



CLEARWATER SPECIFIC PLAN UPDATE



CITY OF PARAMOUNT

ITEM NO. 1

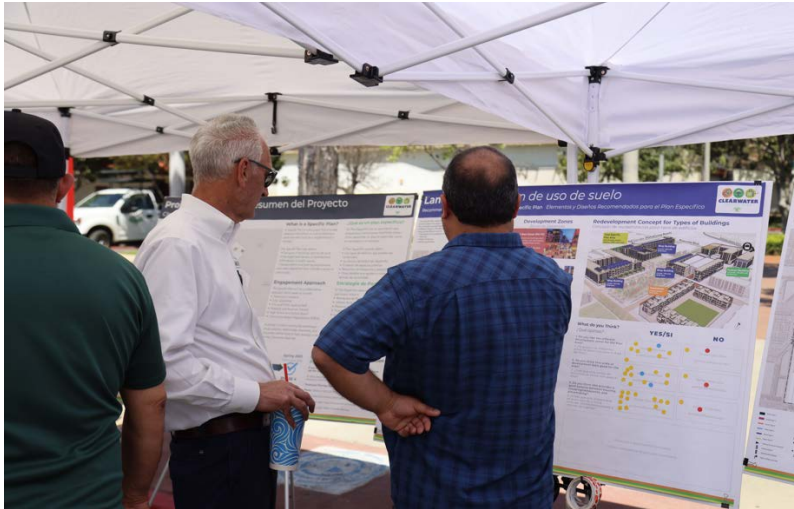
AGENDA

- **Engagement Summary**
- **Modern Development Co. (MDC) Requests Fulfilled**
- **Existing Plan Area**
- **Transfer of Development Rights (TDR)**
- **Development Zones – Current Plan**
- **Development Zones – MDC Request**
- **Comparison of Development Zones**
- **CEQA Timeline/Next Steps**

Engagement Summary

Community Outreach

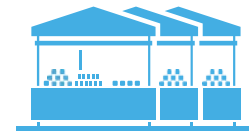
- Friday Night Paramount Pop-Up
- Stakeholder Interviews
- February 2024 Public Meeting (Clearwater Building)
- City Staff Interdepartmental Session
- Eco-Friendly Fair Pop-Up – 4/20/24, 4/5/25



Recurring Themes



Want more housing and want housing to be more affordable



Want to keep the Swap Meet and Drive-in, but also like to see them improved



Provide entertainment options that Paramount does not currently have



Improve walking environment for families

Engagement Summary

City Council/Commissions

- December 2023 – City Council one-on-one discussions
- June 5, 2024 – Planning Commission study session
- June 18, 2024 – Public Safety Commission study session
- June 25, 2024 – City Council meeting update
- January 28, 2025 – City Council meeting update (MDC request)
- February 5, 2025 – Economic Development Board presentation
- March 25, 2025 – Joint City Council/Planning Commission meeting (MDC request)
- April 1, 2025 – Special City Council meeting (MDC request)
- April 10, 2025 – Special City Council meeting

One-on-one Interactions with MDC & Representatives

- Sept. 2023 – Glenn Bianchi at Bianchi Theatres
- July 8, 2024 – In person meeting at City Hall with Beau Bianchi and his representatives
- March 19, 2025 – In person meeting at City Hall with Beau Bianchi and his representatives
- November 7, 2023 – MDC ownership meeting with City consultant in person at Bianchi Theatres
- March 13, 2024 – MDC ownership Teams (virtual) meeting with City consultant
- MDC architect meetings with City consultant
- Numerous staff emails and phone calls

MDC Requests Fulfilled

- From Day 1 after Sept. 2023 meeting with Glenn Bianchi – maintained **swap meet** as an allowable use into the future
- Changed Office/Industrial zone on south part of plan area to a **Neo Industrial** zone
- Changed multifamily residential zone at center of plan area to a **Flex District** that allows for residential & artisanal manufacturing
- Coordinated and conducted multiple City Council meetings dedicated to MDC's concerns
- City Council gave direction for Plan to partially meet MDC requests for setback, open space, and minimum housing unit size requirements

Existing Conditions

Mixed-Use Town Center (MU-TC)



Bianchi Theatre



Swap Meet & Drive-In



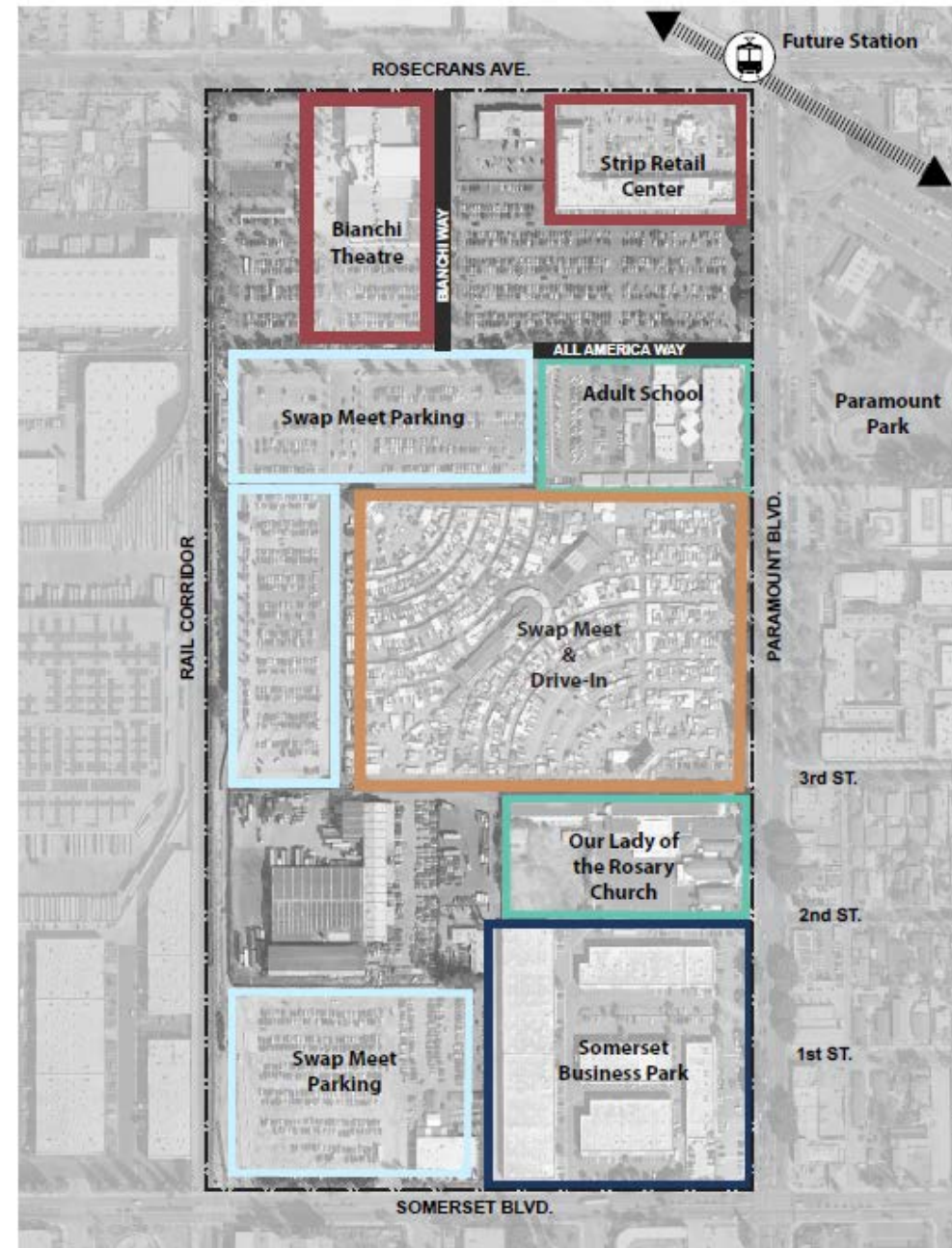
Swap Meet Parking



Our Lady of the Rosary Church and Adult School

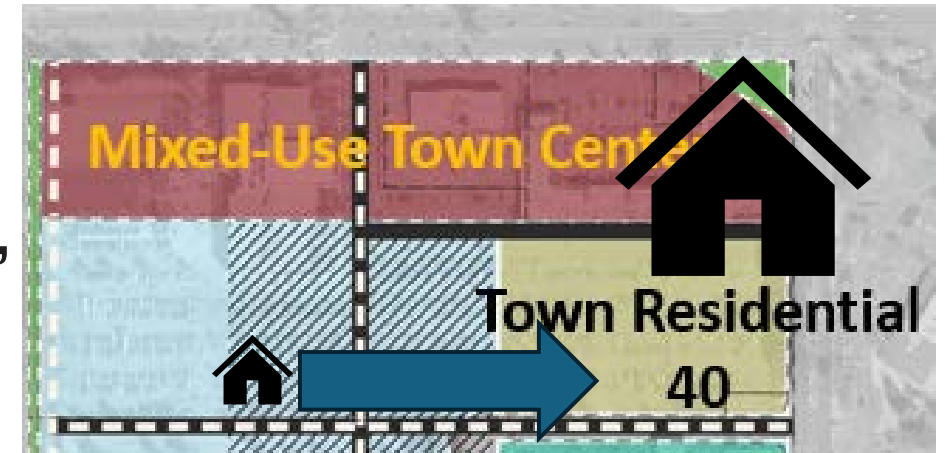


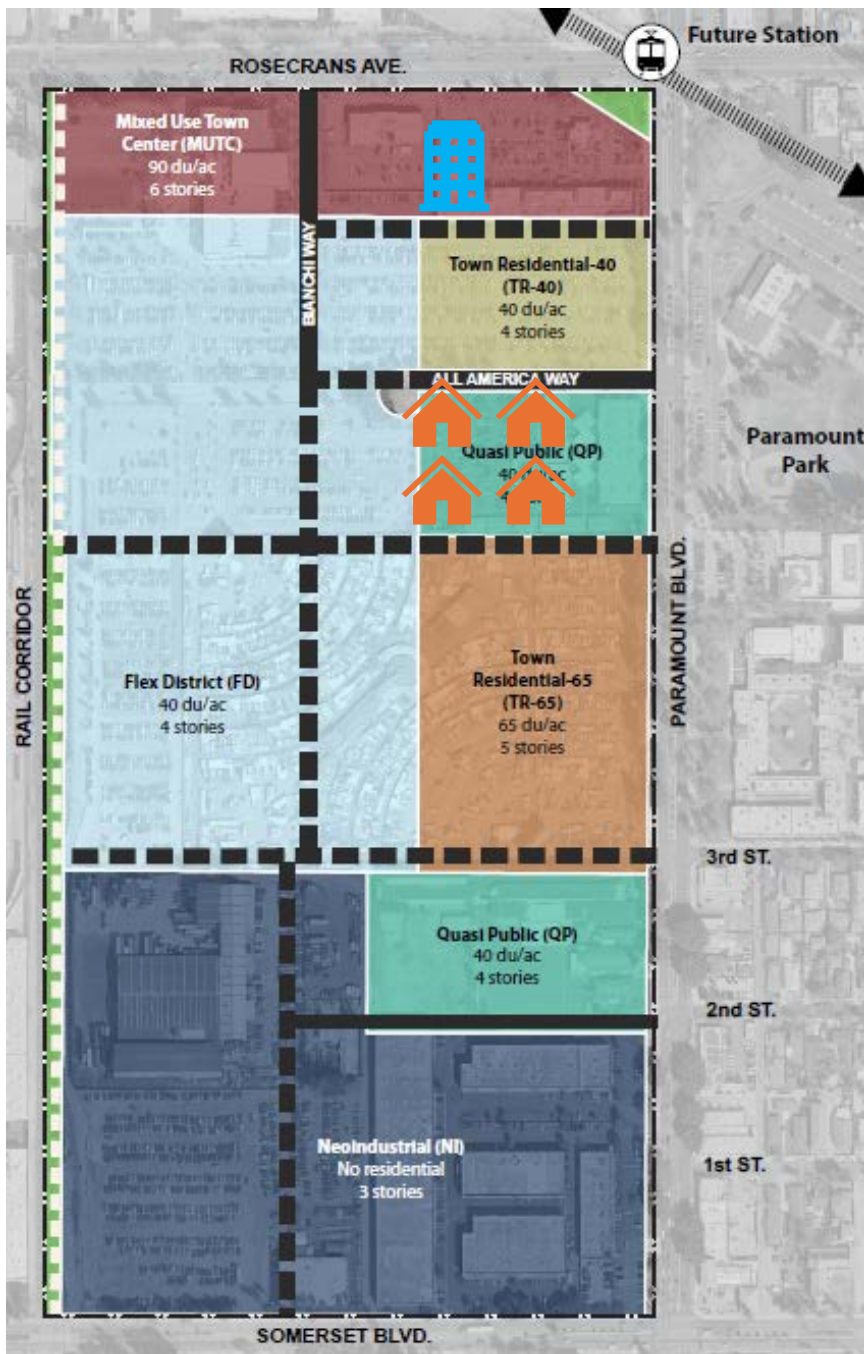
Somerset Business Park



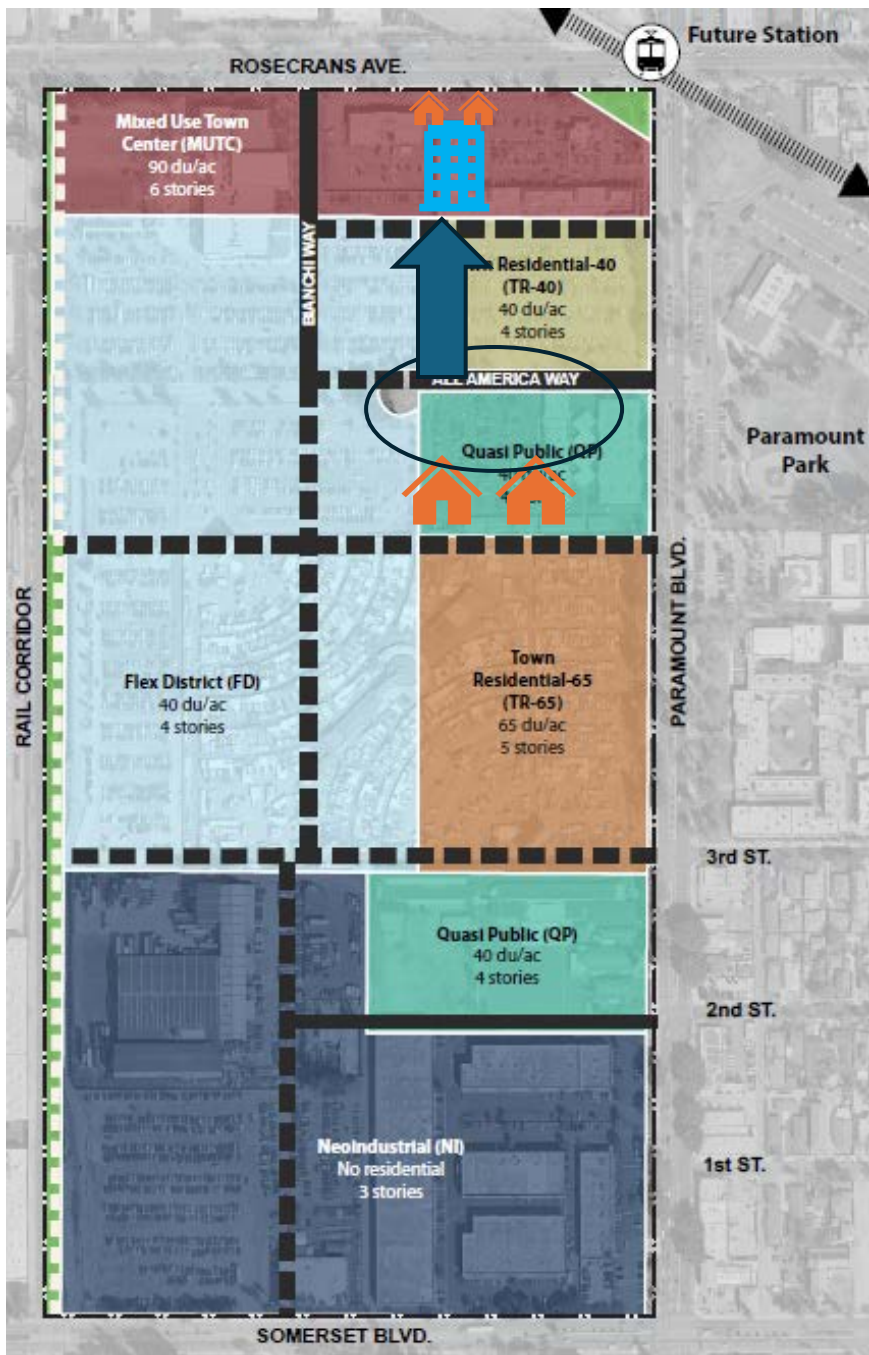
Modern Development Request: Transfer of Development Rights (TDR)

- Would allow a property owner to **shift housing** development possibilities from some properties/sites to other areas within the Specific Plan
- Proposed projects utilizing TDR would still be required to follow all development standards within the Specific Plan (examples: open space, setbacks, parking, etc.)
- Proposed project utilizing TDR would require City approval









Modern Development Request: Transfer of Development Rights (TDR)

Recommendation – do not approve

- Uncertainty
- Too much flexibility
- Plan can be amended in the future based on more details/specifics

Modern Development Request: Transfer of Development Rights (TDR)

Questions for City Council

- Are you ok with this idea to move housing from one plan area to another?
- Do you want limits?
 - Only [10?] units per acre moving from one property to another?
 - Only [1 floor?] moving from one property to another?
- How to process? All go to City Council after Planning Commission recommendation?

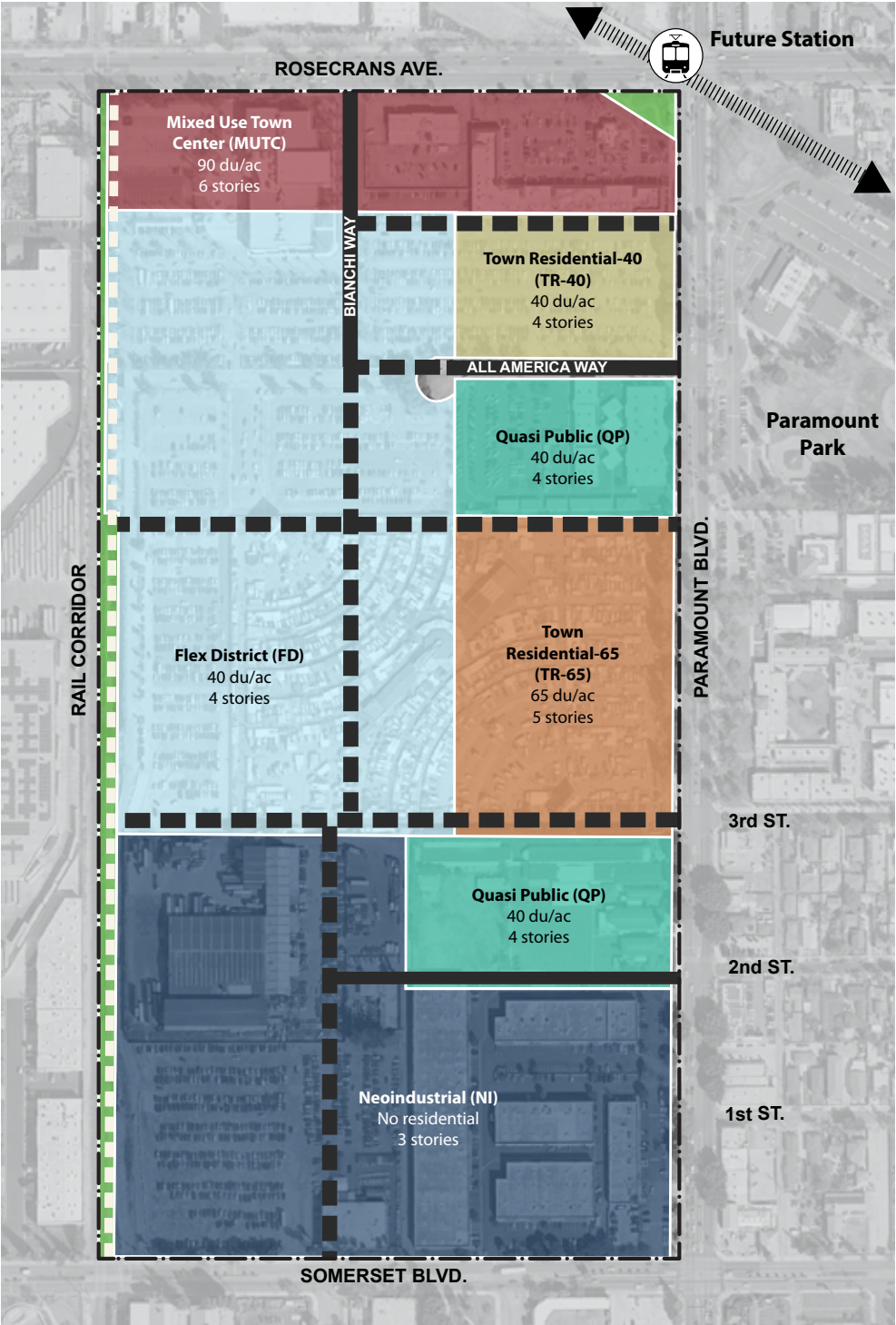
DENSITY



CITY OF PARAMOUNT

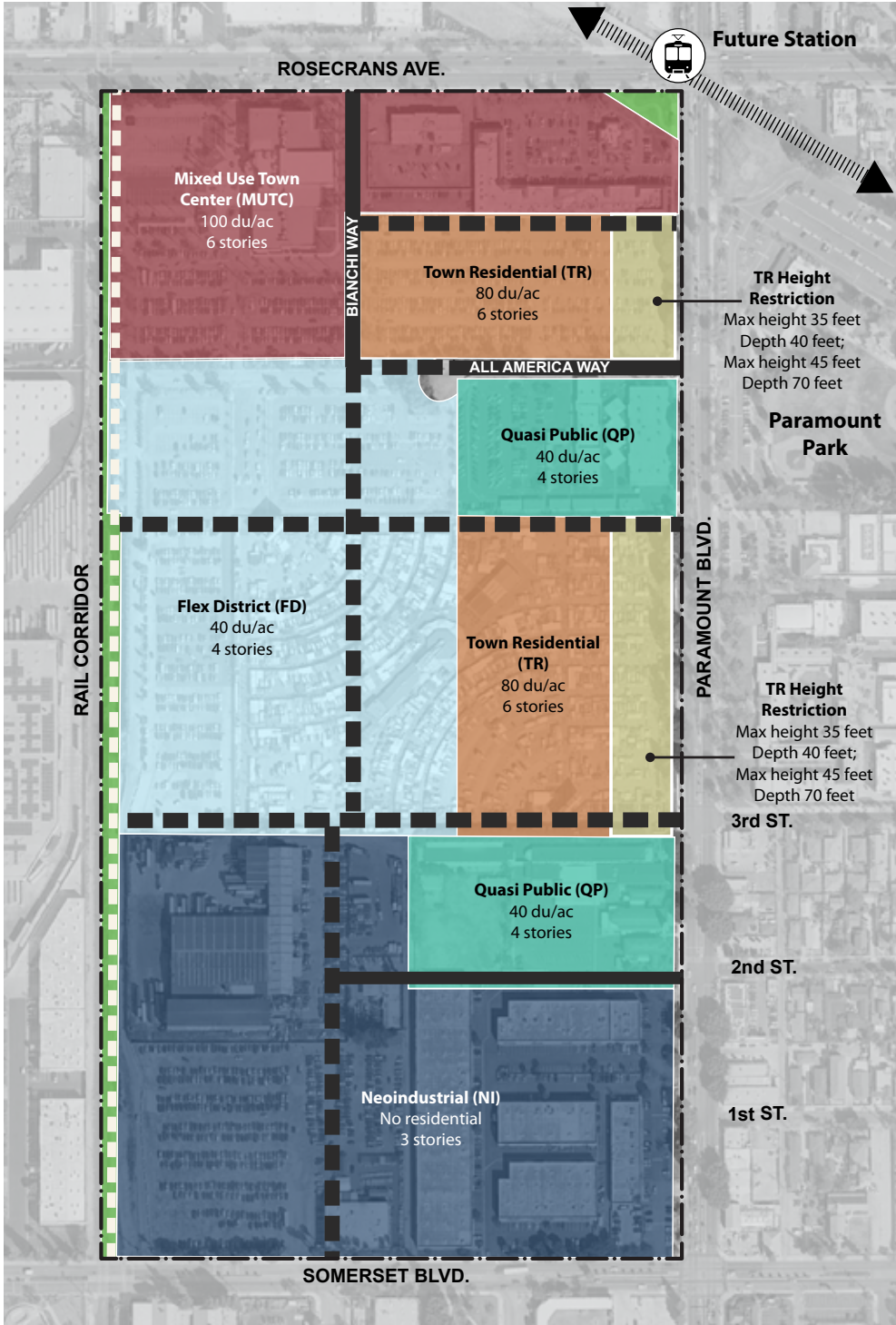
Development Zones - Comparison

Current Plan



Category	Current Plan	MDC Request
Mixed-Use Town Center		
Density	90 du/ac	100 du/ac
Height	6 stories	No Change
Zone Area Size	-	Expanded to All America Way west of Bianchi Way
Town Residential-40		
Density	40 du/ac	80 du/ac
Height	4 stories	6 stories (3 stories limit along Paramount)
Zone Area Size	Between Adult School and Strip Retail Center	Height restriction area along Paramount Boulevard
Town Residential-65		
Density	65 du/ac	80 du/ac
Height	5 stories	6 stories (3 stories limit along Paramount)
Zone Area Size	Between Adult School and Church	No change
Flex District		
Density	40 du/ac	No Change
Height	4 stories	No Change
Zone Area Size	-	Decrease to south of All America City Way

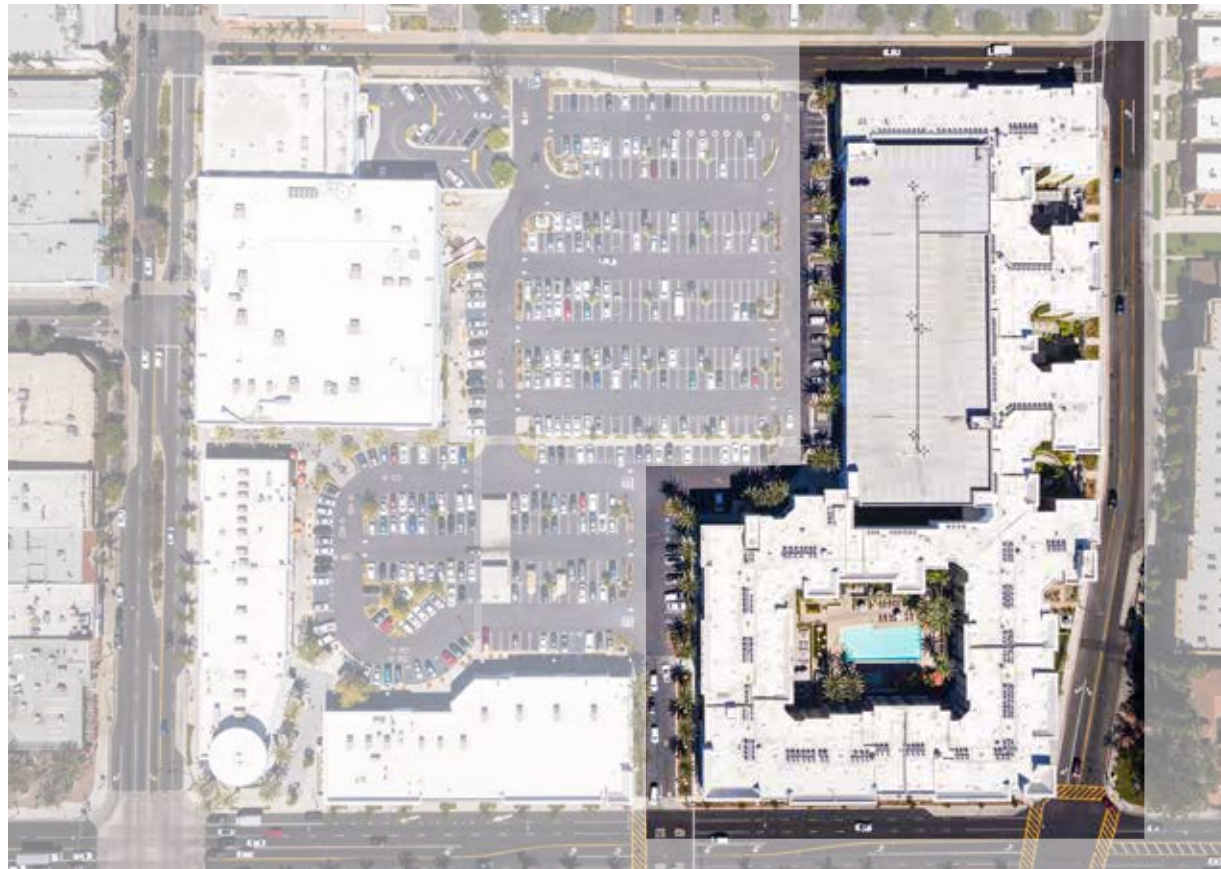
MDC Request



Case Study Analysis: Alhambra Place

Development Statistics

- 4.25 acres
- 260 units
- **61 dwelling units per acre**
- Resident open spaces
- Parking Structure
- 120,000 SF retail (separate buildings)
- Average Unit:
 - 2 bedroom
 - 900 SF net
 - 1,060 SF (gross)
 - 85% efficiency



Case Study Analysis: Americana at Brand

Development Statistics

- 3.36 acres
 - 242 apartments / 100 condos (342 total)
 - Resident open spaces
 - **100 dwelling units per acre**
 - 3,200 stall Parking Structure
 - 475,000 sf ground floor retail
 - 2 acres of public open space / 1 acre resident
- common open space
 - Average Unit:
 - 2 bedroom
 - 1,250 SF net
 - Luxury-oriented units



Case Study: Local Examples

Bellflower Edgeway Apartments (next to future station)

5-story, 91-unit apartments, 1.59 acres

81 units/acre



Case Study: Local Examples

The Enclave Apartments

4-story, 306-unit apartments, 4.72 acres

60 units/acre



Case Study: Local Examples

Somerset Blvd

3-4 story, 192-unit apartments, 3.29 acres

60 units/acre



Case Study: Local Examples

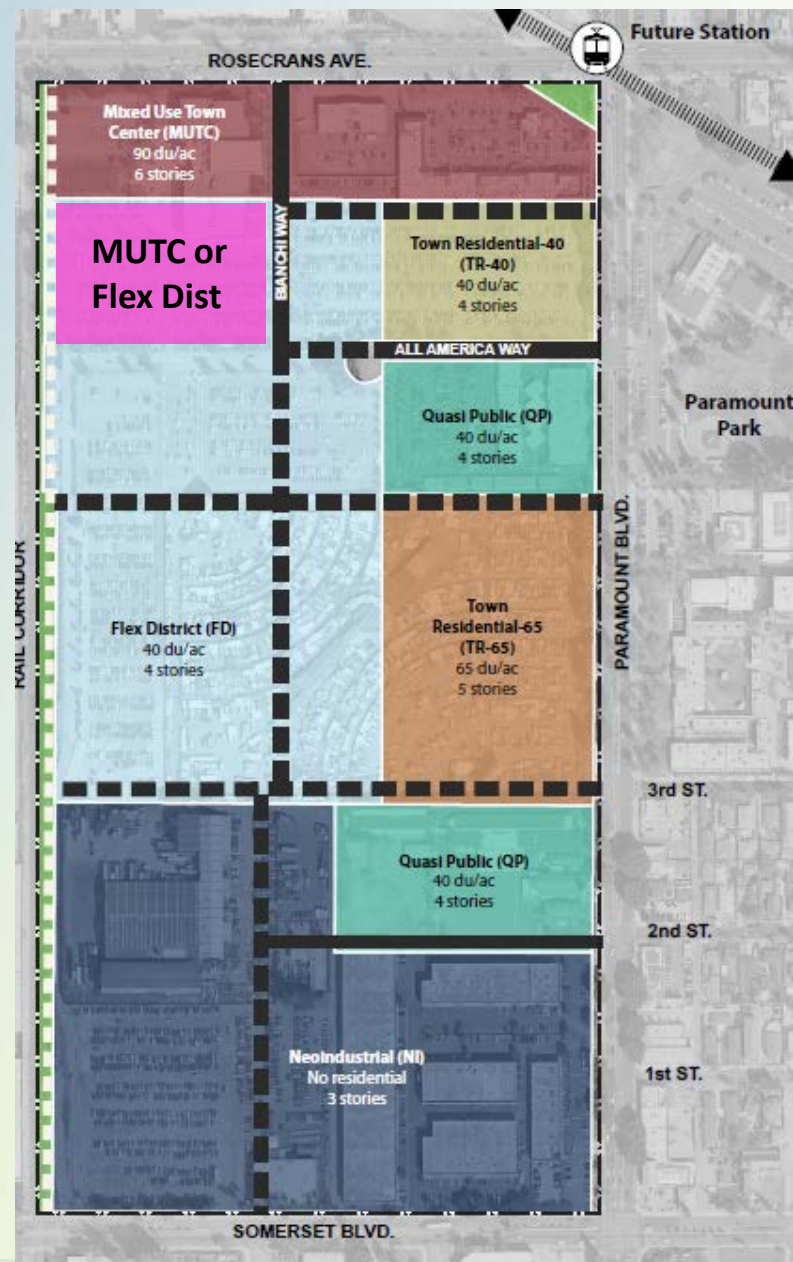
“Twin Tower” Apartments

3-story, 176-unit apartments, 2.28 acres

60 units/acre









CEQA Timeline - Updated

- CEQA Notice of Preparation and Scoping Meeting - **January 2025**
- Administrative Draft EIR for City Review - **June/July 2025**
- Draft EIR and 45-day Public Review Period - **August-September 2025**
- Response to Public Comments/Final EIR - **October/November 2025**
- Public Hearings on EIR and Specific Plan - **December 2025**

Next Steps - Updated

- City finalize Pulic Draft Review - **March-April 2025**
- Public Draft Specific Plan - **April 2025**
- Eco Friendly Fair - **April 2025**
- Public Draft Review Period - **April-May 2025**
- Public Hearing Draft Specific Plan - **June 2025**
- Planning Commission Meeting - **June/July 2025**
- Final Hearings and Plan Adoption - **December 2025/January 2026**



CLEARWATER

SPECIFIC PLAN



City Council Update

10 April 2025



With: EPS, JMD, Ganddini Group





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