year from the date of final approval and shall become null and void unless construction has commenced within this time period or an extension of time is granted administratively pursuant to a written request by the applicant no less than thirty days prior to the expiration date of August 6, 2026. The Director at his or her discretion may grant a one-year extension. The Planning Commission may grant up to a one-year extension at the conclusion of the initial one-year extension. Prior to the granting of the extension request by the Planning Commission, notice shall be given in the same manner as required for the original application. Commencement of development shall mean that appropriate permits have been obtained, and the development has successfully completed the first Building and Safety Division inspection.

7. Colors and Materials. All exterior colors and materials shall be submitted to the Planning Director for approval. All approvals must be obtained prior to installation. Colors and materials shall be approved separately from the design approval and from the working drawings.
8. Alterations. No exterior structural alteration or building color change, other than those colors or building treatments originally approved by this application, shall be permitted without the prior approval of the Planning Department.
9. Lighting. A precise lighting plan shall be submitted showing the location and types of all exterior lighting. The plan shall be subject to the approval of the Planning Department. Approval criteria will emphasize both the functional as well as the decorative nature of the proposed lighting. The parking lot and other common areas shall be illuminated to a demonstrated degree equal to or exceeding one point five candles per foot. The plan and fixture design shall be approved separately from the design approval and from the working drawings.
10. Contractors. Prior to the release of utilities or service connections, final building, electrical, plumbing, and/or mechanical approval, the owner or general contractor shall submit a list of all contractors and/or subcontractors performing work on this project or development to Building and Safety Division.
11. Business License. All contractors shall obtain a business license to work and/or do business in the City of Paramount.
12. Fees. All applicable development fees are due prior to the issuance of building permits.
13. Security Cameras. Security cameras shall be installed following City review and approval of a security camera plan. The approved cameras or more technologically advanced versions of the approved cameras shall be maintained in perpetuity. Security camera recordings shall be maintained for at least 30 days and provided for law enforcement review upon request.
14. Fire Department. The plans are subject to Los Angeles County Fire Department approval, including all required conditions of approval of the Land Development Unit of the Fire Prevention Division.
15. Utility Plan. A utility plan shall be approved by the Planning Division before a permit is issued. All mechanical equipment and appurtenances of any type, whether located on rooftop, ground level, or anywhere on the building structure or site shall be completely enclosed or screened so as not to be visible from any public street and/or adjacent property. Such enclosure of facilities or screening shall be of compatible design related to the building structure for which such facilities are intended to serve.

16. Graffiti. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint. Graffiti shall be promptly painted over with paint to match the predominant surface paint or stucco color. Live plants that have been vandalized with graffiti shall be trimmed to remove the graffiti. Graffiti in the form of window etching shall be promptly removed.
17. Trash. All trash, debris, and junk throughout the site shall be removed.

Construction

18. Underground Utilities. The applicant shall underground all new onsite utilities so that no overhead electrical, telephone, or cable television lines shall drop from the pole to the structure.
19. Repair Damage. Any damage to the adjacent public streets or private property from project construction shall be promptly cleaned/repaired by the applicant.
20. NPDES. The applicant shall comply with all National Pollution Discharge Elimination System (NPDES) regulations.
21. Backflow Devices. The location of all backflow devices shall be approved by the Planning Department prior to installation. Existing and proposed backflow devices shall be painted and screened with landscaping as approved by the Planning Department and maintained in good condition.
22. Electrical. The location of all electrical panels and meters shall be approved by the Planning and Building Department prior to installation. Electrical panels shall not detract from the primary view of the subject building. Electrical panels and meters shall be screened with landscaping as approved by the Planning and Building Department.
23. Construction Hours. Construction shall take place 7:00 a.m. to 7:00 p.m. Mondays through Fridays and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction is prohibited on Sundays and national holidays.
24. Shopping Carts. The existing onsite shopping cart containment system for the supermarket shall be maintained in working order in perpetuity or replaced with a technologically superior system to be maintained in working order in perpetuity.
25. Roof. The roof of the grocery store shall be finished with the roofing material as depicted on the approved plans.
26. Dirt and Dust. The applicant shall ensure that the public streets, other public infrastructure, and adjoining private properties remain clean from dirt and other debris during construction. The applicant shall comply with South Coast Air Quality Management District (SCAQMD) Rule 403 regarding reduction of fugitive dust with best available fugitive dust control measures.

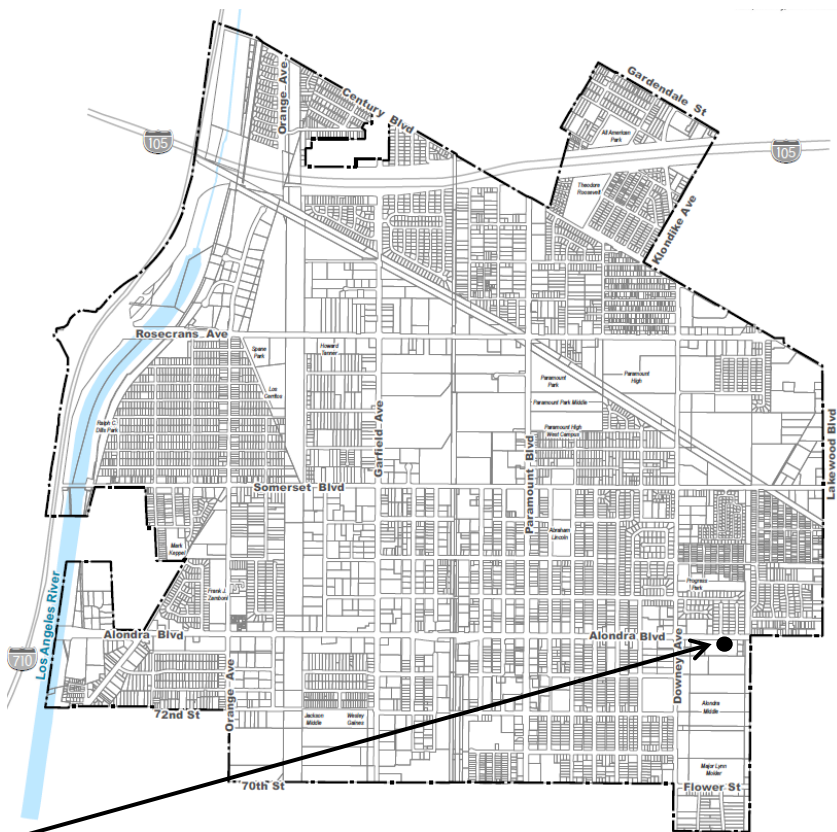
27. Organic Waste. The property shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
28. Chain Link Fencing. With the exception of temporary construction screening fencing that shall be removed at the end of construction, no chain link fence shall be installed.
29. Drainage. All building drainage shall be interior with no exterior downspouts, scuppers or gutters. Scuppers and the devices used to convey rainwater shall be located at the base of the building.
30. Barbed/Razor Wire. Barbed/razor wire is prohibited.

Design

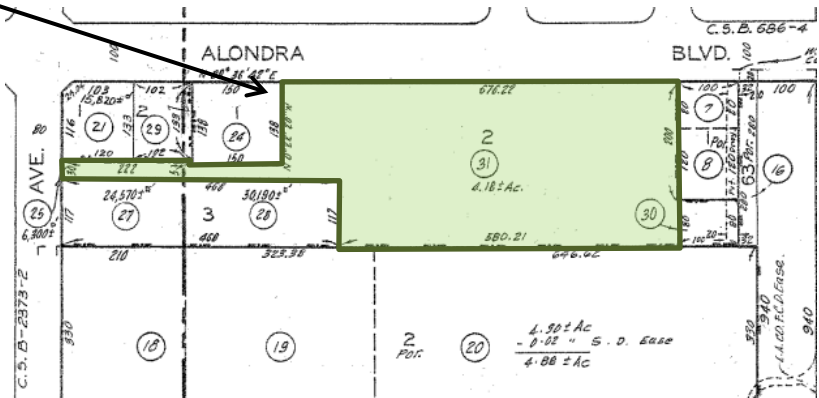
31. Parking. The parking lot asphalt shall be refurbished/repared as needed.
32. Restriping. The parking lot shall be restriped as deemed necessary, in compliance with all applicable regulations. The restriping plan shall be reviewed and approved by the Building and Safety Division.
33. Parking Lot Refurbishment. All traffic signs, light posts, and bollards located in the parking lot shall be repainted, refurbished, and maintained in good condition.
34. ADA. All parking areas shall comply with applicable development requirements as specified in Section 44-130 of the Paramount Municipal Code. The parking lot shall be striped to a clear condition and maintained in compliance with Americans with Disabilities Act (ADA) requirements. The parking spaces and drive aisles shall meet all Municipal Code and Americans with Disabilities Act (ADA) requirements.
35. Railing Design. The proposed railing to the north side of the building shall have a metal cut-out decorative design that incorporates elements such as the city heritage, historical landmarks, or cultural motifs. The design shall be reviewed and approved by the Planning Division prior to installation.
36. Landscaping. Landscaping along the perimeter and parking lot shall be refurbished and maintained in good condition. Mature trees shall not be removed without prior written authorization from the Planning Department. Vines shall be planted along the north building side upon a decorative metal grid trellis following separate Planning Division review and approval of a landscape and irrigation plan from a licensed landscape architect.
37. Decorative Treatment. The building shall have a stucco finish with stone veneer and metal cladding as decorative treatment as depicted on the elevations.

38. Awning. The metal awning at the entrance shall be angled to align with the entrance's design. The awning shall be modified to a curved design, reviewed, and approved by the Planning Division prior to submitting construction drawings to the Building and Safety Division.
39. Signs. All permanent and temporary signs shall require separate review and approval by the Planning and Building Department prior to installation of the signs. Tenants and subtenants shall not install temporary signs without the appropriate permit from the Planning and Building Department, and unpermitted signs shall be promptly removed.
40. Tower Sign. The tower sign shall along Alondra Boulevard shall be redesigned and improved to match the architectural theme and materials of the store remodel.
41. Vending Machine. The exterior vending machine shall be relocated inside the building or removed from the premises. As an alternative, the applicant may propose a vending machine enclosure outside the building that matches the architectural design of the store remodel.
42. At least one bicycle rack shall be provided and maintained in good condition in perpetuity. The rack shall be an inverted "U" rack or another rack type that allows for a bicycle frame and one wheel to be attached. The type, color and precise location of the rack shall be reviewed and approved by the Planning Department prior to purchase or installation of the rack. The precise location shall be within the clear range of a security camera.
43. Digital Plans. An electronic copy (PDF format) of the plans shall be submitted to the Planning and Building Department prior to permit issuance.
44. Final Approval. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.

Development Review Application No. 25:006



Subject
Property



8640 Alondra Boulevard

AUGUST 6, 2025

DEVELOPMENT REVIEW BOARD

COMMENTS FROM BOARD MEMBERS AND STAFF