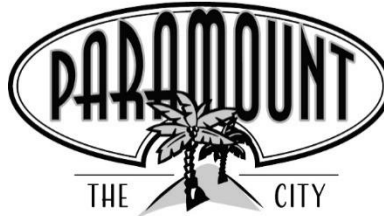


AGENDA

Paramount Planning Commission
September 3, 2025



Safe, Healthy, and Attractive

Regular Meeting
City Hall Council Chamber
6:00 p.m.

City of Paramount

16400 Colorado Avenue ♦ Paramount, CA 90723 ♦ (562) 220-2000 ♦ www.paramountcity.gov

PUBLIC PARTICIPATION NOTICE

In-person Attendance: The public may attend the Planning Commission meetings in-person.

Public Comments: Members of the public wanting to address the Planning Commission, either during public comments or for a specific agenda item, or both, may do so by the following methods:

- **In-person**

If you wish to make a statement, please complete a Speaker's Card prior to the commencement of the Public Comments period of the meeting. Speaker's Cards are located at the entrance. Give your completed card to a staff member and when your name is called, please go to the podium provided for the public.

- **E-mail:** planning@paramountcity.gov

E-mail public comments must be received **15 minutes prior to the start of the meeting**. The e-mail should specify the following information: 1) Full Name; 2) City of Residence; 3) Phone Number; 4) Public Comment or Agenda Item No.; 5) Subject; 6) Written Comments.

All public comments are limited to a maximum of three (3) minutes unless an extension is granted. No action may be taken on items not on the agenda except as provided by law. All public comments will be recorded and rules of decorum and procedures for the conduct of City meetings will apply when addressing the Planning Commission whether in-person or via email.

Notes

CALL TO ORDER:

Chair Linda Timmons

PLEDGE OF ALLEGIANCE:

Chair Linda Timmons

ROLL CALL OF MEMBERS:

Commissioner Ernie Esparza
Commissioner Javier Gonzalez
Commissioner David Moody
Vice Chair Gordon Weisenburger
Chair Linda Timmons

MINUTES

- | | | |
|----|------------------------|----------------|
| 1. | APPROVAL OF
MINUTES | August 6, 2025 |
|----|------------------------|----------------|

PUBLIC COMMENTS

PUBLIC HEARINGS

NEW BUSINESS

- | | | |
|----|--------------------------------------|--|
| 2. | CONDITIONAL
USE PERMIT NO.
981 | A request by Noel Rouda-Trout/Los Angeles Educational Corps (LAEC) to operate a charter school at 6838 Somerset Boulevard in the C-3 (General Commercial) zone. This project is a Class 1 (existing facilities) Categorical Exemption pursuant to Article 19, Section 15301 of California Environmental Quality Act (CEQA) Guidelines. |
| 3. | CONDITIONAL
USE PERMIT NO.
982 | A request by Alberto Perez-Arvizu/Bestone Construction, Inc. for Paramount Illinois, LLC to construct a 1,225 square foot metal building at 15538 Rosales Alley in the M-2 (Heavy Manufacturing) zone. This project is a Class 3 Categorical Exemption (new construction or conversion of small structures) pursuant to Article 19, Section 15303 of California Environmental Quality Act (CEQA) Guidelines. |
| 4. | ZONE
VARIANCE NO.
413 | A request by Matthew Oldenkamp/Mattco Forge, Inc. for a variance from the front yard setback to legalize the construction of fencing at 16443 Minnesota Avenue in the M-2 (Heavy Manufacturing) zone. This project is a Class 5 (minor alterations in land use limitations) Categorical Exemption pursuant to Article 19, Section 15305 of California Environmental Quality Act (CEQA) Guidelines. |

5. COMMERCIAL
DESIGN
GUIDELINES

A. ADOPT
RESOLUTION
NO. PC 25:024

Replacing the Central Business District Architectural Design Guidelines with Commercial Design Guidelines. This project is exempt from California Environmental Quality Act (CEQA) pursuant to Section 15061 (b)(3) which is the general rule that CEQA applies only to projects which have a potential for causing a significant effect on the environment and CEQA does not apply where it can be seen with certainty that there is no possibility that the activity may have a significant effect on the environment.

B. ADOPT
ZONING
ORDINANCE
TEXT
AMENDMENT
NO. 37

Approving the replacement of the architectural guidelines of the C-3 (General Commercial) zone with Commercial Design Guidelines and establishing Commercial Design Guidelines as a requirement of the C-M (Commercial Manufacturing) zone. This project is exempt from CEQA pursuant to Section 15061 (b)(3) which is the general rule that CEQA applies only to projects which have a potential for causing a significant effect on the environment and CEQA does not apply where it can be seen with certainty that there is no possibility that the activity may have a significant effect on the environment.

REPORTS

6. ORAL REPORT City Council Actions

COMMENTS

7. COMMENTS

- City Attorney
- Commissioners
- Staff

ADJOURNMENT

To a meeting on Wednesday, October 1, 2025, at 6:00 p.m.

Americans with Disabilities Act: In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's office at (562) 220-2225 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility to this meeting. **Note:** Agenda items are on file in the Planning Department office and are available for public inspection during normal business hours. Materials related to an item on this Agenda submitted after distribution of the agenda packet are also available for public inspection during normal business hours in the Planning Department office. The Planning Department office is located at City Hall, 16400 Colorado Avenue, Paramount.

SEPTEMBER 3, 2025

APPROVAL OF MINUTES

PLANNING COMMISSION

MOTION IN ORDER:

APPROVE THE PLANNING COMMISSION MINUTES OF AUGUST 6, 2025.

<u>MOTION:</u>		<u>ROLL CALL VOTE:</u>
MOVED	BY: _____	AYES: _____
		NOES: _____
SECONDED	BY: _____	ABSENT: _____
		ABSTAIN: _____
<input type="checkbox"/> APPROVED		
<input type="checkbox"/> DENIED		

PARAMOUNT PLANNING COMMISSION MINUTES AUGUST 6, 2025

City of Paramount, 16400 Colorado Avenue, Paramount, CA 90723

CALL TO ORDER:

The meeting of the Planning Commission was called to order by Chair Gordon Weisenburger at 6:02 p.m. at City Hall, Council Chamber, 16400 Colorado Avenue, Paramount, California.

ROLL CALL OF COMMISSIONERS:

Present: Commissioner Ernie Esparza
Commissioner David Moody
Vice Chair Linda Timmons
Chair Gordon Weisenburger

Present: Commissioner Javier Gonzalez

STAFF PRESENT:

Lindsay Thorson, Planning Commission Attorney
John King, Planning and Building Director
Monica Rodriguez, Assistant Planning and Building Director
Rick Baptista, Building and Safety Manager
Sol Bejarano, Management Analyst
Ivan Reyes, Associate Planner
Leslie Corrales, Assistant Planner
Caitlin Au, Planning Intern
Biana Salgado, Administrative Assistant

It was moved by Vice Chair Timmons, seconded by Commissioner Esparza, to excuse Commissioner Gonzalez from the Planning Commission meeting. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Timmons, Chair Weisenburger
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

MINUTES

1. APPROVAL OF MINUTES

Chair Weisenburger presented the Planning Commission minutes of July 2, 2025 for approval.

It was moved by Commissioner Esparza, seconded by Commissioner Moody, to approve the minutes as presented. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Timmons, Chair Weisenburger
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

2. REORGANIZATION
SELECTION OF
CHAIR AND VICE
CHAIR

Administrative Assistant/Minute Clerk Biana Salgado opened the nominations for the office of Planning Commission Chair. Commissioner Ernie Esparza nominated Commissioner Linda Timmons. There being no further nominations, nominations were closed.

The roll call vote for Commissioner Linda Timmons to serve as Planning Commission Chair:

AYES: Commissioners Esparza, Moody, Timmons and
Weisenburger
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

Commissioner Linda Timmons was declared Planning Commission Chair.

Chair Timmons opened the nominations for the office of Planning Commission Vice Chair. Commissioner Moody nominated Commissioner Gordon Weisenburger. There being no further nominations, nominations were closed.

The roll call vote for Commissioner Weisenburger to serve as Planning Commission Vice Chair:

AYES: Commissioners Esparza, Moody, and
Weisenburger, Chair Timmons
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

Commissioner Gordon Weisenburger was declared Planning Commission Vice Chair.

PUBLIC COMMENTS

Planning Director John King stated that there are comments related to Agenda Item No. 3 which would be discussed at that time.

NEW BUSINESS

PUBLIC HEARINGS

3. GOLD KEY
DEVELOPMENT, INC.
PARAMOUNT
BOULEVARD
PROJECT
16635, 16675, AND
16683 PARAMOUNT
BOULEVARD

Chair Timmons presented the item, the Paramount Boulevard Project, a request by Gold Key Development, Inc.

Planning and Building Director John King introduced Assistant Planning and Building Director Monica Rodriguez and Associate Planner Ivan Reyes who presented a joint overview of the request for approval of Resolution No. PC 25:021 (Addendum to a previously approved Mitigated Negative Declaration), General Plan Amendment No. 25-2, Zone Change No. 252, Tentative Tract Map No. 084854, and Development Review Application No. 25:004 (which the Development Review Board will consider later this evening)

Chair Timmons opened the public hearing. Planning and Building Director John King stated that a written correspondence by Manuel S. in opposition to this item was received. Planning and Building Director John King stated that a copy of the correspondence was provided to each Commissioner and will be made part of the record of the proceeding.

There being no other comments in favor or opposed to the request, it was moved by Vice Chair Weisenburger, seconded by Commissioner Esparza, to close the public hearing. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Weisenburger, Chair Timmons
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

- A. RESOLUTION
NO. PC 25:012

It was moved Commissioner Esparza, seconded by Commissioner Moody, to read by title only, waive further reading, and adopt Planning Commission Resolution No. 25:021, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Weisenburger, Chair Timmons
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

B. GENERAL PLAN
AMENDMENT
NO. 25-2

It was moved by Vice Chair Weisenburger, seconded by Commissioner Esparza, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:018, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Weisenburger, Chair Timmons
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

C. ZONE CHANGE
NO. 252

It was moved by Vice Chair Weisenburger, seconded by Commissioner Esparza, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:019, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Weisenburger, Chair Timmons
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

D. TENTATIVE TRACT
MAP NO. 084854

It was moved by Commissioner Esparza, seconded by Commissioner Moody, to read by title only, waive further reading, and adopt Planning Commission Resolution No. PC 25:020, approving the request. The motion was passed by the following roll call vote:

AYES: Commissioners Esparza and Moody,
Vice Chair Weisenburger, Chair Timmons
NOES: None
ABSENT: Commissioner Gonzalez
ABSTAIN: None

REPORTS

4. CITY COUNCIL
ACTIONS

Planning and Building Director John King stated that the City Council adopted an ordinance approving Zoning Ordinance Text Amendment No. 36, regulating garage, estate, and yard sales in residential zones and legal nonconforming residential properties.

Planning and Building Director John King congratulated Chair Timmons and Vice Chair Weisenburger on their new appointments.

5. COMMENTS FROM
CITY ATTORNEY,
COMMISSIONERS
AND STAFF

Planning Commission Attorney Lindsay Thorson congratulated Chair Timmons and Vice Chair Weisenburger on their new appointments.

Planning and Building Director John King introduced new Planning Intern Caitlin Au who is in her second year of her graduate school studies of Urban and Regional Planning at Cal Poly Pomona.

ADJOURNMENT

There being no further business to come before the Commission, the meeting was adjourned by Chair Timmons at 6:33 p.m. to the next Planning Commission meeting to be held on Wednesday, August 6, 2025 at City Hall Council Chamber, 16400 Colorado Avenue, Paramount, California at 6:00 p.m.

Linda Timmons, Chair

ATTEST:

Biana Salgado, Administrative Assistant

SEPTEMBER 3, 2025

PUBLIC HEARING

CONDITIONAL USE PERMIT NO. 981

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:
READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT
PLANNING COMMISSION RESOLUTION NO. PC 25:022, APPROVING
A REQUEST BY NOEL ROUDA-TROUT/LOS ANGELES
EDUCATIONAL CORPS (LAEC) TO ESTABLISH A CHARTER SCHOOL
AT 6838 SOMERSET BOULEVARD IN THE C-3 (GENERAL
COMMERCIAL) ZONE.

CONTINUED... PLEASE TURN PAGE

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

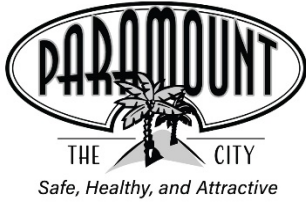
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Conditional Use Permit No. 981
REQUEST:	Establish a charter school
APPLICANT:	Noel Rouda-Trout/Los Angeles Educational Corps (LAEC)
MEETING DATE:	September 3, 2025
LOCATION:	6838 Somerset Boulevard
ZONE:	C-3 (General Commercial)
GENERAL PLAN:	Commercial
PLANNER:	Ivan Reyes
RECOMMENDATION:	Approval



To: Honorable Planning Commission
From: John King, AICP, Planning and Building Director
By: Ivan Reyes, Associate Planner
Date: September 3, 2025

**Subject: CONDITIONAL USE PERMIT NO. 981
NOEL ROUDA-TROUT/LOS ANGELES EDUCATIONAL CORPS (LAEC)**

BACKGROUND

This application is a request by Noel Rouda-Trout/Los Angeles Educational Corps (LAEC) for a Conditional Use Permit (CUP) to establish a charter school at 6838 Somerset Boulevard in the C-3 (General Commercial) zone. The subject property measures a total of 45,952 square feet and developed with a 10,938 square foot two-story church building constructed in 1966. The building is currently occupied by Ministerio LA (Los Angeles International Church of Christ).

In 2018, the Planning Commission approved CUP No. 849, expanding the existing church. Furthermore, the Development Review Board approved Development Review Application (DRA) No. 18:003, remodeling the exterior of the subject building.

The Paramount Municipal Code allows for non-public schools, including charter schools in the C-3 (General Commercial) zone with an approved CUP. The subject church property has been in continuous use for many years however, a pending change with the proposed charter school and associated activities precipitated the need for this CUP.

DISCUSSION

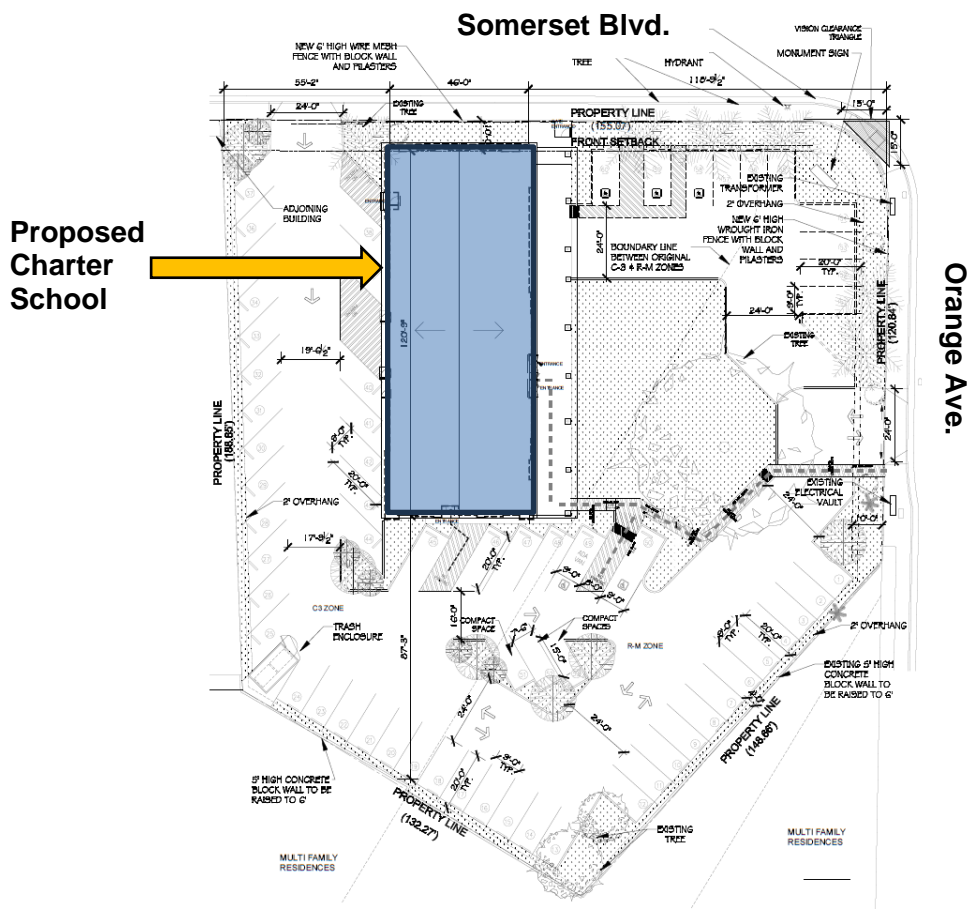
College Bridge Academy (CBA) is a charter school with four campuses in the cities of Los Angeles (El Sereno, and Watts neighborhoods) Compton, and Inglewood. Each campus is a small learning community with approximately 100 to 130 students. Class sizes are small (15 to 20 students per class). Each campus has one or more high quality nonprofit partners (such as Los Angeles Conservation Corps, YouthBuild USA, or a Workforce Innovation and Opportunity Act program) that provide students with a variety of wrap-around services, such as job training, counseling and case management. The existing campus in Compton will be closing and relocating the students and faculty to Paramount.

CBA Paramount

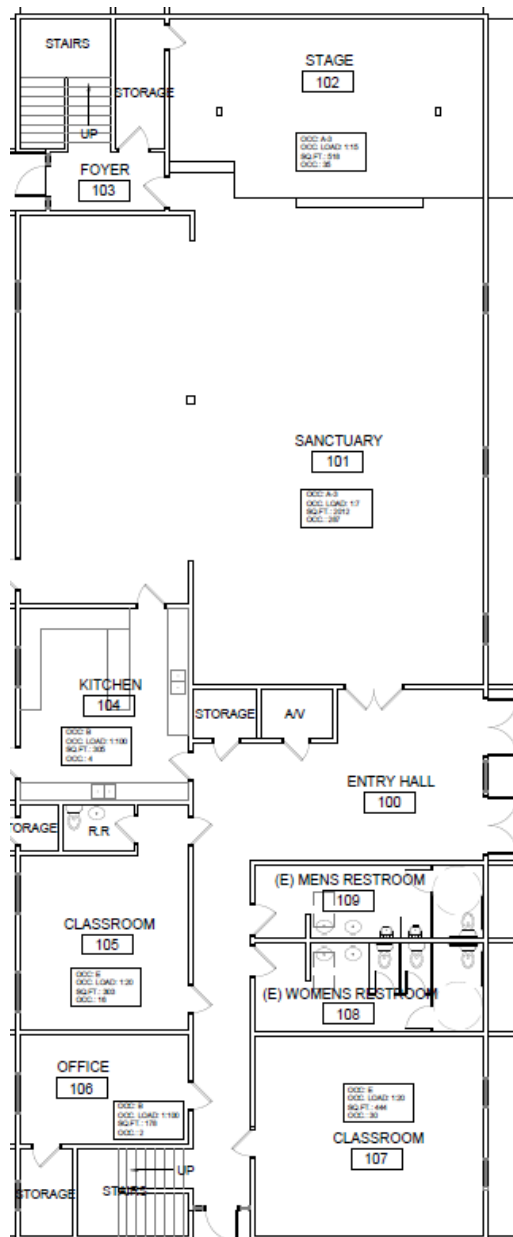
The proposed CBA site in Paramount will enroll approximately 60 students and employ four full-time teachers. Class size will be approximately 15 students. The school program will operate similar to a traditional school, starting mid-August and ending in June. The class schedule will be Monday through Friday from 8:30 a.m. to 3:30 p.m. In addition to regular academic classes, the school will provide a Certified Nursing Assistant (CNA) class onsite for students interested in obtaining a vocational certification. The school will also offer construction training classes, which will take place off-site at a construction lab in Watts as part of the construction program affiliated with YouthBuild USA. In addition to academics and vocational training, the school also provides programming to students in counseling and support. The school partners with local universities to host Master of Social Work (MSW) students counselors assigned to the school site for the duration of the school year offering therapy and case management for students and their families.

The first floor of the church building contains 5,547 square feet and is comprised of the sanctuary, two classrooms, an office, and a kitchen area. The second floor contains 5,391 square feet and is comprised of seven classrooms, two offices, and two storage rooms.

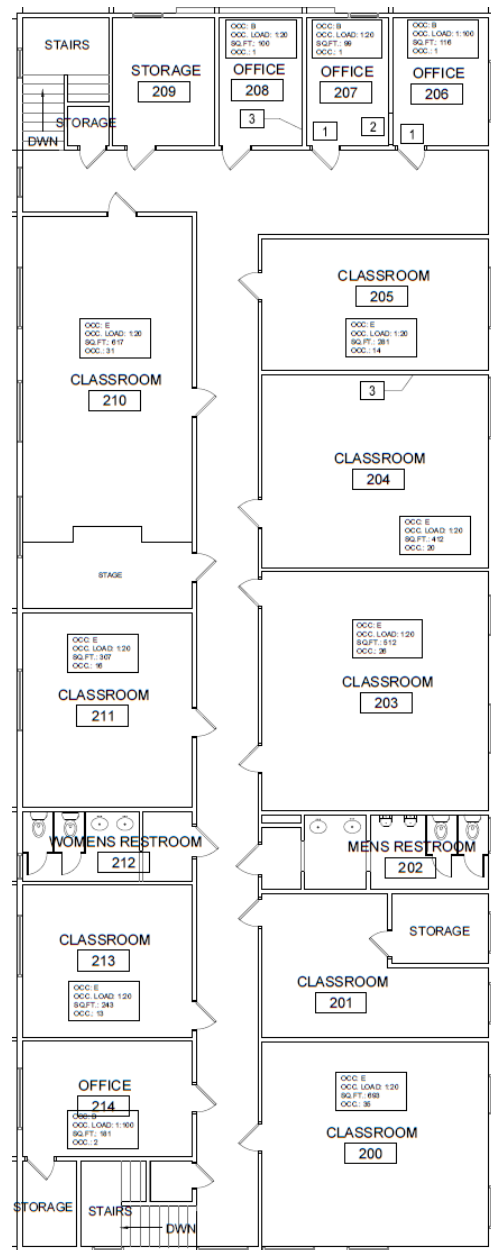
Below is the proposed site location.



Below is the first and second floor plan.



First Floor



Second Floor

Below are site photos from August 22, 2025.



*The north side of the building,
adjacent to Illinois Avenue*



*The east side property facing the area of
the proposed outdoor storage*

Analysis

The business would be located in an appropriate commercial zone and is compatible with the surrounding businesses in the area. The location is adequate in size, as the parking lot will undergo restriping to increase the amount of parking available. When complete, there will be a total of 60 parking spaces, including one van-accessible parking space and four Americans with Disabilities Act (ADA) parking spaces. Furthermore, the school calendar and operating hours will not interfere with the church service, which is held on Wednesday evenings from 7:00 p.m. to 9:00 p.m. and Sundays from 10:00 a.m. to 2:00 p.m.

Environmental Assessment

This project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration not involving substantial expansion.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. The Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcome No. 1: Safe Community.

RECOMMENDED ACTION

Adopt Resolution No. PC 25:022, approving Conditional Use Permit No. 981, subject to the conditions of approval in the resolution.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:022**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDINGS OF FACT AND DECISION RELATIVE TO CONDITIONAL USE PERMIT NO. 981, A REQUEST BY NOEL ROUDA-TROUT/LOS ANGELES EDUCATIONAL CORPS (LAEC) FOR A CONDITIONAL USE PERMIT (CUP) TO ESTABLISH A CHARTER SCHOOL AT 6838 SOMERSET BOULEVARD IN THE C-3 (GENERAL COMMERCIAL) ZONE

WHEREAS, the Planning Commission of the City of Paramount has received an application from Noel Rouda-Trout/Los Angeles Educational Corps (LAEC) for a Conditional Use Permit (CUP) to establish a charter school at 6838 Somerset Boulevard in the C-3 (General Commercial) zone; and

WHEREAS, Paramount Municipal Code Section 17.48.030 et seq., a portion of the Zoning Ordinance of the City of Paramount, requires the Planning Commission to duly notice a public hearing, receive a report from staff, conduct the hearing and consider all evidence before it, and thereafter announce its findings and decisions in zoning matters and specifically for conditional use permits; and

WHEREAS, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15301, Class 1 Categorical Exemption – minor alteration not involving substantial expansion; and

WHEREAS, on September 3, 2025, the Planning Commission conducted a duly noticed public hearing on the application, at which time it heard a presentation by the Planning and Building Department staff as well as the opportunity for testimony regarding the proposed Project.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission finds that the evidence presented does justify the granting of this application for the following reasons:

1. The requested use at the location proposed will not:
 - a. Adversely affect the health, peace, safety or welfare of persons residing or working in the surrounding area;
 - b. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site; nor
 - c. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as is otherwise required in order to integrate such use with the uses in the surrounding area; and
3. That the proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate, and
 - b. By other public or private service facilities as are required.

SECTION 5. That pursuant to Resolution No. 82:043 of the City Council the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 6. The Planning Commission hereby approves the applied for Conditional Use Permit as to use in the above entitled matter, subject to the following conditions:

General

1. Conditions. All conditions of approval of Conditional Use Permit No. 981 shall be printed as general notes on the approved set of building plans.
2. Material Deviation. Except as set forth in conditions, development shall take place substantially as shown on the approved site plan. Any material deviation must be approved by the Planning and Building Department before construction.
3. Affidavit. This Conditional Use Permit shall not be effective for any purposes until the applicant has first filed at the office of the Planning Commission a sworn affidavit acknowledging and accepting all conditions of this Conditional Use Permit. The affidavit shall be submitted by Friday, Septemebr 19, 2025. Failure to provide the City of Paramount with the requisite affidavit within the stated here in above shall render the Conditional Use Permit void.

4. One-Year Approval. Approval of this Conditional Use Permit No. 981 shall be valid for one (1) year from the date of final approval and shall become null and void unless construction has commenced within this time period or an extension of time is granted administratively pursuant to a written request by the applicant no less than thirty days prior to the expiration date of September 3, 2026. The Director at his or her discretion may grant a one-year extension. The Planning Commission may grant up to a one-year extension at the conclusion of the initial one-year extension. Prior to the granting of the extension request by the Planning Commission, notice shall be given in the same manner as required for the original application. Commencement of development shall mean that appropriate permits have been obtained, and the development has successfully completed the first Building and Safety Division inspection.
5. Revocation. It is hereby declared to be the intent, that if any provision of this permit is violated or held to be invalid, or if any law, statute, or ordinance is violated, this Permit shall be subject to the revocation process at which time, the Permit may become terminated and the privileges granted hereunder shall lapse.
6. Violations. It is further declared and made a condition of this Conditional Use Permit that if any condition hereof is violated or if any law, statute or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.
7. Grounds for Modification, Suspension, Revocation. The applicant understands that an Unclassified Use Permit, Conditional Use Permit, and/or Variance granted under the Zoning Ordinance, or any section thereof, is granted and accepted by all parties with the express understanding that the Planning Commission may hold a public hearing, notice of time and place of which shall be given to the applicant, if one or more of the following conditions exists:
 - a. That the approval was obtained by fraud;
 - b. That the need for which such approval was granted has ceased to exist or has been suspended for one year or more;
 - c. That the Unclassified Use Permit, Conditional Use Permit, and/or Variance is being, or recently has been, exercised contrary to the terms or conditions of such approval or in violation of any statute, provision of the Code, ordinance, law, or regulation;
 - d. That the need for which the approval was granted was so exercised as to be detrimental to the public health or safety or so as to constitute a nuisance (Section 17.48.070, Paramount Municipal Code).

If after such hearing, the Planning Commission finds that any grounds modification, suspension, or revocation exist, the Planning Commission may modify, suspend, or revoke such Unclassified Use Permit, Conditional Use Permit, and/or Variance.

Permitting

8. License. All contractors shall obtain a business license to work and/or conduct business in the City of Paramount.
9. Fees. All applicable development fees are due prior to the issuance of building permits.
10. Alterations. No exterior structural alteration or building color change, other than the colors or building treatments originally approved, shall be permitted without the prior approval of the Planning and Building Department.
11. Window Security Bars. The installation of exterior window security bars is prohibited in accordance with Section 17.24.070(C) of the Paramount Municipal Code.
12. Paint. The applicant shall maintain sufficient quantities of matching exterior paint to remove graffiti, blemishes, and peeling paint.
13. Tarps. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in all front and side setback areas, rear yard areas, over driveways, and in parking and circulation areas.
14. Lighting. A precise lighting plan shall be submitted showing the location and types of exterior lighting. The plan shall be subject to the approval of the Planning and Building Department. Approval criteria will emphasize both the functional as well as the decorative nature of the proposed lighting. The parking lot and other common areas shall be illuminated to a demonstrated degree equal to or exceeding one point five candles per foot. The plan and fixture design shall be approved separately from the design approval and from the working drawings.
15. Labor Regulations. The applicant shall comply with all relevant labor laws and regulations of the Division of Labor Standards Enforcement of the California Department of Industrial Relations and the Division of Occupational Safety and Health (Cal/OSHA).

16. Agency Regulations. In the ongoing business operations, the applicant shall comply with all relevant federal, state, and local laws and regulations of all relevant government agencies, including but not limited to (1) the Los Angeles County Fire Department, (2) the Industrial Waste Unit of the Los Angeles County Department of Public Works (3) the South Coast Air Quality Management District, (4) the California Department of Resources Recycling and Recovery (CalRecycle), (5) the California Department of Education, and (6) the Los Angeles County Office of Education.
17. Parking. All parking areas shall comply with applicable development requirements as specified in Article 3 (Loading Areas and Off-Street Parking) of Chapter 17.44 of the Paramount Municipal Code. The parking lot shall be restriped and maintained in a clear condition in compliance with Americans with Disabilities Act (ADA) requirements. The parking spaces and drive aisles shall meet all Municipal Code and Americans with Disabilities Act (ADA) requirements.
18. Urban Stormwater Management. The applicant shall comply with Chapter 8.20 (Urban Stormwater Management) of the Paramount Municipal Code. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, the parking lot, and the surrounding property perimeter. The parking lot shall be completely swept and maintained free of debris and litter at least weekly. Areas adjacent to a parking lot, including, but not limited to, planters, loading and unloading areas, and surrounding public rights-of-way shall be maintained free of debris and litter by sweeping and other equally effective measures. Such debris and litter shall be collected and properly disposed of in compliance with all applicable local, State, and Federal regulations.

Business Operations

19. Business Hours. School hours shall be limited to 8:30 a.m. to 3:30 p.m., Monday through Friday.
20. Business License. The applicant and all successor tenants shall obtain and maintain a current City of Paramount business license.
21. Signs. Signs, banners, and feather flags require separate review and approval by the Planning and Building Department prior to fabrication and installation. Signs shall not conceal architectural features on the exterior of the building. Damage to the building exterior from wall signs that have been removed shall be repainted and repaired as needed.
22. Window Signs. Window sign area shall be limited to forty percent of each grouping of adjacent panes of glass.

23. Signs. Any sign on the building and parking lot area of the subject suite in disrepair shall be repaired or replaced with an equivalent sign and maintained in good condition.
24. Special Events. Special events shall be reviewed in accordance with Special Event Permit regulations for possible approval by the Planning and Building Department.
25. Clean Premises. The outside premises shall be maintained in a clean manner at all times, and trash and debris shall be promptly removed from the yard areas, landscaped areas, and the surrounding property perimeter.
26. Landscaping. Landscaping shall be maintained to the satisfaction of the Planning and Building Department in perpetuity. Landscape changes are subject to Planning and Building Department review and approval. Mature trees shall not be removed without prior written approval by the Planning and Building Department. Plant material shall be maintained in a thriving condition in perpetuity in compliance with Chapter 17.96 (Water-Efficient Landscape Provisions) of the Paramount Municipal Code.
27. Landscaping Maintenance. A two-inch layer of brown mulch shall be applied along the west side of the perimeter landscaping areas. The trees must be trimmed when branches extend beyond property lines and encroach upon the public right-of-way.
28. Outdoor Storage. Outdoor storage is prohibited.
29. Truck Delivery. Stopping, loading, and unloading of delivery trucks associated with inbound and outbound shipments is prohibited on public streets and alleys.
30. The approved floor plan shall not be changed without prior approval by the Planning and Building Department.
31. Security Cameras. Security cameras shall be installed following City review and approval of a security camera plan. The approved cameras or more technologically advanced versions of the approved cameras shall be maintained in perpetuity. Security camera recordings shall be maintained for at least 30 days and provided for law enforcement review upon request.
32. Noise. Outdoor speakers or other exterior audible devices are prohibited.

33. **Bicycle Racks.** At least two bicycle racks shall be provided and maintained in good condition in perpetuity. The racks shall be an inverted “U” or another rack type that allows for a bicycle frame and one wheel to be attached. The type, color, and precise location of the racks shall be reviewed and approved by the Planning and Building Department prior to purchase or installation of the racks. The precise location shall be within the clear range of a security camera.
34. **Building Maintenance.** The existing exterior slumpstone block, tile roof, stucco wall finish, and storefront windows and door shall be touched up, repaired as needed, and maintained in good condition.
35. **Parking Lot.** The parking lot shall be repaired/reslurried and maintained free of any cracks or damage. The restriping of the parking spaces shall be in conformance to the site plan provided. The parking lot area shall be expanded in accordance with the approved site plan.
36. **Deliveries.** Trucks delivering merchandise/supplies to the site shall unload within the property. Truck parking, stopping, loading, and unloading are prohibited on public streets and alleys.
37. **Screening.** Screening materials shall be reviewed and approved by the Planning and Building Department prior to installation. Chain-link may not be used as a component of screening material.
38. **Organic Waste.** The business shall comply with organic waste disposal requirements of Chapter 13.09 of the Paramount Municipal Code.
39. **Trash Enclosure.** A trash enclosure shall be constructed to accommodate trash, recyclables, and organic waste. All exterior bins and barrels shall be enclosed by a solid decorative masonry wall not less than six feet in height, with decorative cover, decorative side protection to keep trespassers out, and appropriate solid gate, following separate Planning and Building Department review and approval. Such storage area shall be located to permit adequate vehicular access to and from for the collection of trash and other materials. No storage shall be permitted above the height of the surrounding walls.
40. **Tenant Improvement.** Future tenant improvements and other construction shall meet all adopted codes and ordinance requirements of the Building and Safety Division.
41. **Exterior.** No exterior structural alteration or building color change, other than the colors or building treatments originally approved, shall be permitted without the prior approval of the Planning and Building Department.
42. **Graffiti Removal.** Any graffiti, including graffiti in the form of window etching, shall be promptly removed.

43. Barbed Wire. Barbed/razor wire is prohibited.
44. The perimeter metal fence gate shall be relocated to the interior of the 10-foot setback fronting Somerset Boulevard and Orange Avenue.
45. Noise Ordinance. In the ongoing business operations, the applicant shall comply with the Noise Ordinance (Chapter 9.12 of the Paramount Municipal Code).
46. Objectable Operations. All operations conducted on the premises shall not be objectionable by reason of noise, steam, vibration, odor, or hazard.
47. Discretionary Approval. Must comply with all conditions of approval from Conditional Use Permit No. 849 and Development Review Application No. 18:003
48. Digital Plans. An electronic copy (PDF format) of the plans shall be submitted to the Planning and Building Department prior to permit issuance.

Final Approval

49. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.
50. The applicant shall submit plans to the Building and Safety Division by October 3, 2025. The applicant shall take all necessary measures to ensure that the plans all meet building code requirements, included but not limited to those noted by the Plan Check Engineer, in order to obtain permits by December 5, 2025. All project construction, including all required site and building improvements shall be completed by March 31, 2025.

SECTION 7. Appeal. Within 10 calendar days after approval of this Resolution by the Planning Commission, any aggrieved or interested person may, if dissatisfied with or aggrieved by the action of the Planning Commission, file with the City Clerk an appeal in writing to the City Council from such action of the Planning Commission upon depositing a filing fee as set forth in Resolution No. 24:040. The filing of such appeal within the stated time shall stay the effective date of decision of the Planning Commission until such time as the City Council has acted on the appeal as set forth in this chapter. The hearing on the appeal by the City Council shall be a hearing de novo. In the absence of such appeal, the action of the Planning Commission shall be final.

SECTION 8. if not appealed, this Resolution shall take effect at the expiration of the appeal period set out in Section 7 above.

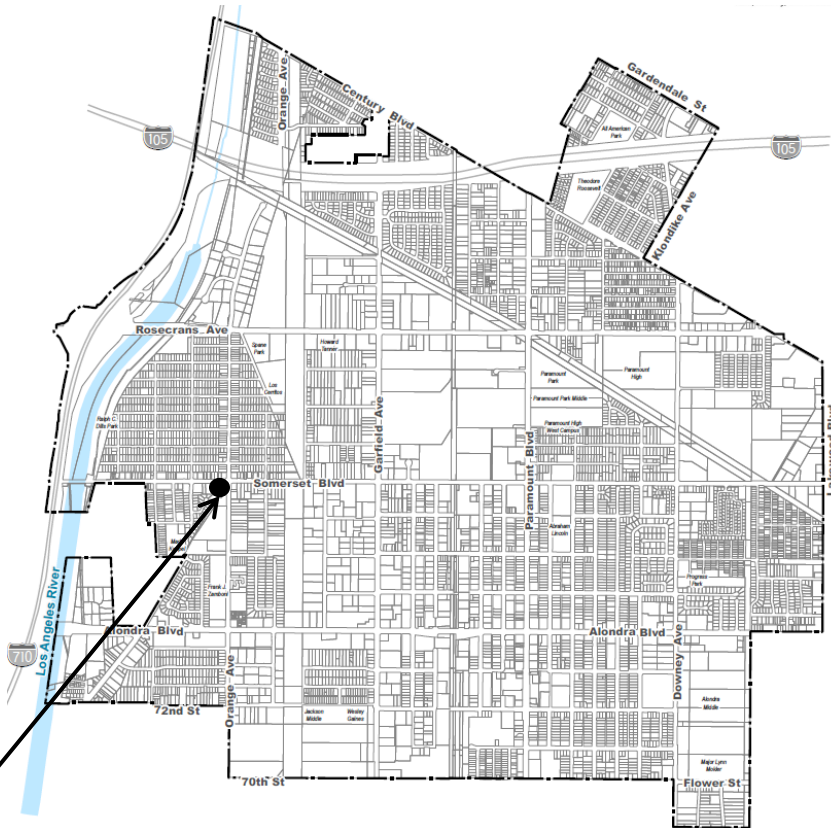
PASSED, APPROVED, and ADOPTED this 3rd day of September 2025.

Linda Timmons, Chair

Attest:

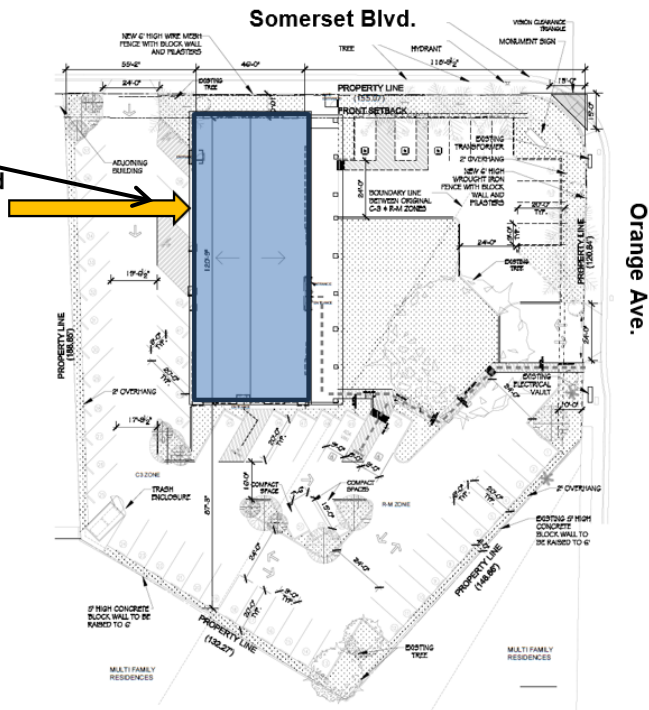
Heidi Luce, City Clerk

Conditional Use Permit No. 981



Subject
Property

Proposed
Charter
School



6838 Somerset Boulevard

SEPTEMBER 3, 2025

PUBLIC HEARING

CONDITIONAL USE PERMIT NO. 982

- A. MOTION IN ORDER:
- B. OPEN THE PUBLIC HEARING
- C. CONTINUE THE PUBLIC HEARING TO OCTOBER 1, 2025.

MOTION:

MOVED BY: _____

SECONDED BY: _____

[] APPROVED

[] DENIED

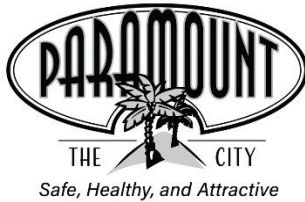
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Conditional Use Permit No. 982
REQUEST:	Construct a 1,225 square foot metal building
APPLICANT:	Alberto Perez-Arvizu/Bestone Construction, Inc. for Paramount Illinois, LCC
MEETING DATE:	September 3, 2025
LOCATION:	15538 Rosales Alley
ZONE:	M-2 (Heavy Manufacturing)
GENERAL PLAN:	Central Industrial District (AP- CID)
PLANNER:	Monica Rodriguez
RECOMMENDATION:	Open and continue the public hearing



To: Honorable Planning Commission

From: John King, AICP, Planning and Building Director

By: Monica Rodriguez, Assistant Planning and Building Director

Date: September 3, 2025

**Subject: CONDITIONAL USE PERMIT NO. 982
ALBERTO PEREZ-ARVIZU/BESTONE CONSTRUCTION, INC. FOR
PARAMOUNT ILLINOIS, LCC**

BACKGROUND

This application is a request by Alberto Perez-Arvizu/Bestone Construction, Inc. for Paramount Illinois, LCC to approve Conditional Use Permit (CUP) No. 982, a request to construct a 1,225 square foot metal building at 15538 Rosales Alley in the M-2 (Heavy Manufacturing) zone.

Staff is requesting that the application review be postponed to allow the applicant sufficient time to finalize the payment process due to unforeseen circumstances. Staff recommends continuing the Conditional Use Permit No. 982 to the October 1, 2025 Planning Commission meeting.

RECOMMENDED ACTION

Open and continue the public hearing for Conditional Use Permit No. 982 to the October 1, 2025 Planning Commission meeting.

SEPTEMBER 3, 2025

PUBLIC HEARING

ZONE VARIANCE NO. 413

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
 - (3) REBUTTAL BY THE APPLICANT
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY _____	AYES: _____
SECONDED BY _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER:

READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT PLANNING COMMISSION RESOLUTION NO. PC 25:023, A REQUEST BY MATTHEW OLDENKAMP/MATTCO FORGE, INC TO APPROVE A VARIANCE FROM THE FRONT YARD SETBACK TO LEGALIZE THE CONSTRUCTION OF FENCING AT 16443 MINNESOTA AVENUE IN THE M-2 (HEAVY MANUFACTURING) ZONE.

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MOTION:

MOVED BY _____

SECONDED BY _____

[] APPROVED

[] DENIED

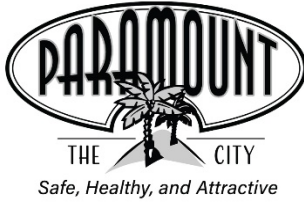
ROLL CALL VOTE:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER:	Zone Variance No. 413
REQUEST:	A variance from the front yard setback to legalize the construction of fencing
APPLICANT:	Matthew Oldenkamp/Mattco Forge, Inc.
MEETING DATE:	September 3, 2025
LOCATION:	16443 Minnesota Avenue
ZONE:	M-2 (Heavy Manufacturing)
GENERAL PLAN:	Central Industrial District
PLANNER:	John King
RECOMMENDATION:	Approval



To: Honorable Planning Commission

From: John King, AICP, Planning and Building Director

By:

Date: September 3, 2025

Subject: ZONE VARIANCE NO. 413
MATTHEW OLDENKAMP/MATTCO FORGE, INC.

BACKGROUND

This item is a request by Matthew Oldenkamp/Mattco Forge, Inc. for the Planning Commission to approve a variance from the front yard setback to legalize the construction of fencing at 16443 Minnesota Avenue in the M-2 (Heavy Manufacturing) zone.

The applicant produces engineered forged metal products for the aerospace, defense, oil and gas, transportation, and power generation industries. Among the products forged by Mattco Forge are seamless, rolled forged rings. Mattco Forge has been manufacturing since its establishment in 1977 and currently employs approximately 145 people. The hours of operation are 6:00 a.m. to 2:00 a.m. on all seven days of the week.

Past Planning Commission approvals (all conditional use permits) are summarized in the chart below:

CUP No.	Description	Approval Date
470	Installation and operation of a 250-ton metal forging press	2/9/00
764	Legalize installation and operation of a 1,650-ton hydraulic press and associated cooling tower system	3/11/14
841	Installation of a dust collection system and total building enclosure for grinding activities	12/13/17
969	Replacement of four previously approved hand-grinders with seven hand-grinders in an existing 800 square foot enclosed building and installation of an additional five hand-grinders in an adjacent 336 square foot enclosure for a total of 12 hand-grinders with HEPA exhaust filtration to comply with South Coast Air Quality Management District Rule 1430	12/3/24
972	Relocate an existing 499-gallon above-ground propane tank	2/5/25

Site Description

The subject property, located in the Central Industrial District, is to the southwest of the intersection of Minnesota Avenue and Jackson Street.

Photos

The following photos show before (2022) and after (2025) photos of the location of the fence within the front setback along Minnesota Avenue that would require a zone variance for legalization.



Before – 2022



After – 2025

DISCUSSION

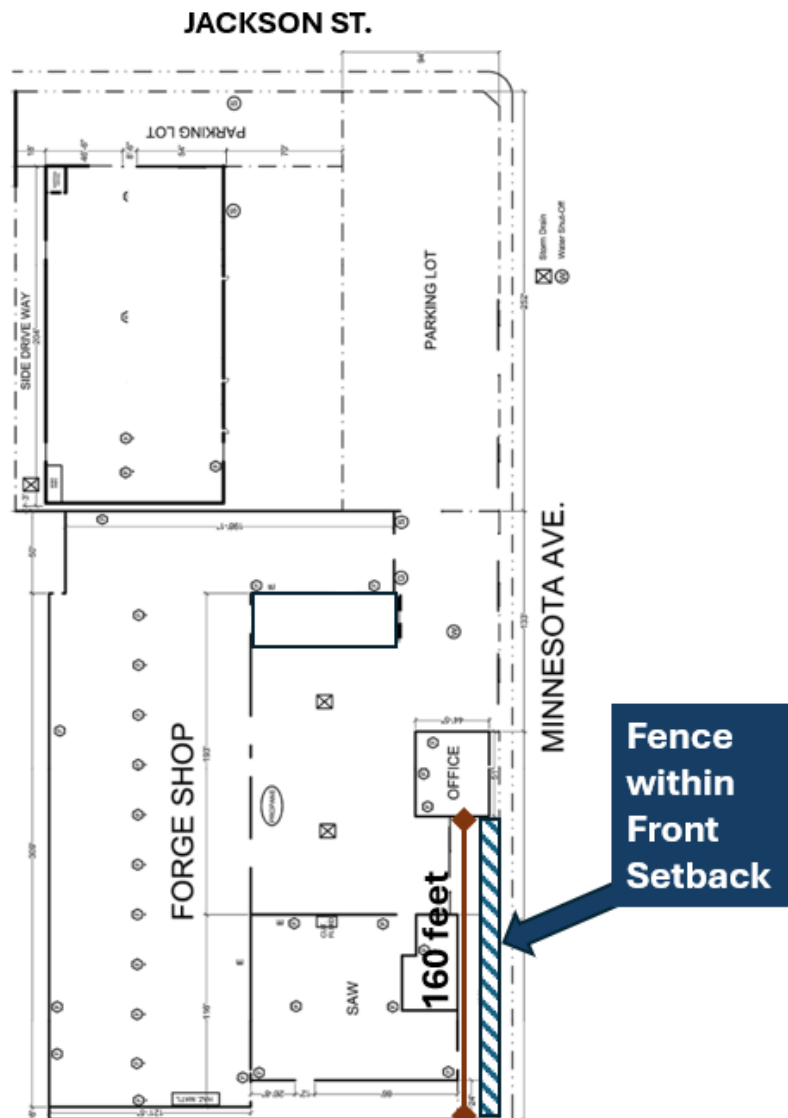
Project Description

Mattco Forge is applying for a zone variance for fencing within the front setback along Minnesota Avenue. According to Section 17.36.090(E)(1)(b) of the M-2 zone chapter of the Paramount Municipal Code, properties with a depth of 151 feet to 749 feet and buildings up to 30 feet in height shall maintain a front setback of 20 feet.

The applicant installed an approximately 160-foot length of a seven-foot-high fence and gate within the 20-foot front setback. The fence/gate is located 4.5 feet to the west of the front property line, which is a reduction of 15.5 feet along this length.

Plans

The following is the site plan:



Findings

The Paramount Municipal Code requires several findings to be met before a variance is granted by the Planning Commission. First, exceptional circumstances or conditions must exist at the subject property. The shape of the lot, long and narrow, requires a smaller setback than 20 feet. The reduced area allows the business to meet Americans with Disability Act (ADA) requirements for two parking spaces that have been located in the setback for decades. Maintaining a reduced setback also allows for adequate circulation area for trucks to load and unload Mattco Forge products. A larger setback would prevent safe onsite circulation.

The Code also requires that the issuance of a zone variance not be detrimental to the public welfare. The granting of this variance will not have a negative impact to the public welfare, as the surrounding uses are industrial. Additionally, there are numerous properties in the area around the site that do not meet setback requirements, and the granting of this variance will be consistent with existing land use patterns.

Finally, the Municipal Code states that the granting of a variance must not adversely affect the comprehensive General Plan. The General Plan Land Use Designation for the property and surrounding area is Central Industrial District. Forging uses are permitted under the General Plan Industrial land use designation, and allowing the construction of the proposed fencing with a reduced setback will not prevent implementation of the General Plan.

Findings

In summary, the approval of this variance will not be detrimental to the public welfare or the surrounding industrial uses. Additionally, the granting of this variance will not prevent the implementation of the General Plan, as the land use designation for the site is industrial.

Environmental Assessment

The project is categorically exempt and qualifies for a Class 5 (minor alterations in land use limitations) Categorical Exemption pursuant to Article 19, Section 15305 of California Environmental Quality Act (CEQA) Guidelines.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City's Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcome No. 1: Safe Community.

RECOMMENDED ACTION

It is recommended that the Planning Commission read by title only, waive further reading, and adopt Resolution No. PC 25:023, approving Zone Variance No. 413, subject to conditions of approval included in the resolution.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:023**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDINGS OF FACT AND DECISION RELATIVE TO ZONE VARIANCE NO. 413, A REQUEST BY MATTHEW OLDENKAMP/MATTCO FORGE, INC. FOR A VARIANCE FROM THE FRONT YARD SETBACK TO LEGALIZE THE CONSTRUCTION OF FENCING AT 16443 MINNESOTA AVENUE IN THE M-2 (HEAVY MANUFACTURING) ZONE.

WHEREAS, the Planning Commission of the City of Paramount has received an application from Matthew Oldenkamp/Mattco Forge, Inc. to approve a variance from the front yard setback to legalize the construction of fencing at 16443 Minnesota Avenue in the M-2 (Heavy Manufacturing) zone (for purposes of this resolution, the "Project"); and

WHEREAS, Paramount Municipal Code Section 17.48.030 et seq., a portion of the Zoning Ordinance of the City of Paramount, requires the Planning Commission to duly notice a public hearing, receive a report from staff, conduct the hearing and consider all evidence before it, and thereafter announce its findings and decisions in zoning matters and specifically for conditional use permits; and

WHEREAS, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Section 15305, Class 5 (minor alteration to an existing private structure) Categorical Exemption and a Section 15303, Class 3 (minor alterations in land use limitations) Categorical Exemption pursuant to CEQA Guidelines; and

WHEREAS, on September 3, 2025, the Planning Commission conducted a duly noticed public hearing on the application, at which time it heard a presentation by the Planning and Building Director as well as testimony regarding the proposed Project.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission finds that the evidence presented does justify the granting of this application for the following reasons:

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply to other properties or class of use in the same vicinity and zone.
2. That the granting of such zone variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and zone in which the property is located.
3. That the granting of such zone variance will not adversely affect the comprehensive General Plan.

SECTION 5. That pursuant to Resolution No. 82:043 of the City Council the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 6. The Planning Commission hereby approves the applied for Zone Variance as to use in the above-entitled matter, subject to the following conditions:

General

1. Affidavit. This Conditional Use Permit shall not be effective for any purposes until the applicant has first filed at the office of the Planning Commission a sworn affidavit acknowledging and accepting all conditions of this Zone Variance. The affidavit shall be submitted by Friday, September 19, 2025. Failure to provide the City of Paramount with the requisite affidavit within the stated here in above shall render the Zone Variance void.
2. Term. The term of this variance shall be for the life of all the subject fence/gate. Any new construction shall comply with all required development standards for the M-2 (Heavy Manufacturing) zone.
3. Revocation. It is hereby declared to be the intent, that if any provision of this Zone Variance is violated or held to be invalid, or if any law, statute, or ordinance is violated, this Zone Variance shall be subject to the revocation process at which time, the Zone Variance may become terminated, and the privileges granted hereunder shall lapse.
4. Violations. It is further declared and made a condition of this Zone Variance that if any condition hereof is violated or if any law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days of receipt of said notification.

5. Grounds for Modification, Suspension, Revocation. The applicant understands that an Unclassified Use Permit, Conditional Use Permit, and/or Zone Variance granted under the Zoning Ordinance, or any section thereof, is granted and accepted by all parties with the express understanding that the Planning Commission may hold a public hearing, notice of time and place of which shall be given to the applicant, if one or more of the following conditions exists:
 - a) That the approval was obtained by fraud;
 - b) That the need for which such approval was granted has ceased to exist or has been suspended for one year or more;
 - c) That the Unclassified Use Permit, Conditional Use Permit, and/or Zone Variance is being, or recently has been, exercised contrary to the terms or conditions of such approval or in violation of any statute, provision of the Code, ordinance, law, or regulation;
 - d) That the need for which the approval was granted was so exercised as to be detrimental to the public health or safety or so as to constitute a nuisance (Section 17.48.070, Paramount Municipal Code).

If after such hearing, the Planning Commission finds that any grounds for modification, suspension, or revocation exist, the Planning Commission may modify, suspend, or revoke such Unclassified Use Permit, Conditional Use Permit, and/or Zone Variance.

6. Conditions of Approval. This application is subject to all conditions of approval of any administrative permit to legalize the fencing.

SECTION 7. Appeal. Within 10 calendar days after approval of this Resolution by the Planning Commission, any aggrieved or interested person may, if dissatisfied with or aggrieved by the action of the Planning Commission, file with the City Clerk an appeal in writing to the City Council from such action of the Planning Commission upon depositing a filing fee in the amount of one-half of the fee required on filing the original application. The filing of such appeal within the stated time shall stay the effective date of the decision of the Planning Commission until such time as the City Council has acted on the appeal as set forth in this chapter. The hearing on the appeal by the City Council shall be a hearing de novo. In the absence of such appeal, the action of the Planning Commission shall be final.

SECTION 8. If not appealed, this Resolution shall take effect at the expiration of the appeal period set out in Section 7, above.

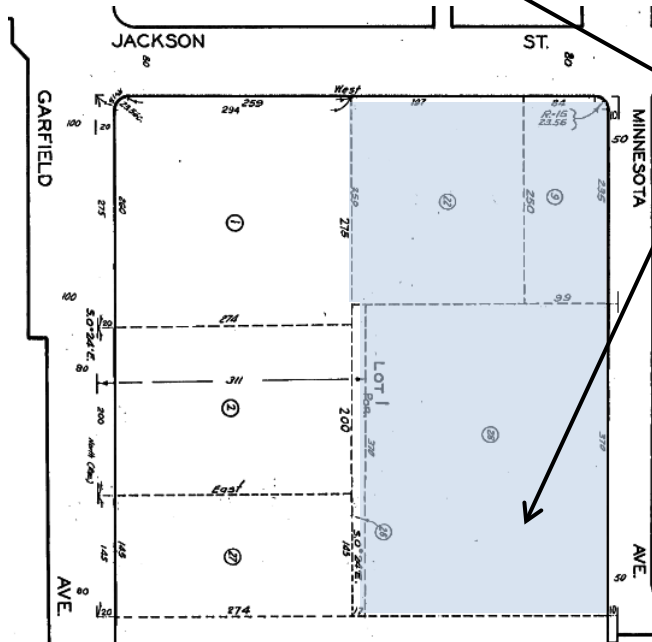
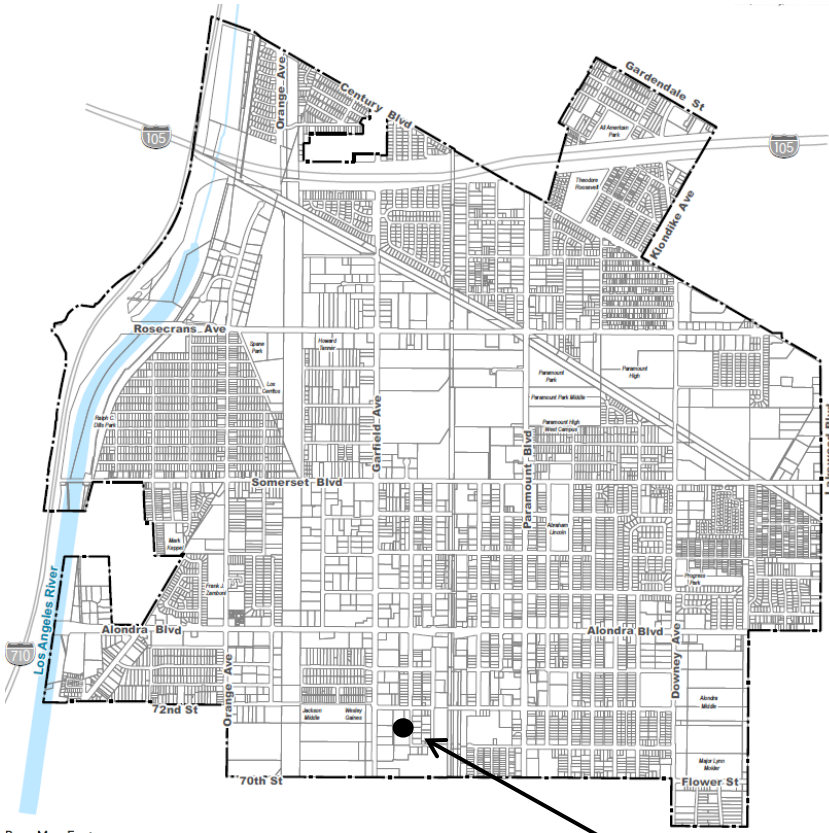
PASSED, APPROVED, and ADOPTED this 3rd day of September 2025.

Linda Timmons, Chair

Attest:

Heidi Luce, City Clerk

Zone Variance No. 413



Subject
Property

16443 Minnesota Ave.

SEPTEMBER 3, 2025

PUBLIC HEARING

- (1) RESOLUTION NO. PC 25:024
- (2) RESOLUTION NO. PC 25:025/ZONING ORDINANCE TEXT
AMENDMENT NO. 37

- A. HEAR STAFF REPORT.
- B. OPEN THE PUBLIC HEARING.
- C. HEAR TESTIMONY IN THE FOLLOWING ORDER:
 - (1) THOSE IN FAVOR
 - (2) THOSE OPPOSED
- D. MOTION TO CLOSE THE PUBLIC HEARING.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
[] APPROVED	ABSENT: _____
[] DENIED	ABSTAIN: _____

- E. MOTION IN ORDER (RESOLUTION NO. PC 25:024):
READ BY TITLE ONLY, WAIVE FURTHER READING, AND ADOPT
PLANNING COMMISSION RESOLUTION NO. PC 25:024,
RECOMMENDING THAT THE CITY COUNCIL REPLACE THE
CENTRAL BUSINESS DISTRICT ARCHITECTURAL DESIGN
GUIDELINES WITH COMMERCIAL DESIGN GUIDELINES

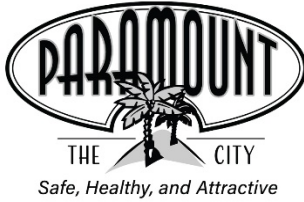
CONTINUED... PLEASE TURN PAGE

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
<input type="checkbox"/> APPROVED	ABSENT: _____
<input type="checkbox"/> DENIED	ABSTAIN: _____

F. MOTION IN ORDER (RESOLUTION NO. PC 25:025):

RECOMMENDING THAT THE CITY COUNCIL APPROVE ZONING ORDINANCE TEXT AMENDMENT NO. 37, APPROVING THE REPLACEMENT OF THE ARCHITECTURAL GUIDELINES OF THE C-3 (GENERAL COMMERCIAL) ZONE WITH COMMERCIAL DESIGN GUIDELINES AND ESTABLISHING COMMERCIAL DESIGN GUIDELINES AS A REQUIREMENT OF THE C-M (COMMERCIAL-MANUFACTURING) ZONE.

<u>MOTION:</u>	<u>ROLL CALL VOTE:</u>
MOVED BY: _____	AYES: _____
SECONDED BY: _____	NOES: _____
<input type="checkbox"/> APPROVED	ABSENT: _____
<input type="checkbox"/> DENIED	ABSTAIN: _____



CITY OF PARAMOUNT PLANNING DEPARTMENT STAFF REPORT SUMMARY

PROJECT NUMBER: Resolution No. PC 25:024; Resolution No. PC 25:025/Zoning Ordinance Text Amendment No. 37

REQUEST:

- A. Replacing the Central Business District Architectural Guidelines with Commercial Design Guidelines
- B. Approving the replacement of the architectural guidelines of the C-3 (General Commercial) zone with Commercial Design Guidelines and establishing Commercial Design Guidelines as a requirement of the C-M (Commercial-Manufacturing) zone.

APPLICANT: City of Paramount

MEETING DATE: September 3, 2025

LOCATION: Citywide

ZONE: C-3 (General Commercial) and C-M (Commercial-Manufacturing)

GENERAL PLAN: Citywide

PLANNER: Ivan Reyes

RECOMMENDATION: Approval



To: Honorable Planning Commission

From: John King, AICP, Planning and Building Director

By: Ivan Reyes, Associate Planner

Date: September 3, 2025

**Subject: RESOLUTION NO. PC 25:024
REPLACING THE CENTRAL BUSINESS DISTRICT ARCHITECTURAL
GUIDELINES WITH COMMERCIAL DESIGN GUIDELINES
RESOLUTION NO. PC 25:025/ZONING ORDINANCE TEXT
AMENDMENT NO. 37
APPROVING THE REPLACEMENT OF THE ARCHITECTURAL
GUIDELINES OF THE C-3 (GENERAL COMMERCIAL) ZONE WITH
COMMERCIAL DESIGN GUIDELINES AND ESTABLISHING
COMMERCIAL DESIGN GUIDELINES AS A REQUIREMENT OF THE C-M
(COMMERCIAL-MANUFACTURING) ZONE**

BACKGROUND

This item is a request for the Planning Commission to (1) recommend to the City Council to approve Zoning Ordinance Text Amendment (ZOTA) No. 37, approving the replacement of the architectural guidelines of the C-3 (General Commercial) zone with Commercial Design Guidelines and establishing Commercial Design Guidelines as a requirement of the C-M (Commercial-Manufacturing) zone.

In 1984, the City adopted Central Business District Architectural Guidelines that guided development for decades. The Commercial Design Guidelines Update is intended to modernize the guidelines for the Central Business District and commercial properties in the C-3 (General Commercial) and C-M (Commercial-Manufacturing) zones. The new design guidelines address aesthetics and will evaluate and update specific elements of the present guidelines. They will also provide new guidance in order to establish contemporary buildings that “frame” the streetscape by creating a vibrant, attractive pedestrian environment and a sense of place. This scope included community engagement and resulted in guidelines that will inspire a high level of commercial design for the next generation of development.

On December 12, 2023, the City Council approved an agreement with Gruen Associates to assist with the development of the Commercial Design Guidelines. Feedback from a presentation to the City Council on July 9, 2025 was incorporated into the design standards prior to formal public hearings.

DISCUSSION

Updates to the Commercial Design Guidelines include site access, parking and landscape of parking lots, setbacks, site planning, landmarks, parks, scenery, trash receptacles, street furniture, paving, colors, materials, forms, properties, uniformity, landscaping lighting, rear facades, site entries, security of buildings, signs, and service areas. This scope has accommodated community engagement from local stakeholders. The outreach included an engagement program that targeted discussions with the community to identify preferred outcomes and confirm engagement goals and expectations.

Summary of Proposed Revisions

The proposed Zoning Ordinance Text Amendment would revise sections in the C-3 (Chapter 17.24) and C-M (Chapter 17.28) chapters of the Paramount Municipal Code. Some of the provisions of the proposed ordinance include the following:

- Revising language from “architectural guidelines” to “commercial design guidelines” to reflect the update.
- Including new provisions in the C-M zone to ensure that qualifying projects meet the intent of the Commercial Design Guidelines.

Environmental Assessment

This ordinance is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3) which is the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment and CEQA does not apply where it can be seen with certainty that there is no possibility that the activity may have a significant effect on the environment.

FISCAL IMPACT

None.

VISION, MISSION, VALUES, AND STRATEGIC OUTCOMES

The City’s Vision, Mission, and Values set the standard for the organization; establish priorities, uniformity, and guidelines; and provide the framework for policy decisionmaking. Strategic Outcomes were implemented to provide a pathway to achieving the Vision of a city that is safe, healthy, and attractive. This item aligns with Strategic Outcome No. 1: Economic Health and No. 6: Efficient, Effective, and Fiscally Responsible Government.

RECOMMENDED ACTION

It is recommended that the Planning Commission hold a public hearing and take the following actions:

- A. Adopt Resolution No. PC 25:024, replacing the Central Business District Architectural Design Guidelines with Commercial Design Guidelines.
- B. Adopt Resolution No. PC 25:025, recommending that the City Council approve Zoning Ordinance Text Amendment No. 37.

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:024**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDING OF FACT, AND RECOMMENDING THAT THE CITY COUNCIL REPLACE THE CENTRAL BUSINESS DISTRICT ARCHITECTURAL DESIGN GUIDELINES WITH COMMERCIAL DESIGN GUIDELINES.

WHEREAS, the Planning Commission of the City of Paramount setting forth its finding of fact, and recommending that the City Council replace the Central Business District Architectural Design Guidelines with Commercial Design Guidelines.

WHEREAS, Paramount Municipal Code Section 17.48.030 et seq., a portion of the Zoning Ordinance of the City of Paramount, requires the Planning Commission to duly notice a public hearing, receive a report from staff, conduct the hearing and consider all evidence before it, and thereafter to announce its findings and decisions in zoning matters; and

WHEREAS, the Planning Commission of the City of Paramount finds that this resolution is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3) which is the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment and CEQA does not apply where it can be seen with certainty that there is no possibility that the activity may have a significant effect on the environment.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission hereby finds that the Zoning Ordinance Text Amendment is consistent with desirable land use trends.

SECTION 5. The Planning Commission determines that upon applying the principles and practices of land use planning, the amendment to the Code should be made to encourage activity that will produce a desirable pattern of growth, encourage the most appropriate use of land, enhance the value of property, and promote the health, safety, and general welfare of the public in the best interests of the City.

SECTION 6. The Planning Commission hereby recommends replacing the Central Business District Architectural Design Guidelines with Commercial Design Guidelines.

SECTION 7. That pursuant to Resolution No. 82:043 of the City Council, the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 8. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED and ADOPTED by the Planning Commission of the City of Paramount this 3rd day of September 2025.

Linda Timmons, Chair

Attest:

Heidi Luce, City Clerk

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

**PLANNING COMMISSION
RESOLUTION NO. PC 25:025**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT SETTING FORTH ITS FINDING OF FACT, AND RECOMMENDING THAT THE CITY COUNCIL APPROVE ZONING ORDINANCE TEXT AMENDMENT NO. 37, APPROVING THE REPLACEMENT OF THE ARCHITECTURAL GUIDELINES OF THE C-3 (GENERAL COMMERCIAL) ZONE WITH COMMERCIAL DESIGN GUIDELINES AND ESTABLISHING COMMERCIAL DESIGN GUIDELINES AS A REQUIREMENT OF THE C-M (COMMERCIAL-MANUFACTURING) ZONE.

WHEREAS, the Planning Commission of the City of Paramount setting forth its finding of fact, and recommending that the City Council approve Zoning Ordinance Text Amendment No. 37, approving the replacement of the architectural guidelines of the C-3 (General Commercial) zone with Commercial Design Guidelines and establishing Commercial Design Guidelines as a requirement of the C-M (Commercial-Manufacturing) zone; and

WHEREAS, Ordinance No. 178, the Zoning Ordinance of the City of Paramount, requires the Planning Commission to announce its findings and decisions in zoning matters; and

WHEREAS, the Planning Commission of the City of Paramount finds that this zoning ordinance text amendment is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3) which is the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment and CEQA does not apply where it can be seen with certainty that there is no possibility that the activity may have a significant effect on the environment.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PARAMOUNT AS FOLLOWS:

SECTION 1. The above recitations are true and correct.

SECTION 2. The Planning Commission finds that it has conducted all the public hearings necessary and in compliance with State Law and the Municipal Code of the City of Paramount.

SECTION 3. The Planning Commission finds that all requirements of notice have been complied with pursuant to State Law and the Municipal Code.

SECTION 4. The Planning Commission hereby finds that the Zoning Ordinance Text Amendment is consistent with desirable land use trends.

SECTION 5. The Planning Commission determines that upon applying the principles and practices of land use planning, the amendment to the Code should be made to encourage activity that will produce a desirable pattern of growth, encourage the most appropriate use of land, enhance the value of property, and promote the health, safety, and general welfare of the public in the best interests of the City.

SECTION 6. The Planning Commission hereby recommends that the City Council approve Zoning Ordinance Text Amendment No. 37, approving the replacement of the architectural guidelines of the C-3 (General Commercial) zone with Commercial Design Guidelines and establishing Commercial Design Guidelines as a requirement of the C-M (Commercial-Manufacturing) zone.

SECTION 7. That pursuant to Resolution No. 82:043 of the City Council, the time limit to seek judicial review pursuant to California Code of Civil Procedure is ninety (90) days from the date hereof.

SECTION 8. This Resolution shall take effect immediately upon its adoption.

PASSED, APPROVED and ADOPTED by the Planning Commission of the City of Paramount this 3rd day of September 2025.

Linda Timmons, Chair

Attest:

Heidi Luce, City Clerk

CITY OF PARAMOUNT
LOS ANGELES COUNTY, CALIFORNIA

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PARAMOUNT, APPROVING ZONING ORDINANCE TEXT AMENDMENT NO. 37, AMENDING SECTION 17.24.050 (DEVELOPMENT STANDARDS IN GENERAL), AND ADDING SECTION 17.28.110 (DEVELOPMENT STANDARDS IN GENERAL) OF TITLE 17 OF THE PARAMOUNT MUNICIPAL CODE, REVISING REGULATIONS FOR ARCHITECTURAL GUIDELINES OF THE C-3 (GENERAL COMMERCIAL) ZONE WITH COMMERCIAL DESIGN GUIDELINES AND ESTABLISHING COMMERCIAL DESIGN GUIDELINES AS A REQUIREMENT OF THE C-M (COMMERCIAL-MANUFACTURING) ZONE IN THE CITY OF PARAMOUNT

THE CITY COUNCIL OF THE CITY OF PARAMOUNT DOES HEREBY ORDAIN
AS FOLLOWS:

SECTION 1. Purpose and Findings. The City Council finds and declares as follows:

- A. California Constitution Article XI, Section 7, enables the City of Paramount ("the City") to enact local planning and land use regulations; and
- B. The authority to adopt and enforce zoning regulations is an exercise of the City's police power to protect the public health, safety, and welfare; and
- C. The City desires to ensure that development occurs in a prudently effective manner, consistent with the goals and objectives of the General Plan as updated and adopted by the City Council on August 7, 2007 and reasonable land use planning principles; and
- D. The Planning Commission held a duly noticed public hearing on September 3, 2025 at which time it considered all evidence presented, both written and oral, and at the end of the hearing voted to adopt Resolution No. PC 25:025, recommending that the City Council adopt this Ordinance; and
- E. The City Council held a duly noticed public hearing on this Ordinance on _____, at which time it considered all evidence presented, both written and oral.

SECTION 2. The Recitals set forth hereinabove are true and correct and incorporated herein by reference as if fully set forth herein.

SECTION 3. The following provisions of Section 17.24.050 (Development standards in general) of the Paramount Municipal Code is hereby amended in its entirety to read as follows:

- A. All new buildings constructed in the C-3 (General Commercial) zone shall conform to the adopted **commercial design guidelines** of the central business district.
- B. **Existing buildings within the C-3 zone that are remodeled or expanded shall be brought to compliance with the provisions of the commercial design guidelines, as determined by the Planning and Building Director.**

SECTION 4. Section 17.28.110 (Development standards in general) is hereby added to the Paramount Municipal Code to read as follows:

Section 17.28.110 Development standards in general.

- A. **All new buildings constructed in the C-3 (General Commercial) zone shall conform to the adopted commercial design guidelines of the central business district.**
- B. **Existing buildings within the C-3 zone that are remodeled or expanded shall be brought to compliance with the provisions of the commercial design guidelines, as determined by the Planning and Building Director.**

SECTION 5. California Environmental Quality Act (CEQA). This ordinance is exempt from CEQA pursuant to CEQA Guidelines Section 15061(b)(3) which is the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment and CEQA does not apply where it can be seen with certainty that there is no possibility that the activity may have a significant effect on the environment.

SECTION 6. Severability. If any section, subsection, sentence, clause, or phrase in this ordinance or the application thereof to any person or circumstance is for any reason held invalid, the validity of the remainder of the ordinance or the application of such provision to other persons or circumstances shall be adopted thereby. The City Council hereby declares it would have passed this ordinance and each section, subsection, sentence, clause, or phrase thereof, irrespective of the fact that one or more sections, subsections, sentences, clauses, or phrases or the application thereof to any person or circumstance be held invalid.

SECTION 7. Effective Date. This Ordinance shall take effect thirty days after its adoption, shall be certified as to its adoption by the City Clerk, and shall be published as required by law, together with the names and members of the City Council voting for and against the Ordinance.

PASSED, APPROVED and ADOPTED by the City Council of the City of Paramount this __ day of ____ 2025.

Peggy Lemons, Mayor

ATTEST

Heidi Luce, City Clerk

City of Paramount Commercial Design Guidelines



FINAL DRAFT - July 16, 2025

FOR INTERNAL REVIEW ONLY



City of Paramount Commercial Design Guidelines

DRAFT

ACKNOWLEDGMENTS

City of Paramount

John King
John Carver
Ivan Reyes
Sol Bejarano

Consultant Team

Gruen Associates

Image Credits: City of Paramount & Gruen Associates
(unless otherwise stated)

TABLE OF CONTENTS

1	Introduction	5	4	Private Realm: Open Space Design	49
1.1	Purpose and Background	6	4.1	Introduction	50
1.2	Vision and Guiding Principles	10	4.2	Street-Facing Open Space	52
1.3	Goals and Objectives	12	4.3	Pathways, Paseos, and Alleys	53
1.4	Planning Framework	14	4.4	Parking Lots and Service Areas	55
1.5	Planning Process	15			
1.6	Administration of the Guidelines	16			
1.7	The Commercial Areas Today	17			
2	Public Realm	19	5	Private Realm: Building Design	57
2.1	Introduction	20	5.1	Introduction	58
2.2	Street-Facing Open Space	23	5.2	Massing and Form	60
2.3	Connectivity Improvements	26	5.3	Ground Floor Treatment	70
2.4	Public Realm Landscaping	28	5.4	Upper Floor Treatment	71
2.5	Materials	32	5.5	Materials	72
2.6	Street Amenities	33	5.6	Parking Garage Design	73
3	Private Realm: Site Design	3	6	Special Conditions: Commercial Core	75
3.1	Introduction	38	6.1	Introduction	76
3.2	Access	40	6.2	Compact Development	78
3.3	Front Setbacks	41	6.3	Block Structure	79
3.4	Landscaping	42	6.4	Large Sites	80
3.5	Parking Lot Location & Access	44	6.5	Intersections and Nodes	82
3.6	Transitions and Screening	45	6.6	Parking	83
3.7	Drop Off and Pick Up	46			
3.8	Environmental Design	47	7	Appendix	85
			7.1	Trees	86
			7.2	Shrubs	89
			7.3	Perennials, Succulents, Grasses	93
			7.4	Ground Covers	97
			7.5	Vines	101



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1 INTRODUCTION AND VISION

1.1 Purpose and Background	6
1.2 Vision and Guiding Principles	10
1.3 Goals and Objectives	12
1.4 Planning Framework	14
1.5 Planning Process	15
1.6 Administration of the Guidelines	16
1.7 The Commercial Areas Today	17

WHY DESIGN GUIDELINES FOR THE CITY OF PARAMOUNT?

The City's General Plan provides policy guidance for the entire City's development, and the built environment is directly guided by the zoning code and other municipal standards. The Commercial Design Guidelines become a critical tool to address the unique needs and conditions of commercial areas within a city while still allowing the zoning standards to manage routine changes to the use of existing buildings.

The guidelines should be used by designers as a framework for decisions made during the design process which ensures timely processing of applications while minimizing revisions, delays and misunderstandings. Reviewers (i.e., staff, Development Review Board) will use the design principles to provide consistent and fair review of proposed projects. The City recognizes that each project must be considered individually and is committed to a collaborative review process that has the shared objective (between project proponents, project reviewers, and other interested parties) of ensuring enduring and sustainable commercial areas and promoting quality design. Flexibility in considering alternative approaches to good design allows the City to encourage design creativity, and avoid possible undue hardships.

1.1 PURPOSE AND BACKGROUND

A. PURPOSE

The City of Paramount has historically prided itself in its design initiatives that place an emphasis on maintaining a high quality of life for residents and a sense of place, thus preserving the city people are proud to call “home.”

The purpose of the Design Guidelines will be to provide direction/guidance to City staff, elected and appointed decision makers, and applicants on the design of public realm and private realm projects in all commercial areas within the City. This document is an update to the Central Business District Architectural Guidelines, which were adopted in 1984.

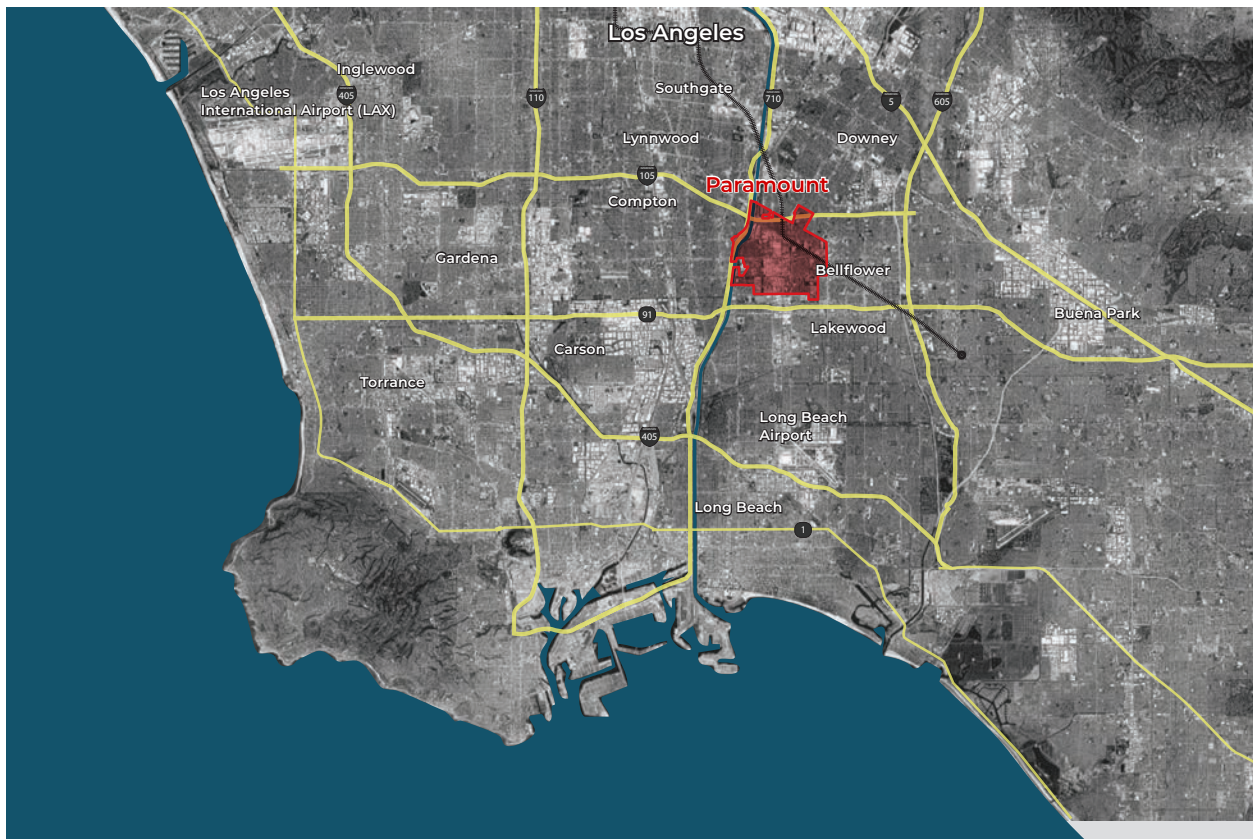
The Commercial Design Guidelines will aid the City of Paramount to plan for and guide the City's future to capitalize on the potential of commercial areas, and stimulate new private investment. While the 1984 Architectural Guidelines focused on building and site design characteristics of the Central Business District, the Commercial Design Guidelines expands the scope both *geographically* and *topically* by addressing all commercial areas in the City and including

guidelines for the public realm (e.g., the design of the pedestrian environment and public space) in addition to the private realm (e.g., building design and site design).

B. LOCATION

The City of Paramount is located in the southeastern area of Los Angeles County and is approximately 4.9 square miles in area (see **Figure 1-1**). The city shares a common boundary with Downey, Long Beach, Bellflower, South Gate, Compton, Lynnwood and the East Rancho Dominguez area of unincorporated Los Angeles County. Paramount is primarily a residential community with commercial and industrial areas. The City of Paramount has over 50,000 residents and 3,000 businesses. Paramount Boulevard is the primary north-south major commercial arterial through the City, and Alondra Boulevard and Rosecrans Avenue are the primary east-west commercial arterials.

FIGURE 1-1. REGIONAL LOCATION



C. AREAS TO APPLY THE GUIDELINES

As mentioned above, the Commercial Design Guidelines apply to all commercial areas in the City including, but not limited to, the Central Business District (see **Figure 1-2**). The Central Business District (CBD) is along portions of Paramount Boulevard and Alondra Boulevard. Along Paramount Blvd, the CBD extends from the southern boundary of the City to 3rd Street, which is just north of Somerset Boulevard. Along Alondra Blvd, the CBD extends from a few properties to the west of Paramount Blvd to almost the eastern boundary with the City at Bellflower. Other applicable areas include all parcels that are zoned C-3 (General Commercial) and C-M (Commercial-Manufacturing), as indicated in **Figure 1-2**.

D. DOCUMENT ORGANIZATION

This document is composed of six principal sections:

CHAPTER 1 - INTRODUCTION AND VISION

The vision illustrates the City's and community's broad goals for the Design Guidelines. These goals reflect community input that has been received at various community outreach events, as well as input by the Chamber of Commerce, and reviews by City staff, the Planning Commission, and City Council.

CHAPTER 2 - PUBLIC REALM

The public realm guidelines provide guidance within the public right-of-way which constitutes the public streetscape as a complementary component of the private realm guidelines. This chapter will provide guidance on streetscape elements such as street furniture, landscaping, and lighting which will enhance the visual interest, attractiveness, and overall pedestrian-friendly environment in support of viable and vibrant commercial activity.

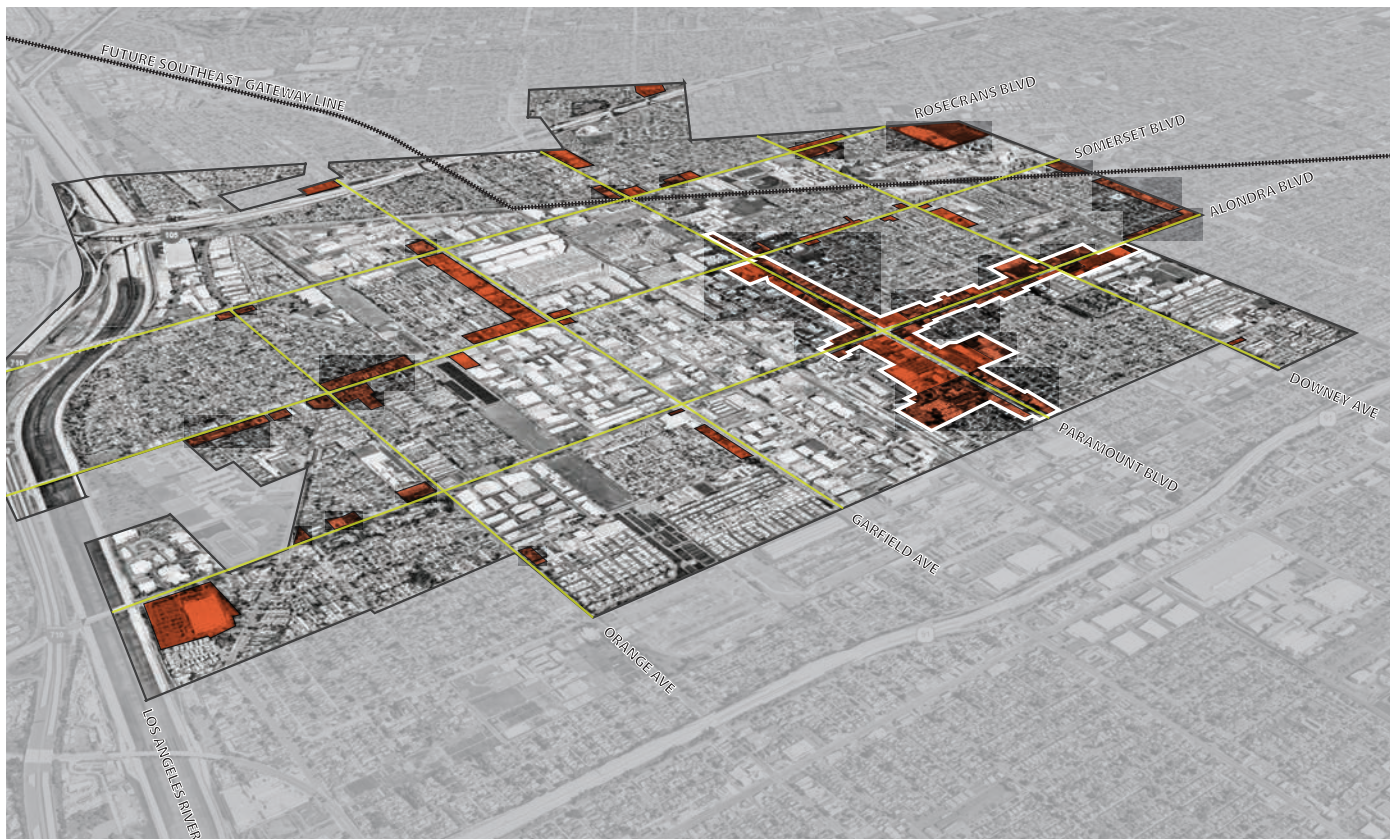
CHAPTERS 3, 4 AND 5 - PRIVATE REALM

These chapters are the heart of the commercial guidelines update, as they reflect the guidance on future development within the private realm of commercially zoned areas throughout the City. Site, open space, and building design are addressed to provide direction on private realm elements such as site access, street-facing open space, and ground floor building treatments.

CHAPTER 6 - SPECIAL CONDITIONS

While the Commercial Design Guidelines give direction for the design and development of commercial areas throughout the city, Chapter 6 addresses special conditions for the Central Business District.

FIGURE 1-2. EXISTING CENTRAL BUSINESS DISTRICT, C-3 AND C-M COMMERCIAL AREAS



1 - Introduction

E. HISTORY OF PARAMOUNT

In the first half of the 20th century, the towns of Hynes and Clearwater were the center of Southern California's dairy industry, and were known as both "The Milk Shed of Los Angeles" and "The World's Largest Hay Market." Hynes-Clearwater had more cows per square mile than anywhere west of Chicago – a total of 25,000 at its peak. It was home to the Hay Tree, where the price of that commodity was set each morning for the rest of the world. (The tree, which still stands today, was named California Registered Historical Landmark No. 1038 in 2004.)

In 1948, after discussions dating back to 1925, the two towns unified under the name of Paramount. This name was taken from the main boulevard running through the area, which itself had been changed from Ocean Ave. in 1931. Incorporation as a municipality was eventually approved in 1957.

As the years went by, the region urbanized, and the land finally became more valuable for development than milk production – when homes and stores nudged out cows and bales of hay – the farmers left for places like Ontario and Chino.

The history of Paramount has in many ways followed a path typical of its Southeast Los Angeles County neighbors. Agricultural beginnings early in the 20th century were followed by relatively uncontrolled growth, which led to an overbuilt environment. By the 1970s, while still basically a stable, middle-class town, many areas of Paramount had fallen into blighted conditions.

Combining existing urban planning tools with programs of its own, the City began leaving its "Rust Belt" status behind in the 1980s. This led to Paramount being named an "All-America City" by the National Civic League in 1988, and many of its innovative programs have attracted state and national recognition. The Los Angeles County Board of Supervisors issued a special commendation to Paramount for its remarkable turnaround.

These last decades have been years of rejuvenation. How this was achieved is chronicled in "The Revitalization of Paramount." This story is one of innovative thinking, hard work, creative vision, and community spirit; all have come to define Paramount.



Paramount Boulevard in the 1930s

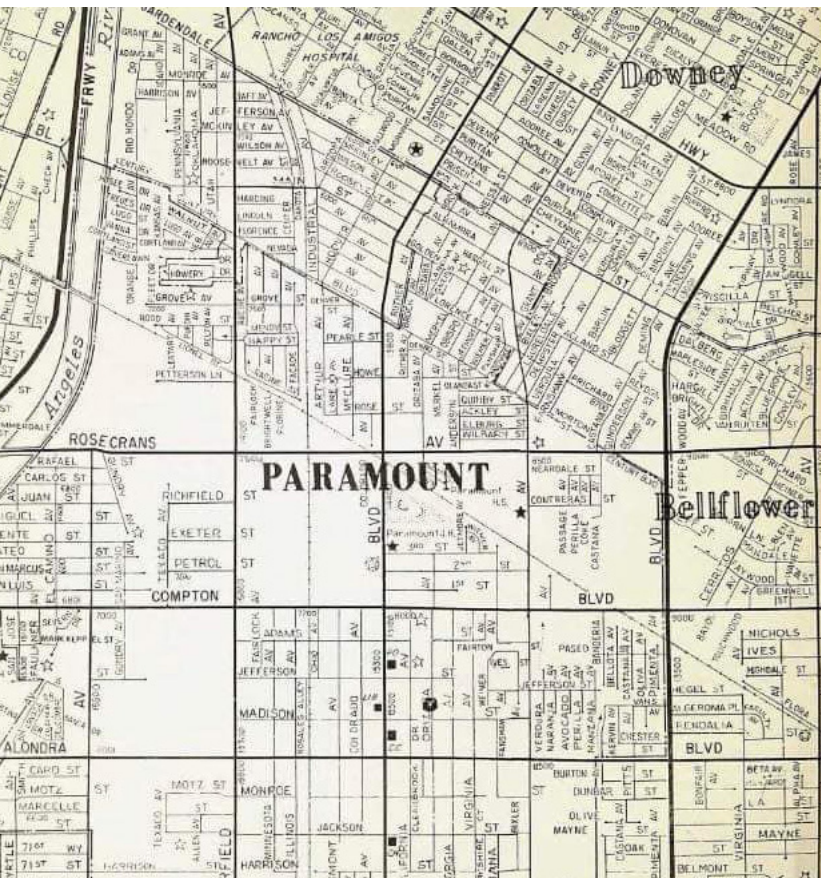


City of Paramount Aerial



Clearwater Garage





1960s Map of Paramount, CA



Market on Paramount Boulevard & Somerset Boulevard



Shops on Paramount Boulevard in 1954

1.2 VISION AND GUIDING PRINCIPLES

VISION STATEMENT

The Commercial Design Guidelines will support walkable, accessible, well-connected commercial environments, and provide guidance to enhance them with shopping, cultural, recreational, employment and housing opportunities, including key public and private realm amenities to create vibrant commercial areas.

A. GUIDING PRINCIPLES

To realize the vision, the guiding principles listed below inform the project goals detailed in the following section. **Figure 1-3** reflects the primary features that will be addressed under the principles and goals of these guidelines, which include the Downtown commercial core, the adjacent major commercial corridors, and the future transit station.

- Create a sense of place and enhance community identity.
- Facilitate compact, mixed use development.
- Create a comfortable and welcoming pedestrian environment while acknowledging the continued use of cars and other vehicles.
- Enhance the vitality of commercial areas.
- Ensure compatibility, cohesiveness, and consistency in urban design throughout the City.
- Create a distinctive character and sense of place for commercial streets.

- Encourage high-quality development and creative design.
- Provide clear design direction to project applicants, developers, designers, and Paramount Planning Department staff, while ensuring flexibility in design approaches.
- Facilitate a clear and expeditious project review process.
- Articulate a vision for future commercial development that is sustainable and resilient.
- Promote the reuse and revitalization of existing commercial centers by encouraging new private investment.
- Promote quality development through project approval streamlining, flexible guidelines, and a proactive design approach.
- Ensure an excellence of design through appropriate high-quality design, scale, and siting, and the use of appropriate building materials and landscaping.

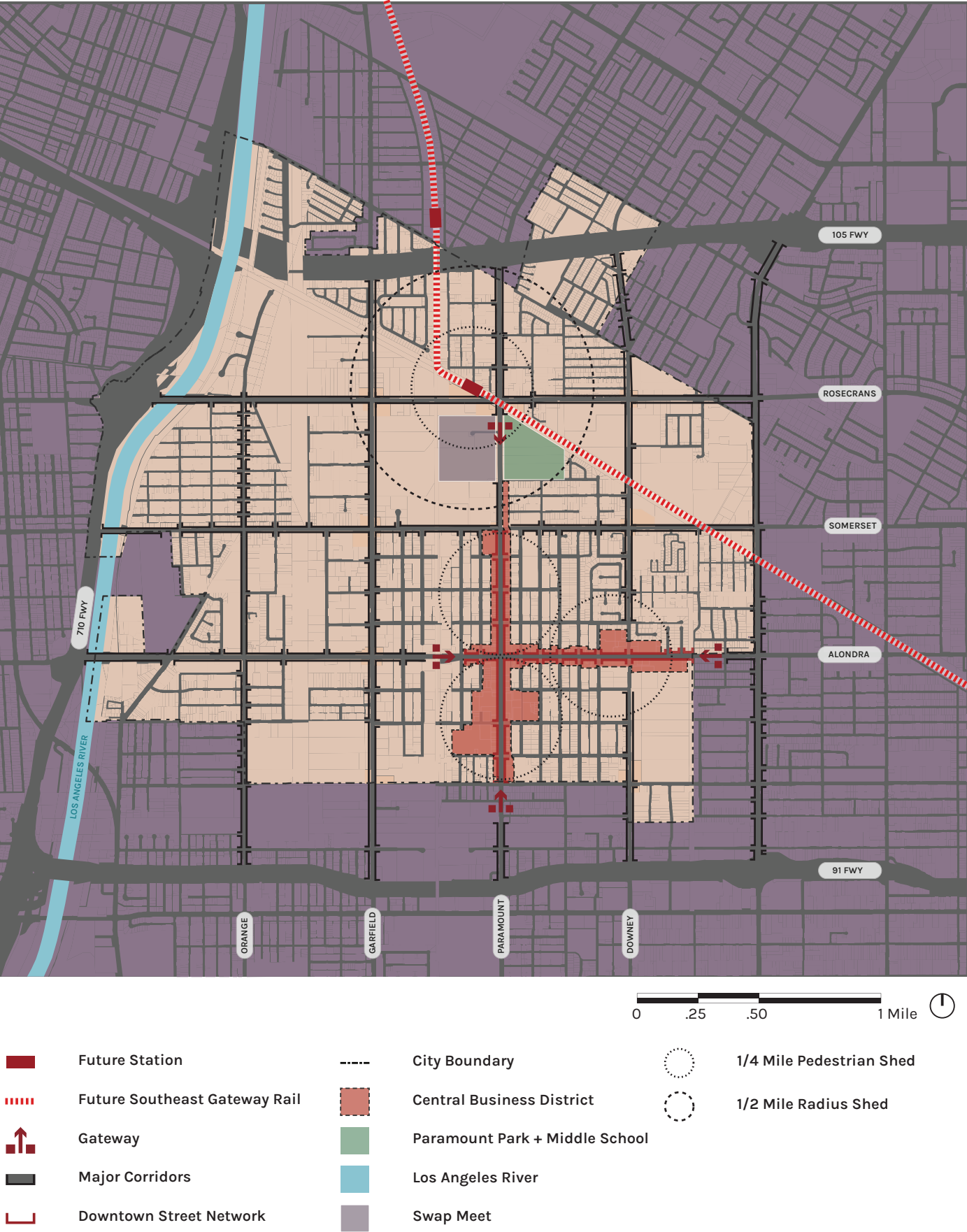


Public Realm as Complementary to Commercial Environment



Diversity of Integrated Public and Private Realm Elements

FIGURE 1-3. VISION FRAMEWORK



1.3 GOALS AND OBJECTIVES

The Goals and Objectives will focus on the current C-3 and C-M zones, prioritize private areas with underutilized land and uses, and integrate other areas along major commercial corridors that have potential for short- and long-term change as shown in **Figure 1-4**.

Opportunities to enhance and support a vision where potential future commercial activity can thrive will also serve as a strategic framework for these guidelines to be a flexible tool for an evolving commercial climate, while building on the C-3 and C-M zones to achieve commercial conditions unique to the City of Paramount.

Goal 1: Provide attractive commercial corridors in support of vibrant infill and mixed-use development.

- Encourage public and private amenities and infrastructure that complement the intensity of uses along major commercial corridors, such as Paramount Boulevard and Alondra Avenue, including support of mixed-use commercial projects that can be located at strategic intersections.
- Provide guidelines allowing for flexibility of infill developments to be vertical and horizontal mixed-use structures on existing underutilized land.

Goal 2: Grow employment-focused opportunities for commercial redevelopment.

- Support future employment focused commercial mixed-use projects in C-M and C-3 zones, near the Freeways, and in the Central Business District (CBD).
- The Paramount Swap Meet site is likely to take up a high demand for new intensified mixed uses, which should be strengthened by guidelines that support a diverse environment.

Goal 3: Increase the amount, variety, and quality of commercial uses, such as restaurants, retail, office, and hotel, along major streets in the City.

- Create supportive new retail in clusters at key intersections to maximize the success of businesses and tenants. Intersections of focus include: Paramount/Alondra, Paramount/Rosecrans, Paramount/Jackson, Paramount/Somerset, Paramount/Rosecrans, Rosecrans/Orizaba, Rosecrans/Garfield, and Garfield/Alondra.



Open Space Improvements in Support of Commercial Uses



Variety of Building Frontages along Commercial Streets

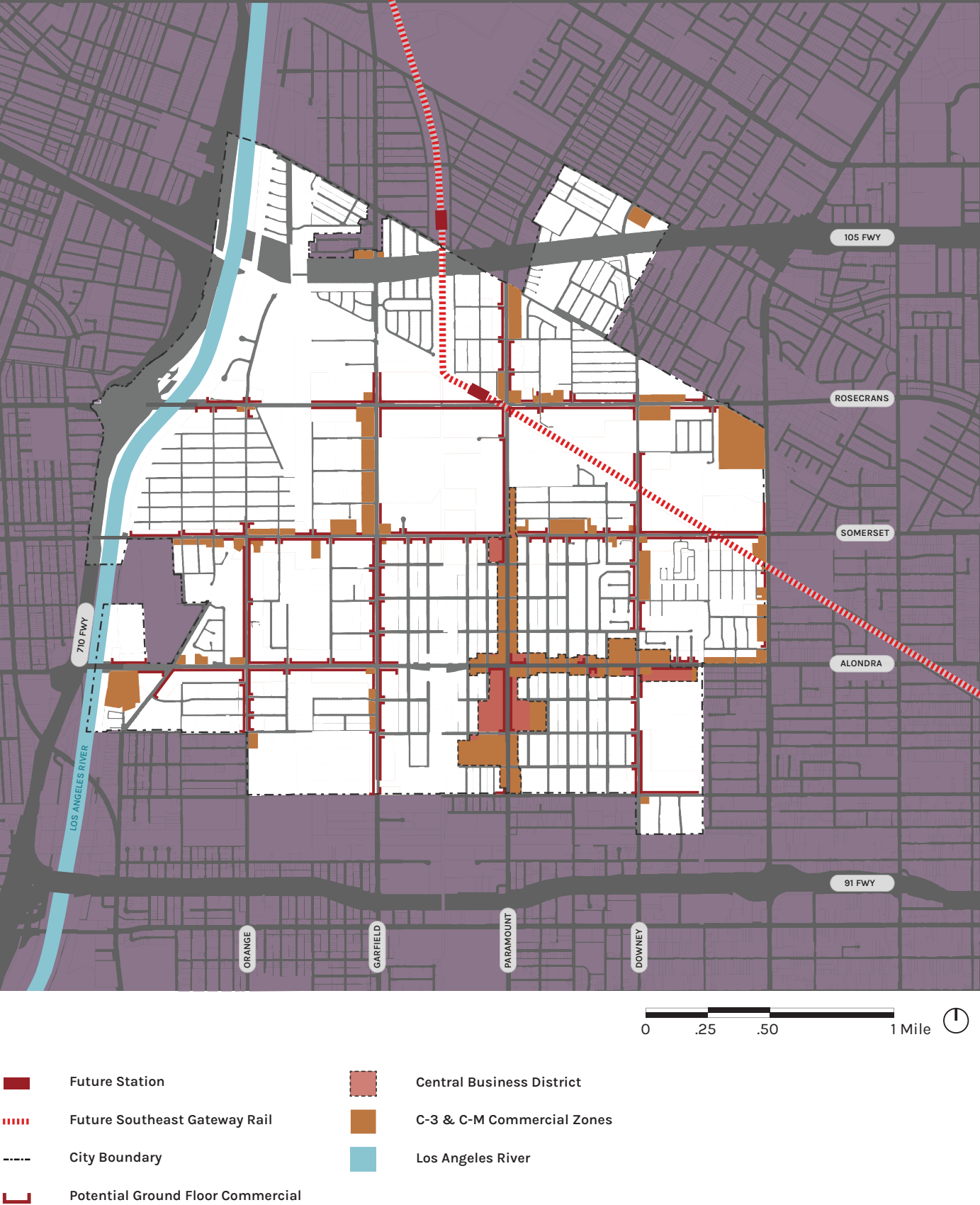


Courtyards and Forecourts with Outdoor Dining



Commercial Activity with Publicly Accessible Open Space

FIGURE 1-4. NETWORK OF PARCELS WHERE THE COMMERCIAL DESIGN GUIDELINES APPLY



1.4 PLANNING FRAMEWORK

A. RELATIONSHIP TO OTHER PLANS, CODES, AND PROJECTS

This section introduces some key citywide and localized plans and projects that influence -- and/or are influenced by -- the Commercial Design Guidelines.

PARAMOUNT GENERAL PLAN

The City of Paramount adopted the current General Plan in 2007. The General Plan is applicable to every parcel within the City and includes several elements which regulate policies across the City including but not limited to the Land Use Element, Housing Element, Transportation Element, Health and Safety Element, and Environmental Justice Element.

The General Plan is the overarching policy document for the City and all land use and mobility regulations must comply with its provisions, as mandated by California state law. The Commercial Design Guidelines is generally consistent with the intent, goals, and policies of the Paramount General Plan.

PARAMOUNT MUNICIPAL CODE - ZONING

The Paramount Municipal Code (PMC) implements the General Plan through citywide and zone-specific regulations. Title 17 of the PMC includes conventional zoning regulations as well as the codified North Paramount Gateway Specific Plan (Chapter 17.84).

Paramount has two “traditional” commercial zones - the C-3 (General Commercial) zone and the C-M (Commercial-Manufacturing) zone. Presently the C-3 zone directly requires all buildings to “conform to the adopted architectural guidelines of the central business district.” (See Sec. 17.24.050 of the Paramount Municipal Code.)

NORTH PARAMOUNT GATEWAY SPECIFIC PLAN

This plan guides how areas within a half-mile of future transit stations along the Southeast Gateway Line (under construction) can develop over time and accommodate transit-supportive development while supporting existing community character. The Specific Plan, which was approved in 2023, promotes economic growth by identifying active mobility improvements and community development opportunities for residents and businesses. It will also support sustainability efforts and community health through sustainable design and reduction in vehicle miles traveled.

PUBLIC ART MASTER PLAN (PAMP)

Paramount’s first-ever Public Art Master Plan (PAMP) provides a unified vision for the selection, placement, growth, and ongoing management of public art around the City. The PAMP guides future expenditures and strengthens the city’s overall public art program.

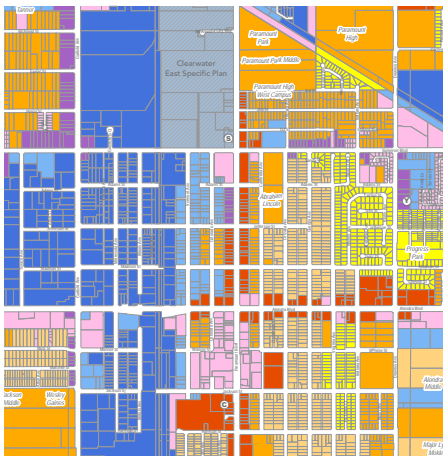
SOUTHEAST GATEWAY LINE

The Southeast Gateway Line is a 20-mile light rail line that will connect southeast corridor cities from Artesia to Downtown Los Angeles. The corridor is approved to pass through the City of Paramount, including a station near the intersection of Paramount Boulevard and Rosecrans Avenue, which is north of the Central Business District. Construction began in 2025.

BELLFLOWER - PARAMOUNT ACTIVE

TRANSPORTATION PLAN

The City of Paramount approved The Active Transportation Plan (ATP) in 2019 to increase safety for all roadway users and make improvements to make bicycling and walking more safe and enjoyable.



City of Paramount Zoning Map



North Paramount Gateway Specific Plan



LA Metro Map of Southeast Gateway Line

1.5 PLANNING PROCESS

A. PUBLIC OUTREACH

The Project Team conducted a series of public outreach efforts to solicit feedback from the community regarding different approaches to developing the Design Guidelines. The Project Team staffed an information booth at two major City events on the following dates:

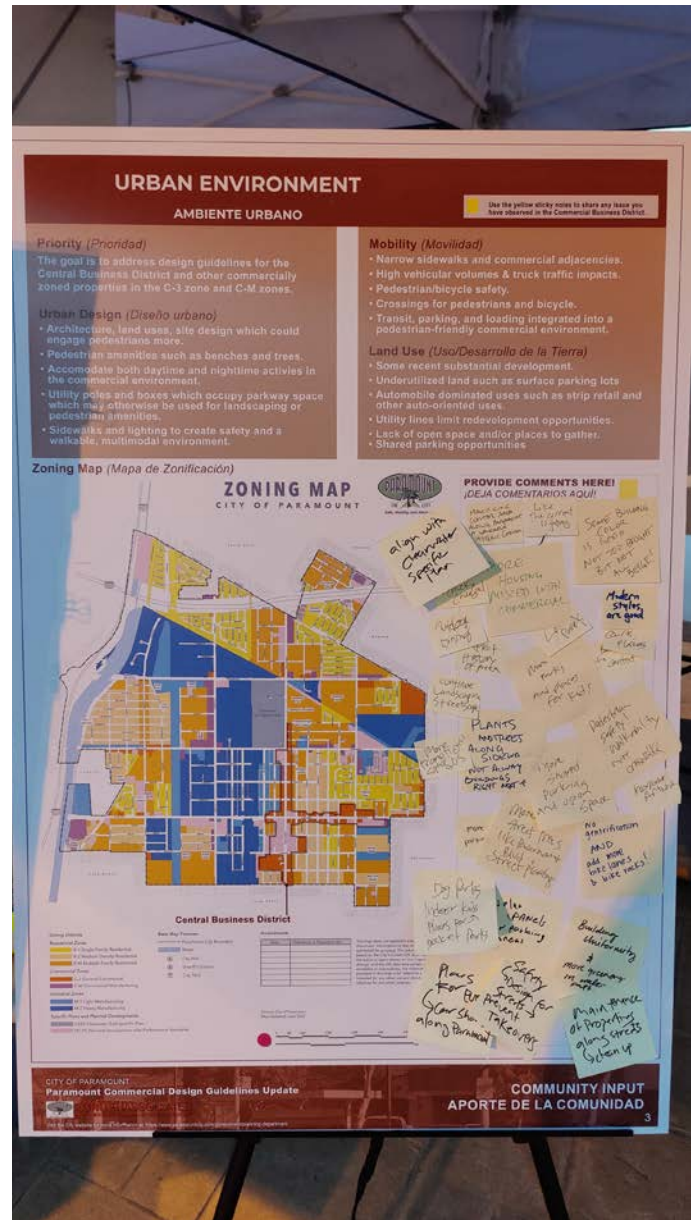
- Eco-Friendly Fair: April 21, 2024
- Friday Night Market: June 9, 2024

At each event, the Project Team presented to the public the preliminary project goals and findings based on the review of the 1984 Commercial Business District Architectural Guidelines, other city plans, and input from City staff and the community for this update effort. The Project Team presented both informational boards as well as interactive boards where participants could apply stickers to indicate their favorability toward the various findings and guideline approaches presented.

In addition, the Project Team presented the draft Commercial Design Guidelines at a community engagement event on (TBD) to collect additional feedback for the Final Draft before presenting to the Planning Commission and City Council.

KEY CONCERNS

- Ensure a walkable and safe Civic Center and Downtown area along Paramount Boulevard.
- Enhancing the historic character of Paramount's Downtown through preservation and reuse.
- Continue the lighting that exists in the Downtown area.
- Explore flexibility with building style and colors that are not bright and not all beige.
- Create guidelines in support of youth-related commercial uses and activity.
- Include guidelines that integrate mixed-use housing with commercial activity.
- Consider more opportunities for outdoor dining to create vibrant commercial environments.
- Consider sustainable solutions such as solar panels to improve the commercial environment.
- Consider a variety of open spaces such as courts and plazas for people to gather, and continue to enhance streetscapes with more street trees and planting.
- Be sensitive to scale and context such as building height.
- Improve connectivity with transitional spaces such as paseos.
- More parking is needed but more shared parking opportunities should be included to better utilize land.
- Incorporate artwork into the guidelines.
- Improve bike amenities such as bike racks and storage.



Public Outreach Interactive Board with Feedback Comments



Commercial Design Guideline Concepts Presented

1.6 ADMINISTRATION OF THE GUIDELINES

A. GENERAL ADMINISTRATION

The design review process implemented through the Planning Division of the Planning Department is supported by the City's Development Review Board (DRB).

Three basic procedures are specified for the review of projects: 1) Development Review Board/Planning Commission approval; 2) Parcel Map or Tract Map approval by the Planning Commission and City Council for any project requiring the creation of lots, including condominium projects; 3) Nondiscretionary approval for smaller additions or accessory dwelling units (ADUs) where allowed.

1. Development Review Board approval should be obtained in accordance with the provisions of Chapter 17.60 of the Paramount Municipal Code. The Board may approve, modify, conditionally approve, or deny said application.

The Development Review Board may require additional studies or development provisions at the time of site plan review for individual projects. Recommendations may include detailed noise, vibration, and/or odor studies and incorporation of specific design features to ensure compatibility between different land use types.

2. Prior to the creation of any lots, a tentative parcel or tract map should be processed in accordance with the provisions of Title 16 of the Paramount Municipal Code. The Planning Commission may approve, modify, conditionally approve, or deny said application.

B. AMENDING THE GUIDELINES

REQUIREMENT AND PROCEDURES

The Commercial Design Guidelines may be amended at any time in the same manner and process by which the Guidelines were originally adopted. An amendment or amendments should not require a concurrent General Plan amendment unless by determination of the Planning Director, or if the General Plan goals, objectives, policies, or programs would be substantially affected by the proposed change.

MINISTERIAL ACTION

The addition of new information to the Commercial Design Guidelines that does not change the effect of any concepts or regulations may be made administratively by the Planning Director, subject to appeal to the Planning Commission.

The Commercial Design Guidelines is a tool to implement the Paramount General Plan and is intended to guide the design of new development and infill projects for commercial areas. The goals of the Design guidelines are aligned with the General Plan's goals as follows:

- 1 Increase walking, bicycling, and transit ridership and reduce vehicle miles traveled



- 2 Facilitate compact, mixed use development



- 3 Increase economic activity



- 4 Facilitate the public investment of infrastructure improvements



- 5 Streamline the review process for future infill development projects



1.7 THE COMMERCIAL AREAS TODAY

Paramount is a unique place, known for its successful transformation into an attractive small city graced by tree-lined neighborhoods, white picket fences, public art, pocket parks, and landscaped boulevards. The following page gives a summary of the current land use, urban design, mobility, and public realm conditions within the commercial areas today.

A. LAND USE

The City is generally comprised of four land uses: single-family residential, multi-family residential, commercial, and industrial. Medium-density residential can also be found along the commercial corridors. The businesses within the study area represent a range of general commercial uses including retail, restaurants, and professional offices. Throughout the City there are very few vacant parcels.

B. URBAN DESIGN

Many of the commercial areas have traditional strip retail and multi-family buildings built in the 1970s and 1980s along its corridors. This existing pattern is typically inward looking and does not activate the street. Auto-oriented retail is also a dominant use along many major corridors such as Rosecrans and often includes surface parking and limited landscaping. Several buildings along major corridors have blank walls, little to no vegetation, limited windows, and sidewalk-adjacent parking lots. These characteristics do not reinforce a positive pedestrian experience. Portions of Paramount Boulevard do have large street trees and 15 foot-wide sidewalks/parkways which with additional enhancements could foster excellent pedestrian connections and support commercial activity.

C. MOBILITY AND PUBLIC REALM

The primary roadways in the City include the Paramount, Garfield and Downey Corridors for north-south travel and Rosecrans, Alondra, and Somerset corridors for east-west travel which serve as the core for all commercial activity in Paramount. Paramount Boulevard provides north-south connectivity across the City and connects the City to the I-105 freeway and the regional freeway system as well as the cities to the north and south of Paramount. Rosecrans Avenue provides east-west connectivity within Paramount and to the adjacent cities spanning from Norwalk in the east to Manhattan Beach to the west. The mentioned arterials, as well as many of the other local streets, have on-street parking on both sides of the roadway.

Several community parks are located within the City which include All American Park, Paramount Park, Progress Park, Spane Park, Salud Park, Garfield Park, Dills Park, Village Park, and Meadows Park.



Large Scale Development in the Downtown CBD



Landscaped Streetscape into the Downtown Core



Common Strip Commercial Conditions



Commercial Building and Parking along Primary Corridor



2 PUBLIC REALM

2.1	Introduction	20
2.2	Street-Facing Open Space	23
2.3	Connectivity Improvements	26
2.4	Public Realm Landscaping	28
2.5	Materials	32
2.6	Street Amenities	33

1930s

2.1 INTRODUCTION

This Chapter provides guidance to both City staff and private developers for the design of streetscape elements in the public realm; these include all physical components in the public right-of-way, including roadways, parkways (landscaping strips), street trees, sidewalks, and open space. These public realm guidelines also apply to areas in private setbacks that are publicly accessible, such as plazas, seating areas, and extended sidewalks.

A. PUBLIC REALM FRAMEWORK

Providing safe, reliable, and accessible public realm network to and from destinations, including transit, is a fundamental component of a successful commercial environment. As development opportunities are introduced, certain amenities should be added to ensure pedestrians, cyclists, visitors, and commuters are able to safely and comfortably move around the city.

Figure 2-1 illustrates the public realm framework, emphasizing the importance of a connectivity network and access throughout the City of Paramount and its Downtown core, the Central Business District (CBD). The map establishes streets in green as the primary commercial corridors connecting commercial and public open space as described in this chapter.

Existing open space, such as parks, are accompanied by quarter-mile radii to indicate accessible green spaces within a comfortable 5-minute walk to ensure that pedestrians, cyclists, visitors, and commuters can comfortably navigate the city for relief from traffic, for recreational opportunities, and to also act as complementary connections, along with major commercial corridors, to commercial activity throughout the City of Paramount. As development progresses, integrating amenities that enhance public streetscapes, open space, mobility, and public safety will be crucial to maintaining the dynamic and connected character of the City's commercial environments.



Outdoor Dining Area surrounded by Planters in a Plaza

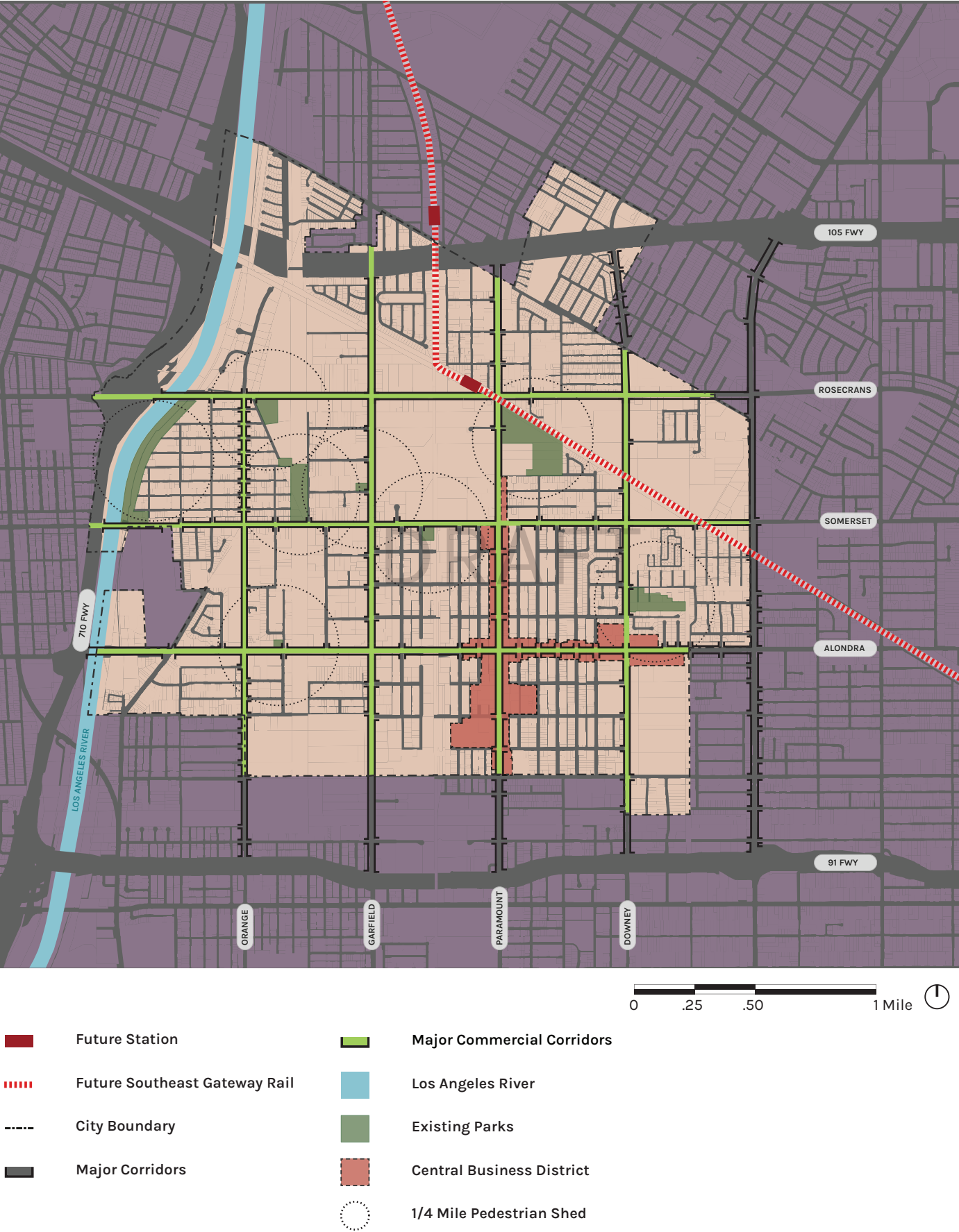


Street Frontage as Public Open Space



Courtyard with decorative paving and planting

FIGURE 2-1. PUBLIC REALM FRAMEWORK



B. NEIGHBORHOOD CHARACTER IN PUBLIC SPACES

1. **Public Art.** Commission local artists to decorate infrastructure such as utility boxes, blank walls adjacent to or visible from major arterials, and on pavement as part of temporary installations.
2. **Cultural Preservation and Resiliency.** Preserve cultural institutions, events, public art, and urban design features wherever possible. Examples of cultural events include farmers markets, art walks, festivals, block parties, holiday parties, etc.
3. **Monument/Signature Trees.** Where appropriate, establish a signature tree for the commercial areas to be planted at key locations throughout the city including in parkways as a street tree, in public parks and plazas, and at the future transit station. Monument trees for commercial areas should be relatively low maintenance, vibrant or colorful, preferably shade-providing, and historically significant to the area if applicable.
4. **Wayfinding Signage.** Provide wayfinding signage at key points throughout the city and within the Downtown area to direct travelers to the key destinations. Signs should be clear and use a unified style.

C. OTHER SPECIAL FEATURES AND MITIGATIONS

1. **Special Features.** To encourage social interaction, activate a public space and provide a unique identity for an area, special features such as public art and water elements are encouraged. Water could introduce a sense of relaxation and mask traffic noise.
2. **Transit User Amenities.** Collaborate with public agencies at transit stations to include park or plaza space with amenities for transit users such as benches, water fountains, waste receptacles, lighting, etc.
3. **Enhance Existing Parks.** Existing parks should have enhanced connections to neighboring destinations such as Downtown and the future transit station.
4. **Sound Walls.** Where possible, erect a sound wall between new development and an adjacent freeway to help serve as a noise and air pollution barrier.
5. **Vegetation Buffers.** Plant vegetation barriers between the freeway/high volume roadway and developments to help with pollution reduction.
6. **Green Streets and Air Pollution Mitigation.** Plant trees on streets with housing development and along commercial corridors to mitigate air pollution and to help reduce temperatures in warmer months.



Cultural Preservation in Enhanced Public Streetscapes



Street-facing Art

2.2 STREET-FACING OPEN SPACE

A. OPEN SPACE TYPES

1. **Town Square.** Historically, a Town Square is situated within a gridded street system and framed by active uses. Town Squares can also be defined as a civic space adjacent to a public building such as a cathedral or a civic building. They include features including a fountain, space for large events, performance space like a band shell, sculpture, sitting areas, cafes, and landscaping for stormwater management. Seasonal activities are also common to a Town Square depending on its size.
 - a) The town square should be within a 5- to 10-minute walking distance of the most intense portions of the commercial areas, such as the Downtown core, and appeal to diverse multi-generations.
 - b) Amenities to consider for the town square include arbors, trellises, sun terraces, decks, art installations, concert and performance spaces, formal seating areas, secondary sitting areas such as seating walls and steps, lighting, focal points, outdoor dining areas, recreational activities, bicycle hubs, shared vehicles, fountains, play areas, wayfinding signs and kiosks, trees, and landscaping with a variety of color and forms.
2. **Plazas.** Plazas are diverse in scale and character, and typically create a vibrant pedestrian environment. Plazas are flexible in their programming and use which allows for a variety of plaza types such as a transit plaza, street plaza, and gateway plaza. Transit plazas are open spaces adjacent to a transit station and should serve rail and/or multiple bus lines with passenger amenities including vendors stands and route signage. Street plazas are small public open spaces immediately adjacent to a sidewalk or an extension of the sidewalk. Gateway plazas are open spaces in front of a major building to operate as a gateway or entrance to the building and may be privately owned but open to the public.
 - a) Each plaza should contain pedestrian amenities and be planned with enough flexibility for use in all seasons and times of day.
 - b) Plazas should be distinct places which are visible and easily accessible to people from the public street and connected to the pedestrian and bicycle network in the Station Areas.
 - c) Amenities to consider for the plaza include arbors, trellises, sun terraces, decks, art installations, concert and performance spaces, formal seating areas, secondary sitting areas such as seating walls and steps, lighting, focal points, outdoor dining areas, recreational activities, bicycle hubs, shared vehicles, fountains, play areas, wayfinding signs and kiosks, trees, and landscaping with a variety of color and forms.
3. **Neighborhood Park.** A neighborhood park is typically recreation-oriented with children's playgrounds, community gardens, picnicking, and could include swimming, tennis, or basketball courts as well as passive landscaped areas. The neighborhood park could be public or private. If private it may be a part of a housing or mixed use development.
 - a) Each neighborhood park's uses and design should respond to the individual needs and character of a neighborhood.
 - b) If on private property, the park should be designed to intuitively welcome the public by its visibility through limited barriers from the sidewalks and streets.
 - c) The programming of existing neighborhood parks and recreation centers should be regularly monitored and adapt to new trends such as skate parks, soccer fields, or dog parks.



Town Square with Green Space & Sitting Areas



Water Feature in Commercial Plaza

2 - Public Realm

4. Pocket Parks. Pocket parks offer small areas for sitting, dining, and recreation, and could be located on public or private property. Privately owned public spaces may be internal courtyards, a sidewalk-adjacent easement designated for outdoor dining, or any other open spaces on private property designated for public uses or connectivity. A variety of social and recreational functions could take place in pocket parks, and certain pocket parks could be designed for a unique use, such as a dog park. Potential elements include lighting, permeable or decorative paving, fitness equipment, tables for games and dining; seating, planting, trees, water features to mask noise, public art, wayfinding, play equipment, and community information signage. “Pocket parks” are encouraged between buildings, in vacated streets or alleys, at street intersections, and at other publicly accessible locations to provide areas for congregating and relaxing, promoting a sense of “community.”

- a) Design of parks should accommodate a diversity of users although some depend on simplicity; universal design could be devoted to specialty users, such as a children’s playground or a dog park.
- b) Sustainable features, such as bioswales, permeable paving, LED lighting, solar lighting, drought-tolerant landscaping, and canopy trees for shade should be incorporated.
- c) Program parks to be integrated with surrounding uses, such as a coffee shop, restaurant, or other businesses.
- d) Exercise equipment can be installed for public use.

5. Linear Park. A linear park is a wide landscaped area parallel to a public street curb, a rail line, or a busway and used by pedestrians, bicyclists, joggers and other social, health and recreational opportunities. While similar to paseos, linear parks can be seen as extensions of a standard street right-of-way. A linear park may also be in a wide landscaped median of a public street.

- a) Curb cuts and entrances for pedestrian/vehicular and bicycle crossings should be designed to provide safe and attractive pedestrian access.
- b) Pedestrian and bicycle pathways should cross at signalized perpendicular street intersections with consideration for separate striping for pedestrians and bicyclists.
- c) Connecting pathways should meander through canopy trees for shade and colorful planting with active recreational and passive places dispersed as appropriate.
- d) The character of linear parks could vary from low maintenance drought tolerant landscaping with bioswales to vibrant colorful planting with water features and art, and to an active market space atmosphere.

6. Pedestrian Mall. Providing a sense of place and history involves creating great urban spaces but also preserving, where appropriate, landmarks and historic buildings adjacent to these spaces. The focus could be a traffic-free street reclaimed for pedestrians, active transportation, and transit, often called a pedestrian mall, with dense retail, office, and residential interspersed with the area’s culture.



Small Neighborhood Pocket Park



Linear Park

- a) Pedestrian malls could be considered where they may operate as the main street, or in Commercial areas with a strong market for retail, restaurants, and entertainment uses such as tourist destinations and university settings.
- b) Foreconomic viability, pedestrian malls should extend across multiple blocks, have frequent programming of events, and be designed with consistent textured pavings, street furniture, outdoor dining, wayfinding signage, art work, and dramatic lighting.
- c) For flexibility and fire life safety, consideration should be given to incorporating a two-lane vehicular path that can be open and closed depending on events and anticipated crowds. This roadway space could be designed curbless with bollards.
- d) Active ground-level uses with large clear windows and entrances from the pedestrian mall is essential.

7. Outdoor Dining Areas. Roofed and unroofed outdoor dining areas along major commercial corridors such as Paramount and Alondra Boulevards (see **Figure 2-1**) are subject to the following guidelines:

- a) The outdoor dining area should be located immediately adjacent to the establishment with which it is associated. It can be located on an extended sidewalk area, within the maximum setback area, or within the public right-of-way upon obtaining an encroachment permit as approved by the Public Works Director or designee. An outdoor dining area to be shared between establishments within 50 feet of each other with a connecting path may vary from these requirements as approved by the Director.

- b) An accessible path of travel should be maintained for pedestrian and disabled access in compliance with the American Disabilities Act to and within the customer dining area. The path of travel should be not less than four feet in width and should comply with the California Building Standards Code as adopted by reference into the PMC.
- c) The restaurant operator should maintain the outdoor dining area in a clean and safe condition at all times, and properly dispose of all solid and liquid waste generated by the operation.
- d) Within any setbacks or required landscaping, no fence, wall, or hedge may exceed 42 inches in height, and the fence, wall, or hedge should be 50 percent transparent for visual connections to commercial building frontages and for safety.

8. Public Amenities. Project planning should include public amenities wherever possible – open courtyards seating areas, water features, etc. should be incorporated to provide congregating areas for local residents or users.



Outdoor Dining Area as a Parklet



Outdoor Commercial Activity on the Street and Rooftop

2.3 CONNECTIVITY IMPROVEMENTS

The following guidelines are informed by recommendations in the Bellflower-Paramount Active Transportation Plan.

A. ACTIVE TRANSPORTATION

1. Bicycle & Pedestrian Safety

- Utilize traffic calming tools such as curb extensions, road reconfiguration, and on-street parking to slow vehicular speeds.
- Provide attractive, well-lit pedestrian paths along major arterials.
- Analyze bicycle and pedestrian collisions and provide safety enhancements to address areas with a high number of collisions.

2. Sidewalks and Pedestrian Pathways

Provide adequate sidewalk widths to accommodate pedestrians and amenities such as canopy street trees within the street right-of-way:

- Along arterials, provide a combined sidewalk and parkway width of minimum 12' to accommodate two pedestrians walking side by side and space for street trees, street lights and other pedestrian amenities.
- On all other streets, provide combined sidewalks and parkways not less than 10' wide with a 5' minimum clear walking area and 5' for amenities.
- Utilize techniques such as curb extensions to increase sidewalk width and reduce pedestrian crossing lengths at crosswalks.
- Provide street lighting at regular intervals along all streets; ensure street trees are added such that they do not block or prohibit the addition of street lighting.
- Along commercial corridors, supplement traditional street lighting with pedestrian lighting to create an attractive sidewalk environment for pedestrians.



Pedestrian Pathway with Landscape Buffer

B. ROADWAY AND CURB DESIGN

- Crosswalks.** To alert motorists that pedestrians are present, provide High Visibility Crosswalks at all marked crossings, and advance yield lines at uncontrolled crossings.
- Traffic Calming.** Use traffic calming techniques such as curb extensions, speed bumps, raised crosswalks, traffic circles, and roundabouts to help slow the speed of traffic and minimize impacts on the community such as cut-through traffic.
- Street Layouts.** Discourage “superblocks” which span more than 400 feet between intersections and cul-de-sacs. Where possible, encourage attractive street vistas, or street-level viewsheds, terminating at destinations such as transit stations or other key landmarks such as major civic and commercial buildings or public parks.
- Curb Cuts and Driveway Widths.** To minimize traffic conflicts and breaks in the pedestrian realm, avoid multiple vehicle access points along major streets. Joint use or combined driveways are encouraged. The width of driveway area cuts should be minimized.
- Pedestrian Countermeasures.** To make an area safer for pedestrians, include devices such as median refuge areas, pedestrian-activated crosswalk signals and beacons, and countdown timers at non-signalized intersections.
- Street Furniture.** Along major commercial arterials, provide pedestrian and bicycle amenities such as lighting, benches/seating, bike racks, wayfinding signage, decorative paving, and public art. Establish a minimum level of street furniture to provide at all transit stops, and add more furniture at higher ridership stops.



Bike Racks on the Sidewalk

C. CURB EXTENSIONS

- 1. General.** A curb extension (also known as a bulb-out) is a portion of the sidewalk that is extended into the on-street parking lane, typically at intersections. Where there is on-street parking approaching an intersection along Paramount and Alondra Boulevards, a curb extension should be created. Curb extensions reduce the distance that pedestrians need to walk to cross the street, make pedestrians more visible to motor vehicles, cause drivers to reduce speed by narrowing the roadway, and provide space for pedestrian amenities (e.g., street furniture, bike racks, etc.) and environmental elements (e.g., bioswales).
- 2. Criteria for Locations.** Curb extensions should be installed in locations where they won't interfere with bicycle lanes or separated bikeways. If these treatments are needed, then additional design features such as ramps, or half-sized curb extensions should be considered. Curb extensions are optimal at intersections where right-turning volumes are limited, as the design precludes the ability to provide a dedicated right-turn lane.



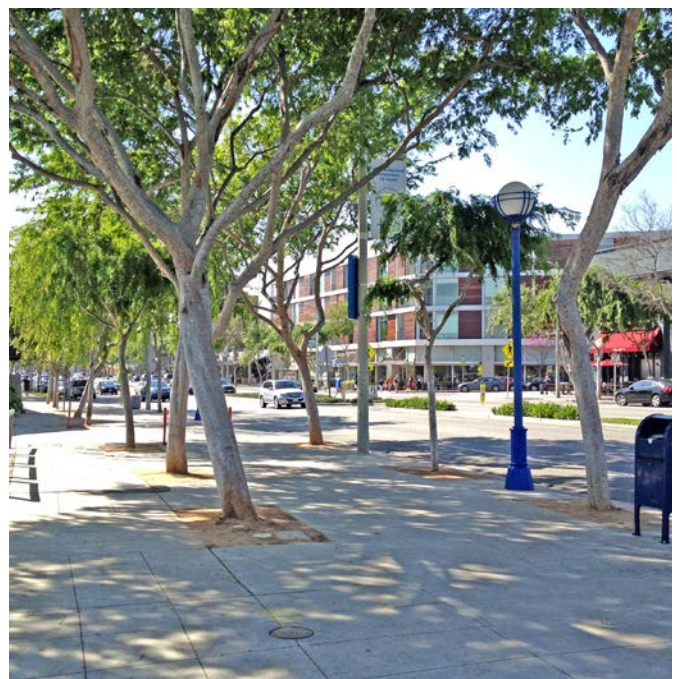
Bulb-Out at Intersection with Landscape Buffer



Bulb-Out with Diversity of Planting

D. FIRST/LAST MILE CONNECTIONS

- 1. Continuous Networks.** Provide continuous bus, pedestrian and bicycle networks, and shared mobility options (vehicles, bikes, scooters, etc.) to connect transit stations to local destinations.
- 2. Pedestrian Pathways to the Station.** Enhance primary pathways to the station including the existing sidewalk network which connects residential areas, adjacent to commercial areas, to the transit station. Along major arterials within this network, provide the pedestrian-scaled wayfinding signage to direct walkers to the transit station.
- 3. Pick-up and Drop-off Areas.** Provide pick-up and drop-off space at or near the transit station for buses, shuttles, and shared vehicles.
- 4. Alternative Mode Parking.** Provide bicycle parking and parking spaces for car-sharing programs along major corridors and in front of civic buildings. Encourage bicycle parking at new multi-family residential developments. Provide drop-off locations and docking spaces for shared micro-mobility devices (such as scooters) on public sidewalks along major corridors where space permits.
- 5. Bicycle Network.** Plan for an integrated bicycle network including protected bike lanes and bike boulevards, and amenities such as bike parking and lockers within the Commercial areas. Provide protected bike lanes or paths along corridors that lead to the transit station.



Wide Sidewalk with Ample Tree Cover for Shade

2.4 PUBLIC REALM LANDSCAPING

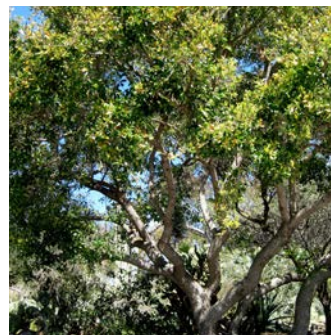
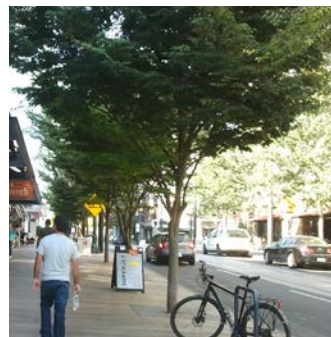
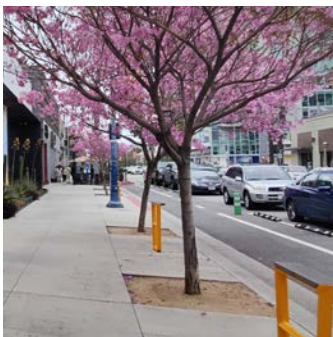
Street trees and other types of vegetation in the public right-of-way will enhance the walkability, comfort and attractiveness of commercial streets. Street trees provide visual interest, unity, and shade protection from the hot sun. They reduce the heat island effect, reduce stormwater runoff, improve air quality by absorbing greenhouse gases, and can provide wildlife habitat and food. Landscaping of parkways and tree wells complement street trees and assist in stormwater management.

A. PUBLIC RIGHT-OF-WAY LANDSCAPING

1. **Public Realm Planting.** Landscaped areas in the public realm (e.g., within the public right-of-way in medians, parkways) should use the approved plant palette (see Appendix A).
2. **Street Trees.** New canopy trees should be planted at the curb in minimum four feet by six feet tree wells and allow for a minimum of five foot wide clear path of travel.
 - a) Trees should be selected from the approved plant palette (see Appendix A). One 24-inch box tree and three 15-gallon trees should be encouraged for every 50 linear feet of landscaping, adjacent to any public right-of-way. All trees should be a minimum 15-gallon size.

- b) Street trees and landscaping in the public right-of-way should be specified to achieve a strong visual image that fits in the neighborhood, to respond to the area's climate, for low water requirements, for resistance to disease, for compatibility with soil and drainage conditions, and to avoid invasive roots that will uplift sidewalks.
- c) Trees should be selected to provide shade, visual consistency and/or visual interest. Existing shade trees should be preserved if possible, and if removed should closely match the size of the tree adjacent up to a maximum of 48" box. If streets are wide, tall canopy trees should be selected to create a strong visual impact and smaller trees may be selected for local small scaled street.
- d) Typical street trees should be spaced 25' - 30' apart while avoiding interference with street lighting, utilities and visibility of approaches to intersections and driveways.
- e) Trees of the same species in formal plantings should be the same size and form.
- f) No trees can be planted within sightline visibility zones along public roadways. Trees should be located no greater than 20 feet from the beginning of curb

Examples of properly designed tree grates that allow for tree growth over time, with "breakaway" components that can be removed as the trunk broadens.



Street trees highlight corridors and provide shade and relief from weather and traffic conditions.

returns at any street intersection, 20 feet from lamp standards and poles, 10 feet from fire hydrants, and 5 feet from service walks and driveways.

3. Tree Grates. Trunk openings should be adequately sized to accommodate a full-grown tree without constricting the trunk. Recommended are tree grates that have “breakaway” components that can be removed as the tree trunk broadens (see images below).

- a) Expandable tree grates should be provided along sidewalks and in plazas where a continuous walking surface is needed to meet universal accessible standard; otherwise, tree grates on private and public sidewalks are not required.
- b) Tree grates should be selected so that they do not inhibit tree growth as the trunk widens.

4. Parkway Planter/Bioswale. Parkway planters/bioswales meet an increasing demand to mitigate stormwater pollution from our streets and impermeable surfaces in our urban areas. Bioswale parkways between the street and sidewalk collect and filter stormwater run off from streets. Curb cut-outs direct street runoff into the permeable soils and native plants or grasses to help reduce the flow of water and to filter out pollutants such as sediment, trash, and heavy metals. If infiltration is not feasible due to soil conditions, drainage pipes may be installed beneath the soil to carry the filtered water to the storm drain system.

- a) If there is no curbside parking, place the parkway next to the curb. If there is curbside parking or loading, place a paved accessible area (minimum 18”-wide exclusive of the curb) between the curb and the parkway planter.
- b) Allow for accessible breaks in the parkway planters periodically.

5. Overhead Power Lines. Trees should also be appropriately set back from overhead power lines and above- and below-ground utilities, which may vary depending on utility type and power pole category.

6. Hardscape Adjacency. Trees planned within five feet (5') of hardscape elements should be installed with root barriers to prevent root encroachment and damage to paving.



Wide Sidewalk with a Mix of Activity and Landscaping



Pedestrian Amenities (seating) Integrated with Street Trees

B. PLANTING LAYOUT

1. **General Spacing.** Trees need adequate space to grow healthy canopies and supporting root structure. Trees should be spaced to ensure that no more than 1/3 of the tree's mature canopy will overlap into another tree's canopy. Give careful consideration to the following plant spacing issues when preparing the preliminary landscape plan:
 - a) The proximity of the plants to surrounding structures, trees, and existing landscape areas
 - b) The spacing, grouping, or massing of plants
 - c) The plant's growth rate and coverage specifications
2. **Service Areas.** Planting should be used to screen service areas from public view, such as parking areas, storage areas, trash enclosures, and utility equipment.
 - a) A buffer hedge planted in a line, closely enough to form a uniform texture, can be an effective screening device. Hedges should be shockproof, tough, and evergreen.
 - b) Larger container sizes or fast-growing species should be used to adequately screen elements by 50% within the second year of plant establishment.
3. **Plant Groupings.** Plantings should be grouped into zones of plants that have similar water use and microclimate growing requirements.
4. **Shrub Planting.** Shrub plantings should be spaced to fill in up to 100% of the proposed planting area within three (3) years after planting. All groundcover plantings should be spaced to fill in up to 80% of the proposed planting area within one (1) year after planting. It is understood that xeriscape and other low water use designs may not completely meet these standards; such plans may be approved if coordinated with the overall site design.



An Allee of Trees for Multi-use

C. PLANT MATERIALS

Refer to Appendix A for a list of appropriate plant species to select from for all conditions described here within.

1. **California-Adapted Plant Species.** All front setback areas, parkways, and medians should be landscaped with California native, and/or California-adapted plant species that are considered drought tolerant and are in compliance with the Model Water Efficient Landscape Ordinance (MWELO) of the State of California, and fall under the low water use designation. Plants that are adapted to long, dry summers and short, rainy winters are considered "California adapted" plants.
2. **Medium Water Use Plant Species.** Medium water use plant species should only be used in special circumstances as accent specimens, or when utility and trash screening measures are needed and low water use specimens cannot provide adequate coverage.
3. **Plant Arrangement and Maintenance.** Landscape design should consider plant spacing and long-term maintenance for each species. Plantings should be grouped by similar water use and micro-climate requirements.
4. **Plant Coverage.** The landscape design should consider the full growth of each plant in the desired placement and arrangement. Consider the specific plant's coverage and spread in order to adequately achieve full coverage within the desired planting area.
5. **Encroachment.** Also ensure that planting spread and height do not conflict or encroach upon any City setback requirements, including overhead power lines and above- and below-ground utilities, as well as City sightline visibility requirements along public roadways.
6. **Planting Diversity.** The proposed landscape design should include a diverse mixture of plant types and sizes. Landscape materials that are considered invasive to the area as determined by the California Invasive Plant Council (www.cal-ipc.org) are not allowed.



Landscaped Buffers along the Street for Relief from Traffic

D. STORMWATER MANAGEMENT

1. Sustainable Stormwater. Low impact sustainable design mimics the natural hydrologic process by controlling stormwater at the source and allowing it to slowly infiltrate and filter through plants and soils. Appropriate infiltration techniques and mitigation measures for public realm sustainable stormwater facilities are described below:

- a) Swales.** Swales are long, narrow landscaped depressions that are gently sloped along their length. They are primarily used to collect and convey stormwater while slowing down and filtering runoff. Swales are ideal for long, uninterrupted linear spaces, such as along streets, in parking lots, between buildings, in parkways, and in medians.
- b) Infiltration Trenches.** Infiltration trenches are subsurface facilities designed to provide onsite stormwater retention in areas of good infiltration by collecting and recharging stormwater runoff into the ground. Infiltration trenches are relatively low maintenance and can be easily retrofitted into existing sidewalk areas and medians.
- c) Rain Gardens.** Rain gardens are landscaped detention or bio-retention facilities designed to slow down and treat stormwater. Rain gardens are often found in the public realm located within curb extensions, medians, and parking lane planters. Rain gardens can also be used in front of homes or buildings to capture rooftop runoff from disconnected downspouts.

d) Permeable Paving. Permeable paving systems can provide the structural integrity necessary for cars, trucks, and pedestrian areas while reducing direct runoff by absorbing rainfall and providing temporary storage. Pervious paving is best suited for parking lots and parking lanes, low-traffic and low-speed streets, alleys, patios, driveways, and emergency access roadways.

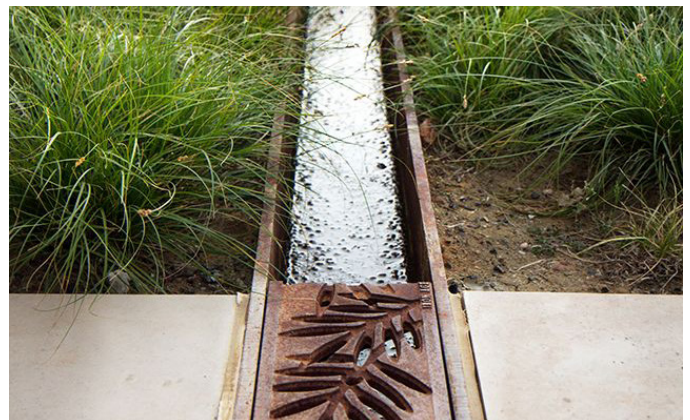
e) Runnels. Runnels are concrete or stone lined rainwater conveyance systems, and reduce the need for buried drain pipe by conveying surface water to other stormwater facilities. Runnels are appropriate for most street and open space types.

f) Flow-Through Planters. Flow-through planters only absorb as much water as soil and plants in the planter can accommodate. Infiltration planters are used to collect, filter, and infiltrate runoff from roofs, streets, sidewalks, driveways, and patios.

g) Curb Extensions. Curb extensions are an extension of the street edge into the street. They are often used to promote traffic calming but can provide stormwater benefits as well. Stormwater flowing along the street is slowed, filtered, and allowed to infiltrate before reaching storm drain networks. Curb extensions can take on the characteristics of bio-retention areas, swales, or planters.



Bioswale at Edge of Sidewalk for Stormwater Capture

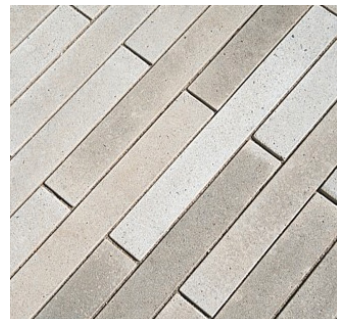
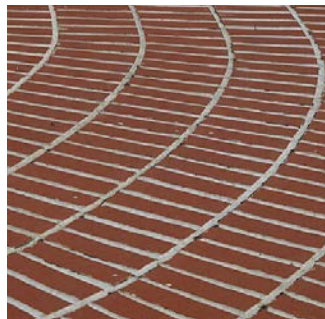
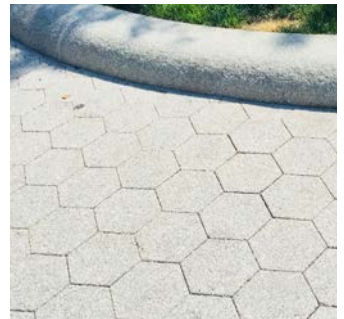


Runnels Collect Water after Rain Event in a Plaza

2.5 MATERIALS

A. HARDSCAPE TREATMENTS

1. **General.** Hardscape (paving, seating, retaining walls) can accentuate building features such as a curved building façade by repeating forms and highlighting these forms with specimen trees or accent plant materials.
2. **Creative Paving.** Creative paving treatments at sidewalks, driveways, arcades, etc. are encouraged. Walking surfaces should remain smooth, but accent paving borders are encouraged.
3. **Pedestrian Visibility.** Maintaining high-visibility crossings creates an intuitive and safe environment for all users. Existing crossings should be upgraded to include continental crosswalks. Continental crosswalks use striped bands to mark the crossing area to provide the highest visibility for both pedestrians and motorists. This is especially true for those junctions along Paramount, Alondra, and Somerset Boulevards.
 - a) Visibility also applies to sight distance. Pedestrians should be clearly visible by motorists up to 250 feet away. Visibility is enhanced by curb extensions.



Various Hardscape Decorative Treatments

2.6 STREET AMENITIES

A. STREET FURNITURE

Street furniture on sidewalks acts as a buffer between pedestrians and vehicular traffic and contributes to an active, vital, walkable environment. Benches, trash receptacles, and bicycle racks are recommended types of street furniture because they address needs that a pedestrian may have, such as a place to rest.

- 1. Pedestrian-Oriented Development.** Street furniture should be included in the development of pedestrian-oriented areas to produce a human scale and to add interest to the streetscape.
- 2. Sense of Place.** Street furniture should be utilized to promote walkable and active corridors and enhance a sense of place. Benches, water fountains, trash receptacles, and bicycle parking racks are recommended types of street furniture because they address needs that a pedestrian may have, such as a place to rest.
- 3. Placement.** Street furniture should be placed outside of the walking zone as to not create a hazard to pedestrians. In constrained sidewalk conditions, street furniture should be placed on curb extensions or integrated into private development within a required area dedicated to the public realm.
- 4. Benches.** Except at bus shelters and when space allows, benches should face or be perpendicular to the sidewalk, creating a seating area.
- 5. Waste Receptacles.** Waste receptacles should be placed near nodes of activity. Considerations should be given to providing waste receptacles for recycling and solar compacting waste bins.
- 6. Bicycle Racks.** Bicycle racks should be located near transit stops, major destinations, and bike paths.



Pedestrian Amenities in Various Settings

2 - Public Realm

B. TRANSIT STOPS AND SHELTERS

Transit stops and shelters should be designed for a positive passenger experience and for safety and security by providing adequate lighting, equipment such as emergency telephones, and visibility from the surrounding area and streets. Shelters should be established in the furniture zone and not in the pedestrian zone to ensure adequate space for pedestrian passage and sufficient room for bus wheelchair lifts to load and unload passengers.

- 1. Transit Shelters.** A shelter should be provided at all transit stops and stations where space permits to protect commuters from sun and from inclement weather. The shelter should be designed to provide adequate lighting, seating, a 5'x8' passenger loading area at the front door of the bus, accessibility to the bus and the sidewalk, and information signage.
- 2. Seating.** Benches or seats should be provided at all transit stops and stations for commuters to rest while waiting for the bus or train. Additional seating should be installed within close proximity of transit stops and stations and under shelter if feasible.
- 3. Signage.** At a minimum, all transit stops and stations should provide signage displaying the route number, timetables, and maps to benefit patrons with transfers and those that are less familiar with the network. For major transit stations and terminals, displaying real time information on arriving transit vehicles should be considered.



Transit Stop Amenities in the Public and Private Realms

C. WAYFINDING

Including wayfinding signage in the furniture zone can help visitors navigate to major destinations, public facilities, and transit connections. Pedestrian wayfinding signage may be vertical signage or paved markings, and can have digital displays to show time to the station. Wayfinding can be used to help create an identity for an area and can contribute to placemaking in the Commercial areas. Generally, wayfinding signage comes in three types: 1) Identification signs that mark key destinations and activity centers, 2) Informational signage that provide contextual information on a point of interest, and 3) Directional signage that show the optimal route between key destinations. A successful commercial area will make use of all three types of signage with an emphasis on directional signage points of interest, such as a shopping district, and informational signage for major destinations.

1. **Consistency.** Directional and informative signage should use a consistent color palette, fonts, materials, and graphics and be scaled for its purpose.
2. **Key Intersections.** Key intersections such as the Paramount Boulevard and Alondra Boulevard junction and the gateways such as the Paramount Boulevard and 70th Street junction require greater attention to detail due to their prominent locations and sensitive relationship to the public realm.

The treatment of buildings and the public realm at key locations creates a landmark and establishes a unique sense of identity.



Wayfinding Signage Integrated into Various Conditions



3 PRIVATE REALM: SITE DESIGN

3.1 Introduction	38
3.2 Access	40
3.3 Front Setbacks	41
3.4 Landscaping	42
3.5 Parking Lot Location and Access	44
3.6 Transition and Screening	45
3.7 Drop Off and Pick Up	46
3.8 Environmental Design	47



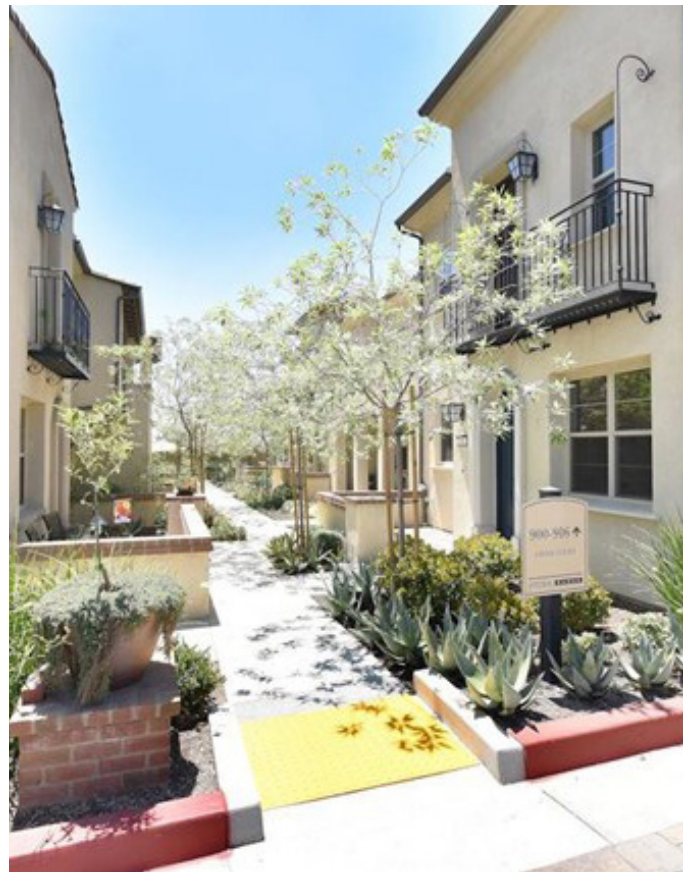
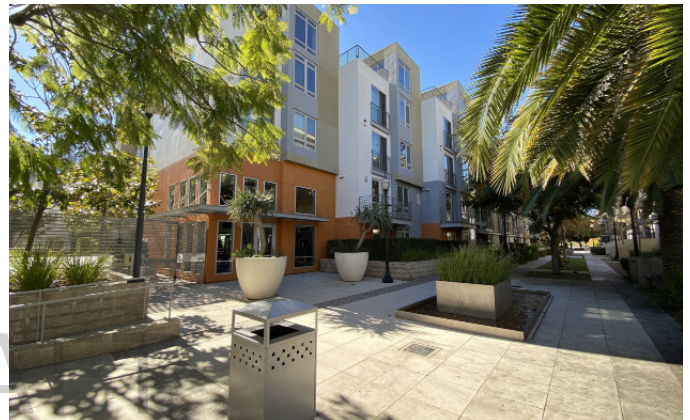
3.1 INTRODUCTION

A. PRIVATE SITE DESIGN FRAMEWORK

New development to support the proposed vision will be concentrated along commercial corridors and will not change the continued daily activities of residential areas. This framework ensures cohesive, high-quality development that supports a vibrant and accessible commercial private realm which engages retail, restaurants, office, employment-focused high-quality medium and higher-density housing, and other job-generating activities, entertainment, and public gathering spaces.

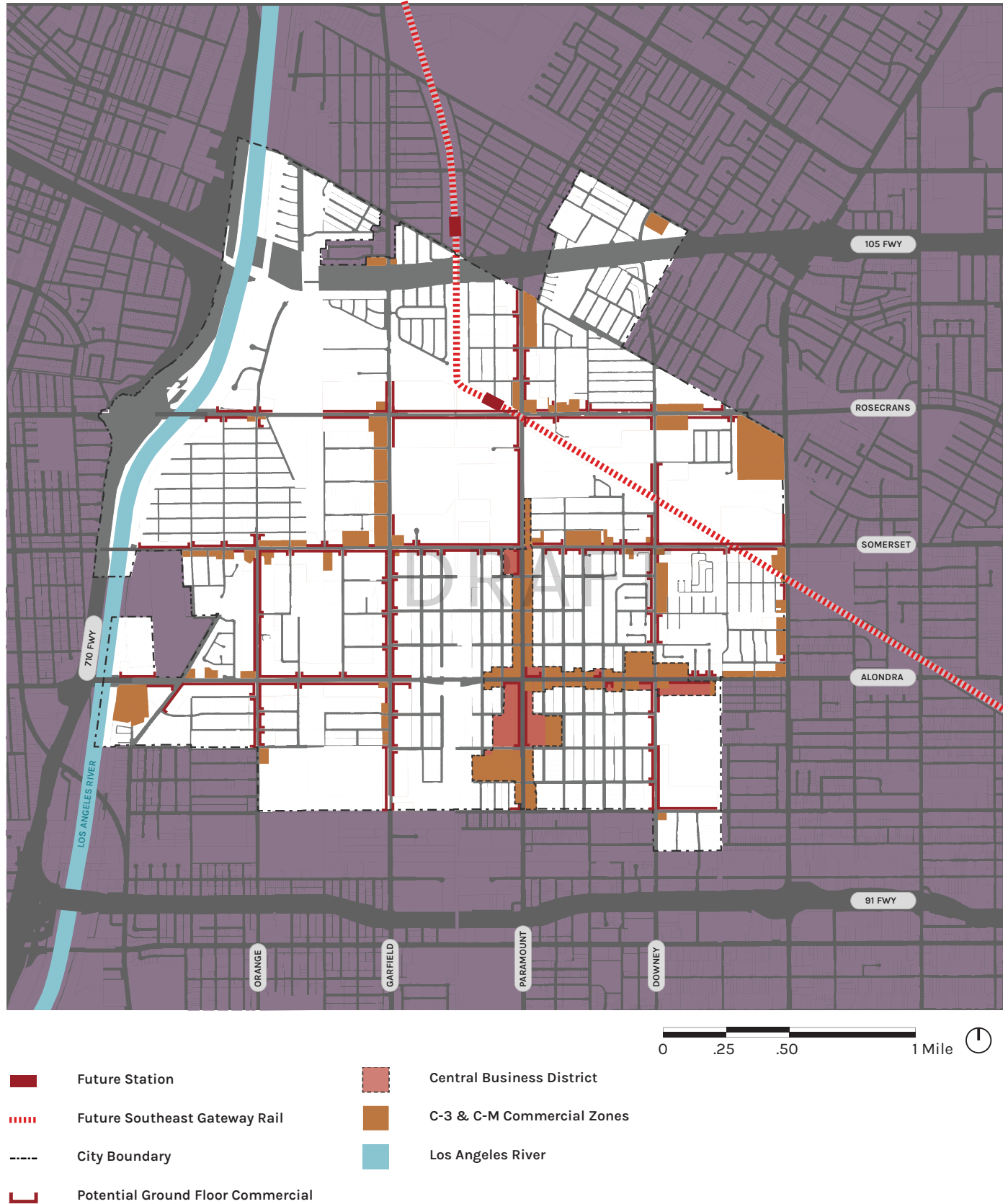
Areas with underutilized lots and auto-oriented commercial uses offer an opportunity to prioritize guidelines for redeveloping surface parking lots, underutilized and vacant land, and older commercial areas in support of future commercial environments in addition to the currently identified Central Business District, C-3 and C-M zones as shown in **Figure 3-1**.

Figure 3-1 highlights the parcels in ochre where the Commercial Design Guidelines apply, primarily located where existing Central Business District, C-M and C-3 commercial zones are identified and along primary commercial corridors identified as gaps between the existing commercial zones as potential future ground floor commercial frontage. These areas are key for future site design, addressing building and site access, extended sidewalks, landscaping, parking placement, transitions and screening, and sustainable environmental design.



Examples of Private Site Design Components

FIGURE 3-1. PARCELS WHERE THE COMMERCIAL DESIGN GUIDELINES APPLY



3.2 ACCESS

A. BUILDING AND SITE ACCESS

- 1. Primary Street Access.** Development with frontages on Paramount Boulevard, Alondra Boulevard, and other primary streets (major commercial corridors) should locate and orient access to the primary building entrance(s) along these streets. (See **Figure 3-2**)
- 2. Secondary Building Access.** Ground-floor tenant spaces not located directly adjacent to the street or sidewalk should have their primary entrance located adjacent to a pedestrian paseo, courtyard, or plaza that is connected to the primary public street, where feasible. (See **Figure 3-3**)
- 3. Primary Entry Approach.** A primary entry to a building should not be provided from a drive aisle, fire lane, or alley.
- 4. Visibility and Entry Articulation:** Design building access points and entryways to be highly visible and well-lit. Incorporate design features and roof details to accentuate the entrance to a building. Entries, doors, and windows can be highlighted with awnings, bright colors, special paving, or coordinated graphics to clearly indicate building access and provide relief from flat, blank continuous facades.
- 5. Lighting.** Place lighting to accent façades at night, and to provide security and wayfinding for building access, and public and private open spaces. Avoid lighting that interferes with residential uses. Design lighting to minimize light trespass and glare.
- 6. Service Entries.** Service entries should be oriented to the side or rear of the building and not be visible from the primary street. Where possible, provide service access from a rear alley as opposed to the primary street.
- 7. Transit Stop Adjacency.** Where a bus stop is located within one block of the building, the primary entrance should be visible from the bus stop, where feasible.
- 8. Vacant Lots and Buildings.** Vacant lots should be maintained to prevent overgrown landscaping, when facing primary corridors such as Paramount Boulevard.

FIGURE 3-2. PRIMARY STREET ACCESS

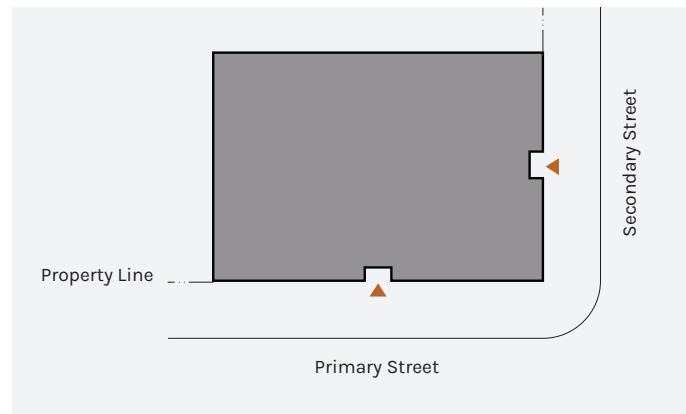
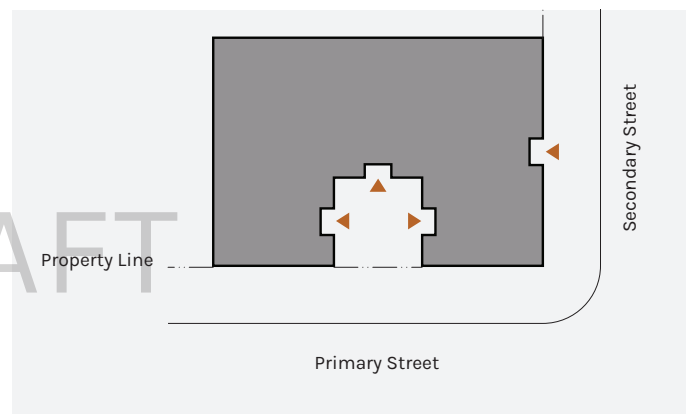


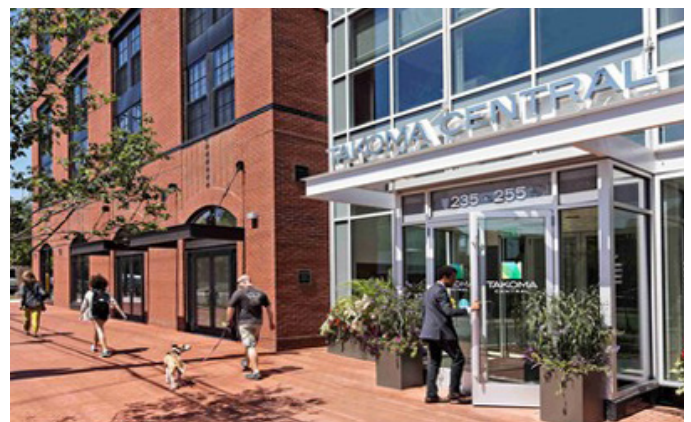
FIGURE 3-3. SECONDARY BUILDING ACCESS



- Chain link fences are not acceptable, along primary corridors, to secure vacant lots and buildings.
- 3-rail or solid opaque plywood fences are encouraged for safety and security purposes. Graffiti and/or posters should be removed from plywood fences. City-approved art may be allowed on plywood fences.
- Vacant buildings should be boarded up from the inside to allow for security and for the fenestration to be visually and aesthetically maintained.



Rear Building Access along an Alley or Service Drive



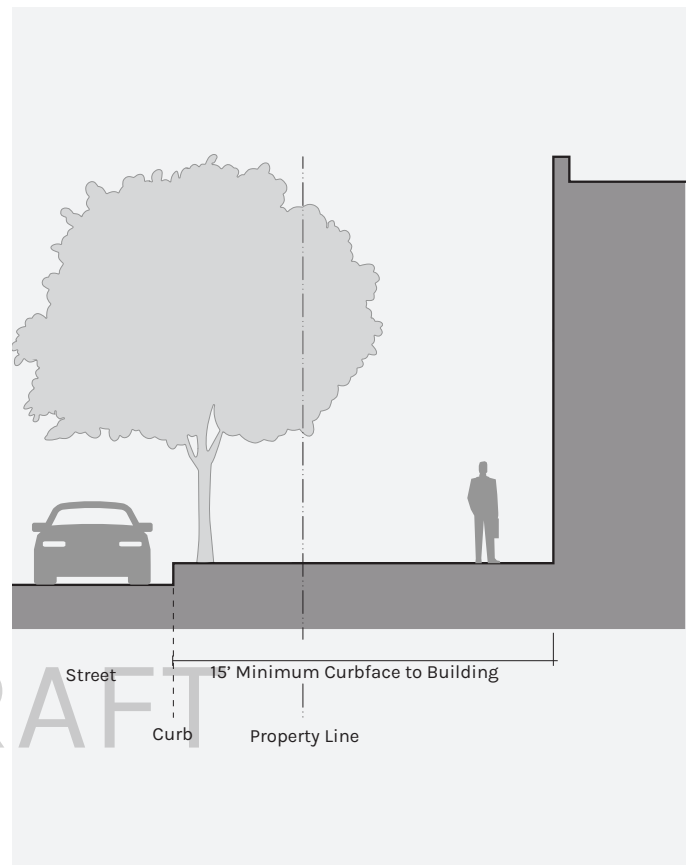
Commercial Storefronts with Visible & Accessible Entrances

3.3 FRONT SETBACKS

A. EXTENDED SIDEWALKS

1. **Minimum Setbacks.** For minimum setback requirements, refer to the PMC.
2. **Paramount and Alondra Boulevards.** Provide space for wider sidewalks and pedestrian amenities (extended sidewalks) along the ground floor, provide 15 foot minimum width between the curbface and building by way of curb extensions or building setbacks, where feasible. Publicly accessible open space and private courtyards on the ground level or above the first floor may exceed the maximums. (See **Figure 3-4**)
 - a) All entrance doors to buildings should be recessed so doors open outwards and do not open into the extended sidewalk area.
 - b) Extended sidewalks are encouraged along other potential major commercial corridors and potential ground floor commercial, where feasible, as identified in **Figures 2-1** and **3-1**.
3. **Parking.** No parking should be allowed in any of the private setback areas. Off-street parking should be prioritized along the side or rear of the building. (see **Section 3.6**)
4. **Extended Sidewalk Landscaping.** Encourage outdoor dining, seating area, landscaped plants, trees, green walls, and artwork. Landscaping of the extended sidewalks should include either a series of movable plants or canopy trees along the frontage.
5. **Outdoor Dining.** Outdoor dining should be considered a primary use of the extended sidewalk and may occupy the area adjacent to a restaurant, cafe, or any other establishment that offers food or beverages for public consumption, and contain movable seating, tables, and shade covers.

FIGURE 3-4. EXTENDED SIDEWALKS



Clear Dining and Walking Zones in Extended Sidewalk Areas



Seating and Landscaping in the Setback Area

3.4 LANDSCAPING

A. GENERAL

- 1. Compliance with Existing Standards.** All landscape designs should at a minimum comply with Chapter 17.96, Water-Efficient Landscape Provisions, of the PMC and/or any City ordinance adopted to comply with the most-recent California State Model Water Efficient Landscape Ordinance (MWEL0), whichever is more restrictive. In addition, all required landscaping areas should be subject to, but not limited to, PMC Section 17.24.080.A in the C-3 zone and Section 17.28.05(H) in the C-M zone and Chapter 12.32, Trees and Parkway Landscaping.
- 2. Landscaped Area.** A minimum of 20% of the development site should be landscaped and improved in accordance with these provisions. A master landscape and irrigation plan should be submitted and approved by the Planning Director. The plan should contain designs for the following components: primary and secondary entrances, roadways, intersections, required setbacks, open space/pedestrian paths, and parking areas. The design of these components should contain architecturally consistent wall materials, plant materials, and adequate lighting. All landscape improvement plans, including the Master Plan will be prepared by a licensed landscape architect. Any changes to the approved master landscape plan should be approved by the Planning Director or designee.
- 3. Water Conservation Techniques.** Water conservation techniques to consider should include:
 - a) Limit the use of high and moderate water use plantings.
 - b) Low-flow, efficient irrigation heads should be used for plants and lawns for water conservation.
 - c) Irrigation heads should be adjustable to minimize overspray.
 - d) Subsurface irrigation systems should be used as an alternative to overhead sprinklers.
 - e) Weather-based irrigation controllers for residential and non-residential projects should be implemented pursuant to Cal Green measures.
 - f) Trees should be irrigated and zoned separately.
- 4. Humanizing.** Landscaping and landscaped berms, trellises, voids, shadows, decorative lighting fixtures, awnings, and textures can be incorporated into the building design to soften the structure's appearance.
- 5. Complementary Materials.** Landscape materials can be used to reinforce building elements such as the building's colonnade being repeated with trees or the recessed building area treated as a termination for the procession of trees. Hardscape (paving, seating, retaining walls) can accentuate building features such as a curved building façade by repeating forms and highlighting these forms with specimen trees or accent plant materials.
- 6. Landscaped Buffer.** A landscape buffer is required adjacent to roads as specified by a zone's minimum front setback.
- 7. Trees and Plants.** Trees should be selected to provide shade, visual consistency, and interest. Existing shade trees should be preserved to the extent practicable. If removed, replacement trees should match the size of the tree removed up to a maximum of 48-inch box size. Trees should be selected from the list of Approved Street Trees (Parkway and Median).
- 8. Landscaped Planters.** Landscape planters should be at least three feet wide; however, planters less than six feet in width should use engineered soils or other mechanism with a circumference of at least three times the size of root ball within the planter, to allow for the long-term health and maintenance of trees within the planters.



Landscaped Area Alongside Pedestrian Pathway



Landscaping Serving as Screening

B. FRONT SETBACK AREA

1. **Planting Area.** Pertaining to residential, commercial, and mixed-use zones, plant density should cover at least 65% of the available front setback area. The designated planting areas should be covered with drought tolerant, native or adapted plant species, and should be evenly blanketed with locally sourced mulch. Mulch should be provided at three inches deep in all landscape areas except for ground-cover zones.
 - a) The remaining 35% of the front setback area should include pavers or brick set on a bed of sand where no mortar or grout has been used, a three-inch layer of mulch, decomposed granite, or artificial turf.
 - b) Ensure that planting spread and height does not conflict or encroach upon overhead power lines and above- and below- ground utilities.



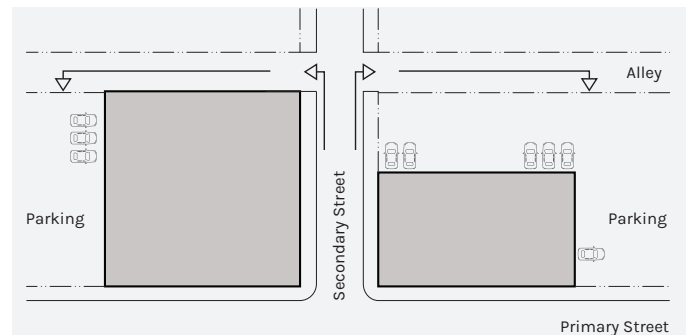
Example of a Landscaped Areas within a Front Setback Area

3.5 PARKING LOT LOCATION AND ACCESS

A. VEHICULAR PARKING LOCATION AND ACCESS

1. **Access Location.** To minimize curb cuts across sidewalks and to reduce conflict areas along highly trafficked primary streets, developments should provide vehicular access from a secondary street or alley, if feasible.
2. **Reciprocal Access and Parking.** Reciprocal ingress/egress access and parking should be provided.
3. **Separate Parking Facilities in Mixed-use Commercial Developments.** Parking areas should provide separate parking for nonresidential and residential uses. Gated parking should be provided for residential parking. Assigned residential parking spaces should be specifically designated by posting, pavement markings, distinctive architectural elements, landscape features, and/or by physical separation. The sharing of guest parking for residential and nonresidential uses within the same mixed-use development is permitted.
4. **Surface Parking Lot Location. (Figure 3-5)**
 - a) Where feasible, surface parking should be located behind the building, internal to the block, or wrapped with active commercial uses along the public frontages.
 - b) Parking lots should not be located between the public right-of-way and the primary building.
 - c) For developments with a street frontage width of 200 feet or more, parking lots and drive aisles may occupy up to 40% of the primary street frontage. Landscaping and screening standards apply.
 - d) Developments should have no greater than one driveway per 200 linear feet of primary street frontage.
 - e) Parking directly off an alley is discouraged.
 - f) Surface parking lots should adhere to a minimum 10-foot setback from the property line along the primary street frontage.

FIGURE 3-5. PARKING LOCATION AND ACCESS



5. **Driveway Consolidation.** Shared driveway access between parcels with access easements is recommended, where applicable, to further reduce driveways within the public realm. To minimize conflict with pedestrians, areas dedicated to vehicle use along the frontage (driveways, garage openings, loading entries, or utility access) are limited to the width of the lot, measured along the side adjacent to the street.
 - a) Lots with a width of a 150 feet or less may not have more than one driveway entrance from the front of the site.
 - b) Lots with a width of over 150 feet may not have more than one driveway entrance from the front of the site for every 100 feet of lot width or portion thereof.
 - c) Each driveway entrance excluding apron cannot exceed 24 feet in width unless width or number of driveways are required by applicable law, or as approved by the Planning Director.
6. **Entry Design.** The main entry driveway should be visually identifiable to motorists and other passersby, incorporating landscaping, accent paving, and entrance signage.
 - a) Example design treatments include raised landscape medians with signage and accent landscaping.



Planted Surface Parking Lot located off a Secondary Street



Surface Parking Lot Screened from Adjacent Streets

3.6 TRANSITIONS AND SCREENING

A. TRANSITIONS TO ADJOINING PROPERTIES

1. **Transitional Height.** Transitional height addresses the potential adjacency of new commercial buildings adjacent to residential zoned properties. A project is limited to 15 feet in max height at the rear or side setback face when adjacent to an existing one-story residential building and 25 feet when adjacent to an existing two-story residential building, and may not exceed a 45 degree step-back plane. (See **Figure 3-6**)

Exceptions:

- a) If residential building is an accessory dwelling unit (ADU).
 - b) If the new commercial building is at least 20' from a one story residential or 30' from a two story residential building.
2. **Transitional Screening.** On-site landscaping or screen walls should be provided where adjacent development is subject to reflective glare or solar gain – so that the screening can effectively shade adjacent buildings/sites from nuisance.

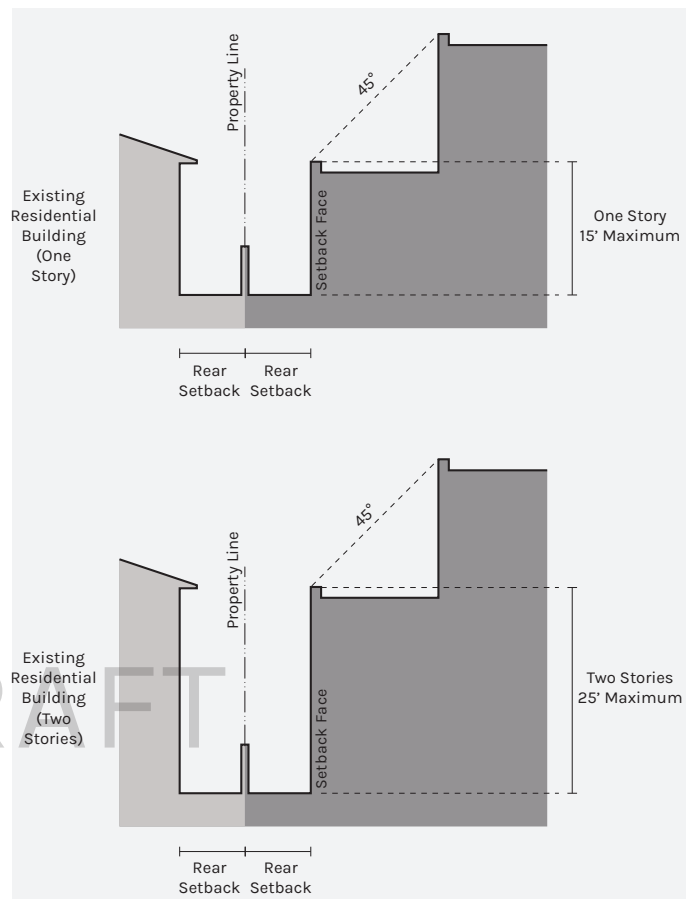
B. WALLS AND HEDGES

1. **Maximum Height.** The maximum height of walls, fences, or gates between a building with housing and a public street is 42 inches.
2. **Materials.** Walls, fences, and gates finish materials should be reviewed and approved by the Planning Director. No barbed wire, concertina wire, razor wire or cut glass should be used as a fence or part of a fence, wall or hedge along any property line or within any required side, rear or front yard.
3. **Visibility and Access.** To allow visibility and access from the adjoining public sidewalk, the maximum height of any wall enclosure or landscape planting (hedges) adjacent to the sidewalk should be a maximum of 42 inches tall with openings to the sidewalk of at least 25 percent of the sidewalk frontage.



Landscaping Maintained for Storefront Visibility

FIGURE 3-6. TRANSITIONAL HEIGHT



Mixed-Use Building Transitions to Neighborhood Scale

3.7 DROP-OFF AND PICK-UP

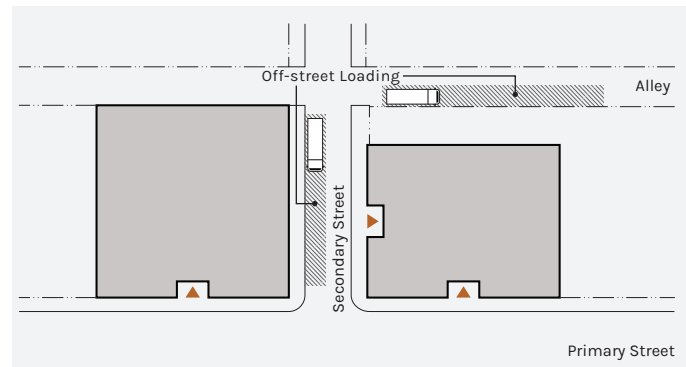
A. LOADING

1. General Loading. (Figure 3-7)

- Off-street loading spaces for retail, office, restaurant, and other eating and drinking places less than 20,000 square feet in gross floor area may be reduced in size to 11 feet in width by 35 feet in length with a clearance of 14 feet.
- Loading spaces for retail, office and restaurant uses should be located within 100 feet to the side or rear of the business being served by the loading space, have direct access from the business served by the space, and should conceal truck docking wells from primary street frontage.
- No loading spaces may be located facing primary north-south and east-west corridors such as Paramount Boulevard, Garfield Avenue, Downey Avenue, Rosecrans Avenue, Somerset Boulevard, and Alondra Boulevard, and other primary streets.
- To minimize noise on residential occupants of a mixed-use building, locate nonresidential loading areas in enclosed spaces or allow loading between 8:00am and 10:00pm.

2. Passenger Loading. Site design for passenger loading spaces cannot reduce pedestrian orientation of the site or increase the number of curb cuts and may not require pedestrians to cross a parking aisle, alley, or street in order to reach the building entrance. The passenger loading spaces should be accessible without a fee, key, or access card and located as close as practicable to the building entrance.

FIGURE 3-7. LOADING FOR COMMERCIAL USES



3. Pick-up and Drop-off Zones. Pick-up and drop-off zones are marked areas in the curb zone which permit passenger loading or temporary parking, usually for an interval of less than 15 minutes. Transit stations, hotels, community buildings, schools, and businesses which include valet service are land uses which typically include pick-up and drop-off zones at the curb.

- Ensure the curb in front of major commercial retail or restaurant hubs have a dedicated pick-up and drop-off zone area.
- Encourage all curbside pick-up and drop-off zones be adequately marked along the curb and ensure appropriate signage is clearly visible from the sidewalk to indicate the area is only available for the loading of passengers.



Designated Area for Passenger Pick-Up



Designated Area for Curbside Drop-Off

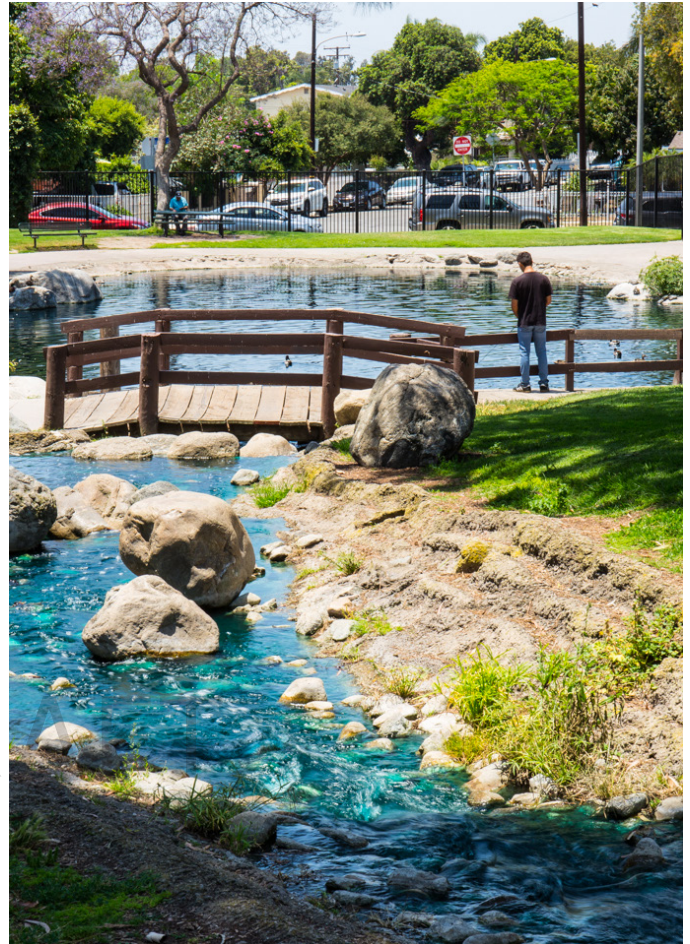
3.8 ENVIRONMENTAL DESIGN

A. SITE AND BUILDING DESIGN

- 1. Energy-Efficient Designs.** Consider passive solar and ventilation techniques, as well as specification of “green” materials in building design and site planning.
- 2. Topography-Appropriate Design.** Design the site and buildings to capitalize on unique topography where applicable such as terracing when there are considerable shifts in ground slope. Consider site designs which increase accessibility by adding stairs and ramps in heavily sloped environments.

B. SMART INFRASTRUCTURE

- 1. Emerging Technologies.** There are many emerging technologies that could be implemented in a way to help improve the pedestrian environment and livability of places. These range from smart lighting to parking occupancy information, multi-modal data collection, WiFi access points, and traffic safety monitoring solutions. These technologies can enable the City to make proactive decisions on corrective measures. As technology continues to evolve, the addition of Smart City Infrastructure should be evaluated at the time a detailed streetscape design and engineering are prepared.



On-site Existing Features as Publicly Accessible Open Space



Topography in Open Space for Water Collection



Smart Infrastructure with Pedestrian Amenities



DRAFT

4.0 PRIVATE REALM: OPEN SPACE

4.1 Introduction	50
4.2 Street-Facing Open Space	52
4.3 Pathways, Paseos, and Alleys	53
4.4 Parking Lots and Service Areas	55

4.1 INTRODUCTION

A. PRIVATE OPEN SPACE DESIGN FRAMEWORK

Placemaking includes providing public and private gathering and open spaces which are linked to commercial environments, transit, housing, educational, institutional, and other pedestrian-friendly and active uses. Open spaces vary in size and function - some are programmed for events to activate an area or commercial uses such as restaurants, some may be adjacent to a transit station or civic building, and others may be entirely for recreation.

Parks and other forms of open space are critical for active and healthy Commercial areas. Parks can serve as neighborhood focal points, and provide opportunities for recreation, events, exercise, and more. Another key ingredient in creating dynamic commercial areas which are connected by transit and active transportation is to create attractive and functional places that people want to be.

Figure 4-1 presents the integration of a network of existing and potential open spaces, as described in this chapter, within the City, the Central Business District (CBD), and the Downtown commercial core. Parks are marked with quarter-mile 5-minute walkable radii, while red dashed circles indicate gaps and potential areas for new open spaces to enhance connectivity to existing and potential new commercial areas. Street segments along other priority corridors identified as potential candidates for future commercial street frontage illustrate the importance of linking existing and potential open space within the City and to the heart of pedestrian activity in the CBD.

Parks and open spaces are essential for fostering active, healthy commercial areas, serving as neighborhood focal points and venues for recreation, events, and community gathering. Creating attractive, functional private open spaces is crucial for placemaking and enhancing commercial areas throughout the City of Paramount.



A Street-facing Forecourt with Dining

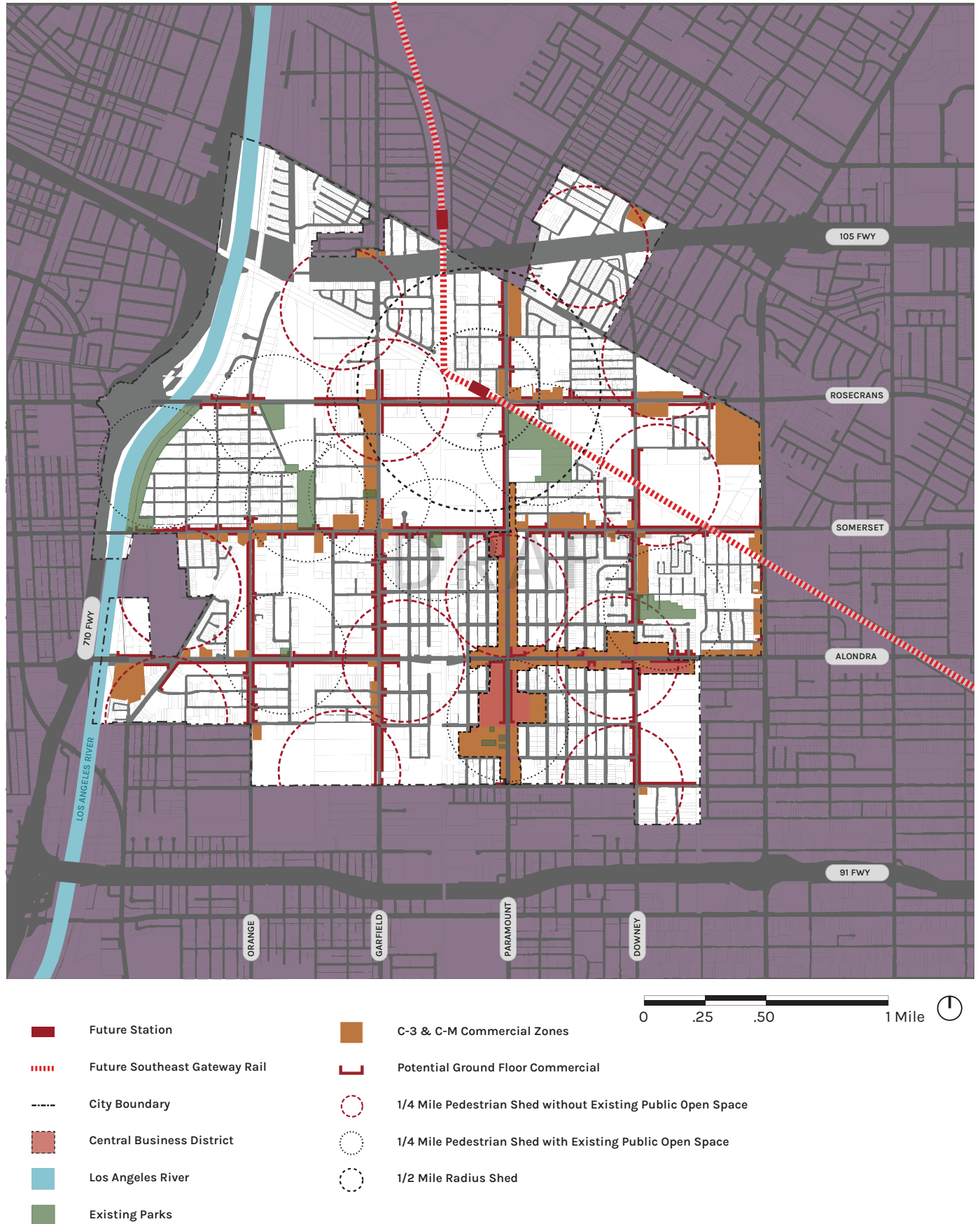


Rooftop Garden and Recreational Space



Private Courtyard with Seating

FIGURE 4-1. PRIVATE REALM OPEN SPACE FRAMEWORK



4.2 STREET-FACING PRIVATE OPEN SPACE

A. COURTYARDS

- 1. Relationship to Buildings and Streets.** Courtyards should be well defined by buildings and/or landscape elements, and face the street and/or be directly accessible from the sidewalk. Courtyards provide opportunities for publicly accessible open space for gathering such as outdoor dining, and/or for quiet areas for residents of a project.
- 2. Shade.** Courtyards should provide shade for active recreational uses such as places for children's playgrounds and fountains.
- 3. Pedestrian Amenities.** Face internal and attractive spaces away from the busy traffic on the streets and provide opportunities for pedestrian amenities and public art.
- 4. Location.** Common recreational areas of private development should be centrally located and preferably be designed as courtyards, plazas, and outdoor rooms. The location and character of an outdoor space should consider its function, the size of the project, and the surrounding environment.

B. FORECOURTS

- 1. Relationship to Buildings and Streets.** Forecourts are encouraged along primary commercial corridors as street-facing publicly accessible open spaces. Forecourts typically occur at mid-block and are enclosed on three sides of a building or set of buildings. Forecourts should be designed at, or near, the grade of the sidewalks.
- 2. Forecourt Activation.** Outdoor dining and other uses that activate the space should be located adjacent to, or be a part of, a forecourt.

- 3. Safety and Security.** Forecourts are for public gathering and social interaction, and should be designed with visibility from the sidewalk for safety and security. Landscaping should be designed so as to not obstruct views into the forecourt, such as having tall hedges (greater than 30 inches) or planting along the front edge of the forecourt adjacent to the sidewalk.
- 4. Pedestrian Amenities.** Pedestrian amenities such as ample seating, eating places, plants, trees, fountains, sculptures and other public art should be considered and provided where appropriate.
- 5. Solar Orientation and Other Locations.** Forecourts are also appropriate adjacent to transit stops to provide additional space for waiting. Forecourts should be oriented to leverage solar access and prevent shadows from dominating the space.

C. ROOFTOPS AND TERRACES

- 1. Upper Floor Open Space.** Open space may be provided on upper floors in the form of balconies, terraces, or rooftop areas and are encouraged to further activate the street and commercial environment, such as rooftop bar/restaurants with outdoor dining.
- 2. Public Access.** Areas located on the roof of an upper story, such as an occupiable rooftop deck or terrace or an amenity space atop a parking structure, are encouraged and may also qualify as "publicly accessible" if it can be directly accessed from a public staircase and/or elevator.
- 3. Green Roofs and Recreation.** Green roofs and recreational leisure space on rooftops, such as pools and gardens, should be considered in the design of new developments.



Forecourt with Outdoor Dining Area



Terrace Restaurants on an Occupiable Upper Floor Step-back

4.3 PATHWAYS, PASEOS, AND ALLEYS

A. PEDESTRIAN PATHWAYS

1. **Sidewalk Connections.** Sites should provide one or more pedestrian pathways connecting all adjoining sidewalks with primary and secondary pedestrian entrances to the building, courtyard, or individual unit. Pathways should lead directly from the entryway to the sidewalk and have a minimum width of five (5) feet. (Figure 4-2)
 - a) On-site pathways should use a contrasting color, material, or arrangement pattern to differentiate them from the sidewalk and from other adjoining hardscape elements.
 - b) Example design treatments include brick/tile pavers to accent walkways, low brick/plaster walls, and planters.
 - c) If the project has multiple buildings, a system of paseos or pathways should connect to all building entrances and to the sidewalks along primary and secondary arterials. All pedestrian paths should be a minimum of five feet wide and include an additional five feet on at least one side for trees and pedestrian-scaled lighting.
 - d) Superblocks should have a pedestrian connection a minimum of every 130 feet.
2. **Vehicle and Bicycle Connections.** Pedestrian pathways should connect building entries to vehicle and bicycle parking areas and other on-site ground-floor amenities/facilities, such as common open space and on-site waste/recycling facilities.
3. **Internal Bicycle and Pedestrian Circulation.** Superblocks, more than 500' along one block side, can be broken up by providing internal connectivity, and activated outdoor spaces.

B. PASEOS

A paseo is a landscaped public place containing a path designed for walking, strolling, and passive use. They can be used for biking. Paseos could be a mid-block pedestrian connection or part of a larger trail system connecting neighborhoods, parks, schools, and public sidewalks. (See Figure 4-3)

1. **Paseo Elements.** Paseos are wider than normal sidewalks as they contain a wide pathway (min. 15' to 20') with landscaping in the middle or on each side of the pathway. They can contain pedestrian scaled lighting, an occasional bench for resting, trash receptacles, artwork, and could contain pet waste bag dispensers.
2. **Configuration.** Pathways could be serpentine or straight and in some communities are grade separated from major streets. Alternatively, bollards can be used in non-grade separated treatments to delineate the paseo.
3. **Adjacencies.** For security and to create an active edge, blank walls causing limited surveillance should be avoided in favor of windows and active yards.

FIGURE 4-2. PEDESTRIAN PATHWAYS

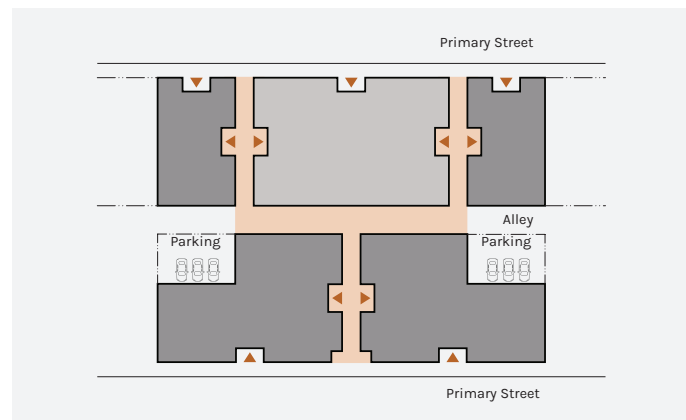
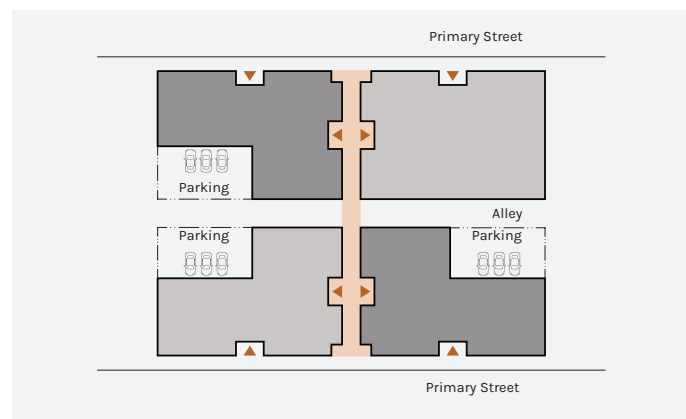


FIGURE 4-3. PASEOS



Paseo in Commercial Area

4 - Private Realm: Open Space

C. GREEN ALLEYS

While similar to pedestrian malls and paseos, green alleys are typically narrower passageways designed for less-frequent pedestrian and bicycle traffic. Vehicle traffic is often discouraged or limited using removable bollards. Green alleys typically form when vehicular service alleys are repurposed to include more pedestrian-friendly lighting and paving, as well as planting and permeable surfaces.

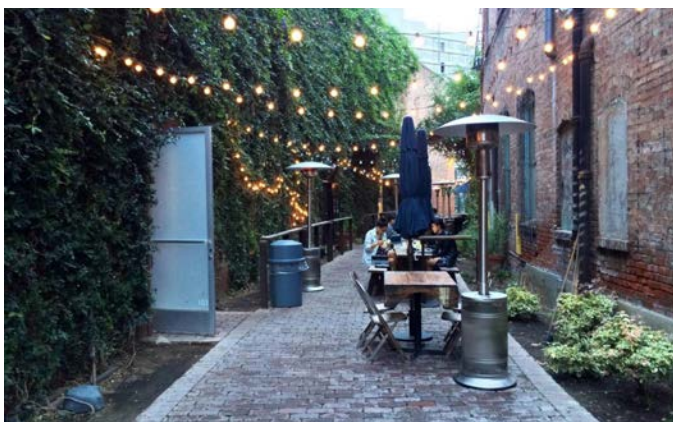
1. **Repurposing Service Alleys.** Repurpose service alleys which are underutilized to create green alleys to improve pedestrian circulation.
2. **Paving Treatment.** Pave the main pathway with permeable paving, and landscape the outer portion of the alley to allow surface water infiltration.
3. **Lighting.** Line pathways with pedestrian lighting such that the alley is sufficiently lit for pedestrian traffic, but does not disturb adjacent residents.



Repurposing of Alley with Planting and Permeable Paving



Green Alley with Permeable Paving



Green Alley with Outdoor Dining Area



Multimodal Green Alley

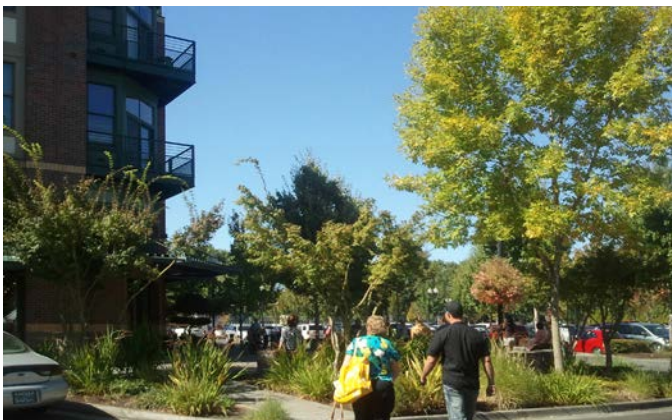
4.4 PARKING LOTS AND SERVICE AREAS

A. PARKING LOTS

1. **On-site Infiltration.** 10% of the parking lot area should be planting areas allowing on-site infiltration of stormwater.
2. **Planting Strips.** Parking lots with more than 250 spaces should provide continuous landscape planting strips between every other row of parking. Trees planted in planting strips should have at least 1 tree at a minimum for every four spaces. Planting strips should be a minimum of 4 feet wide exclusive of a 6 inch curb on both sides.
3. **Minimum Tree Planting.** For surface parking lots, one minimum 24-inch box container-size tree is encouraged at the end of each parking row, and for each 15 parking spaces in a single row.
4. **Parking Screening.** Parking on the ground floor of a building, structure, or open structure parking area may not be visible from the adjoining sidewalks and streets.
 - a) Open parking areas should be screened from the street by a 36-inch to 42-inch high wall, fence, berm, or landscaping that is measured above the highest adjacent grade.
 - b) Parking areas abutting any street frontage should be screened through the use of one or more of the following treatments:
 - i. Evergreen hedge shrubs planted not more than two (2) feet apart on center, and maintained to height of three (3) feet to 42 inches.
 - ii. "Green screen" composed of live planting (e.g., espaliered vines) on mesh fencing (Chain link fencing is not acceptable) or against a wall surface, no higher than 42 inches.
 - iii. Landscaped berm with or without a hedge, with a combined height of three (3) feet to 42 inches.

B. SCREENING

1. **Mechanical Equipment and Service Areas.** Mechanical equipment at all levels of the development including rooftop equipment, should be screened from view (including ground-mounted, wall-mounted, and roof-mounted air conditioning, duct work, utility meters, back-flow preventers, transformers, etc.).
 - a) Screening strategies for ground-level equipment and service areas include walls, landscaping or combinations of materials. Low walls which extend from the building can screen mechanical equipment or service areas. Long, massive screen walls should be visually broken up architecturally or with landscaping.
 - b) Chain link fences are prohibited.
2. **Trash Enclosures.** Waste receptacles and dumpsters should be screened by an enclosure in compliance with PMC Section 17.24.080.E, Trash Enclosures.
 - a) Landscaping should be utilized to screen the trash enclosure on all sides visible from a public right of way or parking lot. The landscaping should consist of hedges to be maintained between four and five feet high.
 - b) Trash enclosures and waste receptacles on rooftop open spaces should be covered and concealed from view.



Surface Parking Lot with Plant Strips



Rear Access Parking



5.0 PRIVATE REALM: BUILDING DESIGN

5.1 Introduction	58
5.2 Massing and Form	60
5.3 Ground Floor Treatment	70
5.4 Upper Floor Treatment	71
5.5 Materials	72
5.6 Parking Garage Design	73

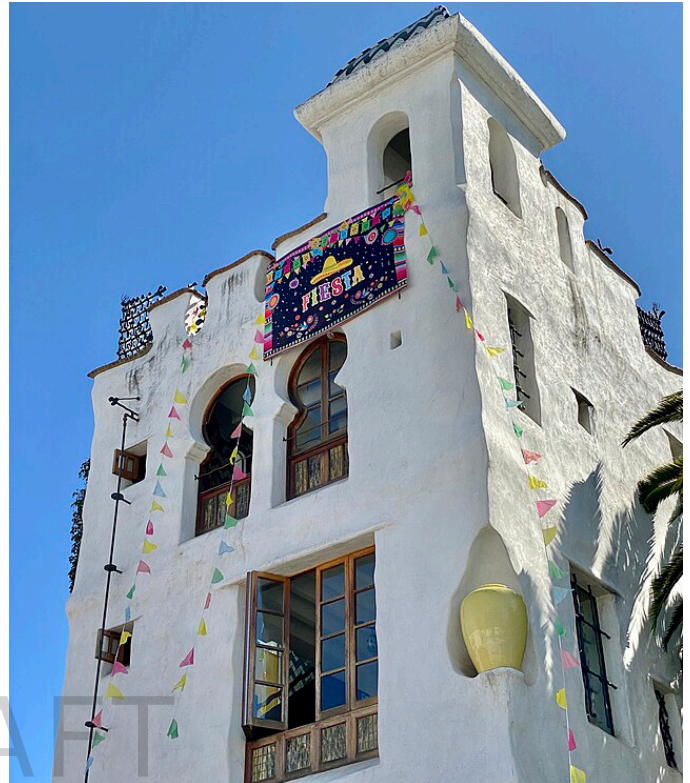
5.1 INTRODUCTION

A. BUILDING DESIGN FRAMEWORK

The design of buildings at or near major commercial corridors plays a key role in the attractiveness, activity, and safety of the area. Creating building design that enhances sense of place for the City of Paramount needs to not only build on the C-3 and C-M zones, and the Central Business District, but also allow for potential future development of other commercial areas that respond to future demand, flexibility, and unique features such as destinations and commercial activity centers, city landmarks, civic resources, open space, and other private and public realm components. Thoughtful building design is essential for creating attractive, active, and safe environments for commercial activity.

In areas designated for the application of these guidelines, as shown in **Figure 5-1**, buildings should be designed with pedestrian-friendly architectural features at the ground floor along the streets and walkways which are the primary connections to the public/pedestrian realm and the overall commercial environment. The pedestrian realm is generally a 12'-30' area located between the face of the curb of a street and the face of the building. It includes parkways, sidewalks, and any landscaped areas, and can include public or private areas.

Figure 5-1 highlights the Downtown core's CBD, key landmarks such as City Hall, buildings of historical significance, major destinations and existing commercial zones as the primary components that will serve as the basis for a building design framework as discussed in this chapter. Additionally, potential future ground floor commercial provides a tool for identifying gaps for connecting to other commercial areas in the City. Potential future ground floor commercial and activity centers such as retail malls and supermarkets play an important role for future buildings and corridors as critical community placemaking hubs.



Vertical Tower Building Element

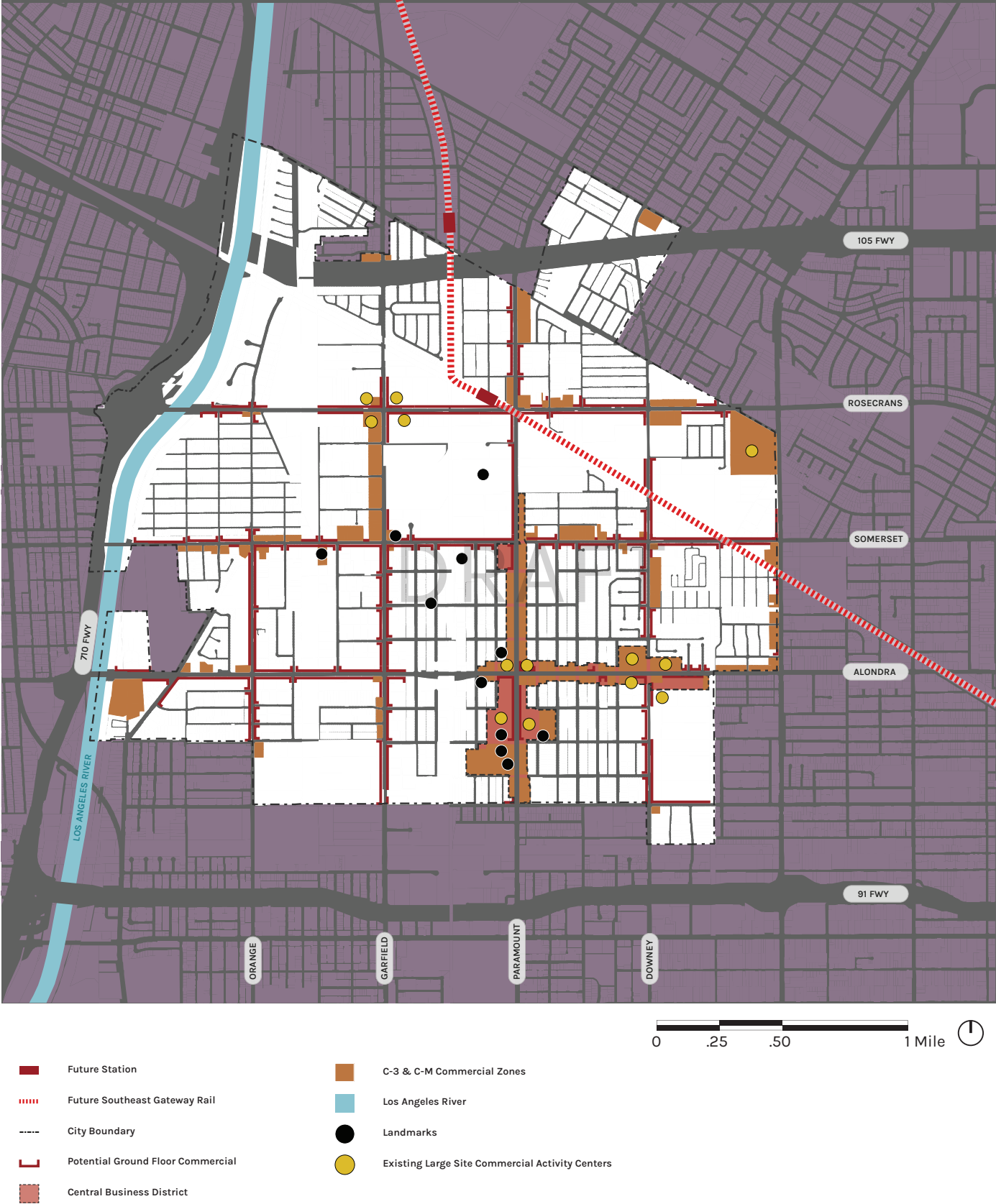


Commercial Street Wall with Varying Building Heights



Commercial Building with Roof Garden

FIGURE 5-1. PRIVATE REALM BUILDING DESIGN FRAMEWORK



5.2 MASSING AND FORM

A. MASSING AND FORM

1. **Variety in Building Façades and Urban Form.** Vary building form and façades from building to building and from site to site to create interest along the street and a vibrant area. The application of architectural elements to ground level and upper level floors to achieve diversity in building facades is summarized in **Table 5.1**. A critical application for ground level architectural articulation is the the visibility of entrances as the primary element for engagement between the building and streetscape, as summarized in **Table 5.2**.
2. **Massing Modulation.** Buildings should modulate their massing with design features that add depth and impact such as projecting forms which break up long or blank facades; overhangs which add shade and shadows; emphasized horizontal elements; or extended walls which enclose, screen or emphasize building elements.
3. **Contemporary, Pedestrian-Friendly Design.** Building massing should be “human” in scale and not bulky, overbearing or monolithic. Design buildings to be visually attractive and to fit with the vision of a pedestrian-friendly, vibrant streetscape. Place unique features to differentiate neighboring businesses at eye-level with pedestrians.
 - a) Massing should be reduced in scale by a variety of design strategies, such as projections, overhangs, recesses and landscaping.
4. **Blank Walls.** The maximum width of a bay of blank wall (defined as a wall area without a feature in relief or protrusion of at least 6 inches) should be limited according to the standards below. The standards apply to all stories on all facades that are visible from a street, sidewalk, or other public right-of-way.
 - a) For building frontages of 100 feet or more, the maximum width of a bay of blank wall should not exceed 25 feet, measured horizontally.
 - b) For building frontages of less than 100 feet, the maximum width of a bay of blank wall should not exceed 25% of the overall façade width, measured horizontally.
 - c) Articulation (Façade Variation). All building facades visible from a street, sidewalk, or other public right-of-way should incorporate one facade articulation strategy per 40 linear feet (or fraction thereof) of horizontal building façade, choosing from strategies listed in **Table 5.3**. To provide visual interest and avoid monotonous rhythms, the minimum number of articulation modulations may be reasonably distributed along the facade horizontally along the façade; they do not need to be every 40 feet
5. **Base, Middle, Top.** Generally, building facades should be differentiated into three parts: a base, middle, and a top. On low-rise buildings (average 2 stories), the different parts may be expressed through detailing at the building base or eave or cornice line. On structures with three (3) or more stories, different treatments of the first, middle, and top stories should be used, in accordance with **Table 5.5**.
6. **Signage.** Provide storefront signage at multiple levels, such as wall signs above windows and hanging signs from awnings; avoid neon or fluorescent illuminated signage. Limit the size of new signage for pedestrian scale. Refer to Chapter 17.76 (Central Business District Sign Design Standards) of the Paramount Municipal Code.



Contemporary Building with distinct base, middle and top



Building with Contemporary Articulation Applications

B. CORNER TREATMENT

- 1. Building Shaped at Corners.** When located at the corner of an important pedestrian intersection or a focal point, design buildings to emphasize the corner by using a variety of techniques at the corner such as adding a strong vertical mass or a tower, a diagonal setback, a corner plaza, and/or a recessed building entrance. Treatments should be applied at all corners of an intersection.
- 2. Vision Clearance for Corner Lots and Reverse Corner Lots.** All corner lots and reverse corner lots subject to yard requirements should maintain a cleared sight area in compliance with Section 17.24.060(E), Yard standards, in the Paramount Municipal Code.
 - a) Visual Interest.** To provide visual interest at corner lots, buildings located at the intersection of two primary or secondary streets should incorporate at least one of the strategies listed in **Table 5.4**.

C. HEIGHT

- 1. Building Heights.** Vary building heights within the Commercial areas. Allow for and encourage the placement of relatively taller buildings near the station, along wider streets, and intermittently throughout the station area to serve as focal points.
- 2. Adjacencies North of Somerset Blvd.** Within a half-mile radius of a transit station and adjacent to single-family residences may have a maximum height of five stories or 60 feet (whichever is less) within the first 100 feet of the parcel in which it is located. This guideline should be applied in accordance with State law and the maximum building height allowed in the underlying zone.

DRAFT



Variation in the Wall Plane



Bay Windows Incorporated in Corner Condition of Building

5 - Private Realm: Building Design

Table 5.1 - ARCHITECTURAL ELEMENTS
















ELEMENT	APPLICABLE BUILDING FLOORS		GUIDELINES
	Ground Floor	Upper Floors	
Recessed balconies for sun protection and modulation			<ul style="list-style-type: none"> A minimum of 50% of the dwelling units facing streets Minimum dimension: 5' depth and 10' width
Partially uncovered projecting balconies forming an architectural pattern			<ul style="list-style-type: none"> A minimum of 50% of the dwelling units facing streets Minimum dimension: 5' depth and 10' width
Raised stoops, covered or partially covered porches, patios, or arcades			<ul style="list-style-type: none"> A minimum of 50% of the dwelling units facing streets
Column articulation (e.g. ground level arcades)			<ul style="list-style-type: none"> Minimum column spacing: 1 per 15'
Recessed or projected ground-floor and use of different material(s) from floors above			<ul style="list-style-type: none"> Minimum Depth: 3' Maximum Depth: 10'
Canopy, awning, or marquee marking the pedestrian entrance to a building			<ul style="list-style-type: none"> Shading should project a minimum of 3' from the building and provide a minimum 8' vertical clearance Awning side panels are discouraged
Articulated corner treatment			<ul style="list-style-type: none"> A corner setback to form a publicly accessible open space with a minimum dimension of 10' x 10', or An architectural treatment differing from surrounding façades such as a rounded or angled form at the corner
Roof modulation such as a sloped roof, change in height of the parapet, or a green roof with vegetation			<ul style="list-style-type: none"> Height is measured from the roof of the top floor. Sloped roof/roof modulation not included in height if less than 8' as measured from roof of the top floor to peak
Vertical or Horizontal bands or cornices			<ul style="list-style-type: none"> Use of contrasting color, material, or arrangement pattern of brick masonry or tiled surface Minimum dimension: 8 inches for the width (horizontal bands) or height (vertical bands)
Setback for outdoor dining			<ul style="list-style-type: none"> Min. Dimensions: 10' depth and 20' width Should be directly adjacent to the street
Mural or other permanent wall-affixed artwork (see PMC Chapter 17.112)			<ul style="list-style-type: none"> Min. Dimensions: 10' depth and 20' width Should be directly adjacent to the street

Table 5.2 - VISIBILITY OF ENTRANCES

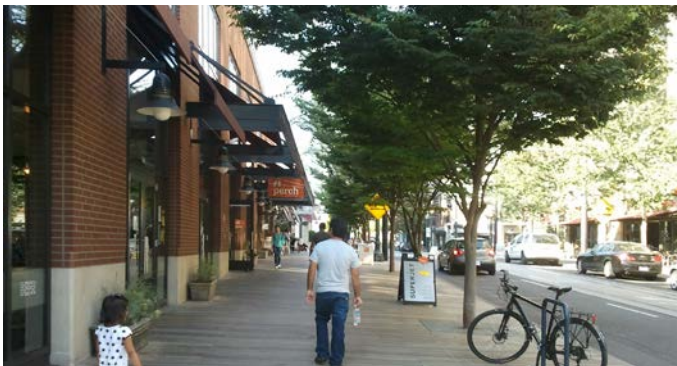
ELEMENT	GUIDELINES
Porch or Stoop facing the street	<ul style="list-style-type: none"> Each residential unit facing the street should have a porch or stoop at the entrance The porch or stoop should have minimum elevation of 2' to provide privacy
Lighting fixture which illuminates the entrance	<ul style="list-style-type: none"> Location: affixed to the wall no more than 5 feet from the door or located above the door
Design feature to make door prominent on the façade	<ul style="list-style-type: none"> Awnings, entrance recesses, and/or canopies



Stoops at entries



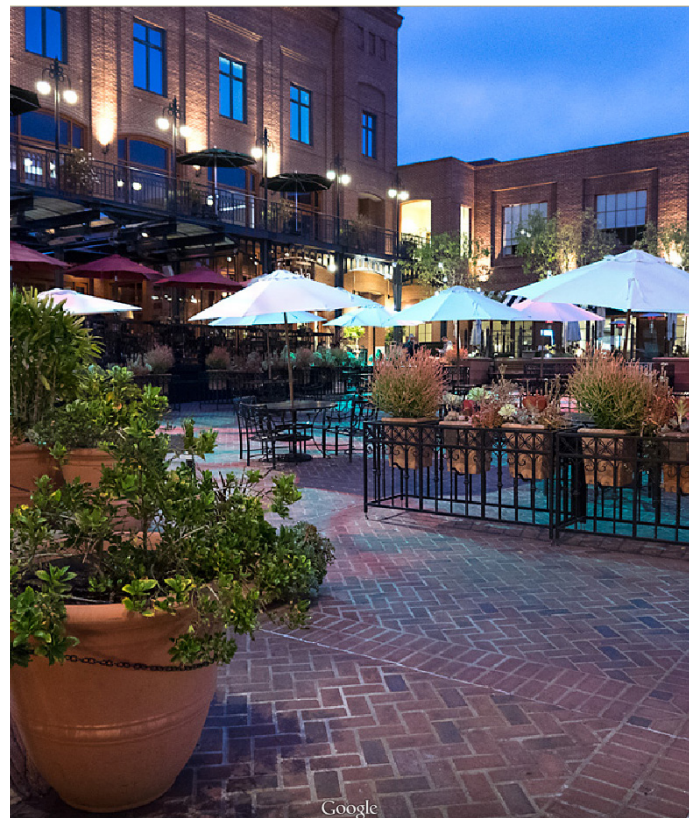
Covered dining patio



Lighting Integrated with Building Architecture



Awnings enhance entries and provide weather protection



Entrance recesses create a public forecourt

5 - Private Realm: Building Design

Table 5.3 - ARTICULATION STRATEGIES

STRATEGY	GUIDELINES	
WINDOWS AND DOORS		
Weather protection or shading device over windows (awnings, louvers, or canopies)	<ul style="list-style-type: none"> Minimum 2 feet deep Minimum 50% of the windows 	 
Variation in window size	<ul style="list-style-type: none"> 20% of windows should have at least 20% change in height or width 	  
Recessed Windows	<ul style="list-style-type: none"> 6 inches deep for over 50% of the facade window area 	  
Bay Windows	<ul style="list-style-type: none"> 2 feet projection for 10% of windows 	  
Projected window trim (sill, lintel, and/or surrounds)	<ul style="list-style-type: none"> 6 inches high, 4 inches wide 4 inches deep for 50% of windows 	  
Increased fenestration (windows and doors)	<ul style="list-style-type: none"> At least 25% variation in glazed area Minimum 25 linear feet width along the facade 	  

Note: A strategy used to satisfy this guideline may also be used to satisfy any other design requirement that lists the identical strategy option.

Examples of Flexibility of Window Types, Sizes, and Depth

Table 5.3 - ARTICULATION STRATEGIES

STRATEGY	GUIDELINES	
WALL PLANE VARIATION		
Offset plane(s) from the primary facade	<ul style="list-style-type: none">Minimum 2 feet deepEncompassing at least 20% of facade area	
Projection, recess, or step-back on an upper floor	<ul style="list-style-type: none">7 feet depth entire length of facade	
Textured materials with relief (ie. brick or wood siding)	<ul style="list-style-type: none">Extend across minimum 25 linear feet along the facadeExtends at least 75% of the floorsDifferent material, color, and/or texture from the adjacent facade planes	
Banding (horizontal or vertical)	<ul style="list-style-type: none">Minimum depth 3 inches from the adjacent building facadesMinimum width 8 inchesExtend minimum 75% of the total facade frontage length (horizontal elements) or minimum 75% of the total facade frontage height (vertical elements)Different material, color, and/or texture from the adjacent facade planes	
Project building slabs from the rest of the facade	<ul style="list-style-type: none">Minimum 25 feet or 25% of the length of the façade, whichever is greaterMinimum 12 inches depth for 75% of the floorsSlab projections may be used as balconies, provided they meet all required balcony dimensions	
OTHER		
Balconies	<ul style="list-style-type: none">Minimum 40% of the length of the facade within the articulated segmentMinimum 5' in depth by 7' wide	



Example Wall Plane Variation

STRATEGY	GUIDELINES
Roofline variation	<ul style="list-style-type: none">Minimum 4 feet height difference to adjacent roofline(s)Minimum 20% of facade length
Other, as approved by the Planning Director.	

Note: A strategy used to satisfy this guideline may also be used to satisfy any other design requirement that lists the identical strategy option.

5 - Private Realm: Building Design

Table 5.4 - CORNER DESIGN STRATEGIES

STRATEGY	GUIDELINES	
BUILDINGS 2 STORIES AND HIGHER		
Publicly accessible corner plaza that extends to the pedestrian sidewalk at the intersection and connects to an entrance of the building	<ul style="list-style-type: none"> Minimum area: 500 square feet Minimum dimensions of any side: 16 feet Should be paved with a treatment that distinguishes the plaza from the connecting sidewalks (e.g. texture, material, and or color variation) Should comply with Open Space and Landscaping design guidelines in Chapters 3 and 4 of this document, as well as applicable Development Standards in the PMC Minimum 80% open to the sky 	
Change in material, color, fenestration type or a combination, on the frontage along both sides of the corner	<ul style="list-style-type: none"> Extend horizontally a minimum of 20 feet both sides of the building corner Extend vertically for a minimum of 80% of the building height 	
Recessed Windows of the building facade instead of meeting at a 90-degree angle	<ul style="list-style-type: none"> Minimum of 15 feet along both sides of the building corner If a building facade is less than 60 feet long, the rounded corner should continue for a minimum of 25% of the overall facade length Minimum 80% of the building height 	

Varied Form, Materials, and Access for Corner Design

Table 5.4 - CORNER DESIGN STRATEGIES

STRATEGY	GUIDELINES	
BUILDINGS 2 STORIES AND HIGHER		
Projection or recess of the corner facades horizontally from the rest of the building	<ul style="list-style-type: none"> Minimum of 15 feet along both sides of the building corner if a building facade is less than 60 feet long, the recess or projection should continue for a minimum of 25% of the overall facade width Recessed or projected a minimum of 2 feet from the adjacent facade plane 	
Banding (horizontal or vertical)	<ul style="list-style-type: none"> Projects a minimum of 5 feet and maximum 10 feet above the adjacent roof ridge Articulated by a recess or projection of a minimum 2 feet deep Minimum of 20 feet along both sides of the building corner If a building facade is less than 60 feet long, the tower recess/projection should continue for a minimum of 25% of the overall facade width May only count towards satisfying this requirement for buildings 5 stories tall or shorter 	
Increased corner glazing for windows and doors including a building entry to a commercial use, if applicable	<ul style="list-style-type: none"> Increased a minimum of 10% for a minimum of 20 feet length along both sides of the corner. Minimum of 80% of the building height 	
Other, as approved by the Planning Director.		

Corner Projections, Glazing and Recesses








5 - Private Realm: Building Design

Table 5.5 - BASE/BODY/TOP

STRATEGY	GUIDELINES	
VERTICAL WALL PLANE VARIATION		
Step-back of upper-floor facade from the floor below	<ul style="list-style-type: none"> Minimum 3 feet recessed for minimum 75% of the length of the facade Step-back at the third floor or higher 	  
Wall plane offset accompanied by a change in building material or color between the base and body	<ul style="list-style-type: none"> Minimum 18-inch offset from the adjacent facade wall Offset (or combination of multiple offsets) encompasses minimum 75% of the facade Minimum height of one story or 75% of the building height, whichever is greater 	
Recessed building frontage at the ground floor horizontally from the upper floors	<ul style="list-style-type: none"> Minimum 3 feet recessed from the building base Spanning minimum 75% of the length of the facade 	
Facade offset with a change in building material or color between the base and body	<ul style="list-style-type: none"> Minimum eighteen (18) inches vertical offset (recess or protrusion) for minimum 75% of the length of the facade 	

Step-back, Diverse Materials and Facade Offsets

Table 5.5 - BASE/BODY/TOP

STRATEGY	GUIDELINES	
FACADE ARTICULATION		
Vary the facade material, texture or pattern on the ground floor from building body	<ul style="list-style-type: none">Minimum 75% coverage of the facade wall area on the ground floor'	      
Vary the size and/or depth of windows or balconies across the building's base, body, and top	<ul style="list-style-type: none">50% change in depth or 20% change in size (square feet) between base and body or between body and top	
Roofline variation	<ul style="list-style-type: none">Spans the full length of the rooflineMinimum height 2 feet	
Decorative architectural elements such as columns and pilasters	<ul style="list-style-type: none">Minimum depth of 6" extending from the facadeEncompasses minimum 75% of the length of the facade	
Sheltered Walkway, Arcade, Colonnade	<ul style="list-style-type: none">6 feet wide minimum75% of the facade	
Ground floor awnings, arcades or canopies that project horizontally from the facade and provide shade over fenestration	<ul style="list-style-type: none">Minimum 3 feet deepSpans minimum 50% of frontage (applies to both frontages on corner lots)	
Other, as approved by the Planning Director		
Note A strategy used to satisfy this guideline may also be used to satisfy any other design requirement that lists the identical strategy option.		

Varied Facade Articulation at Multiple Levels and Scales

5.3 GROUND FLOOR TREATMENT

A. GROUND-FLOOR ACTIVATION

1. **Equal Design Treatment on Façades.** Where the rear or sides of the building are visible from streets and alleys, these façades should receive equal design treatment to the main façade.
2. **Visual Interest at Street Level.** Commercial buildings should incorporate human-scale design elements at the ground-floor level to add visual and spatial interest for pedestrians at the street level using techniques such as:
 - a) Staggering the frontage of the building;
 - b) Recessing doors and windows;
 - c) Providing varied display windows;
 - d) Providing awnings, louvers, and canopies for weather protection and shade; and
 - e) Visually extending interior spaces outside through paving and glazing.
3. **Primary Entrance.** The primary entrance to each commercial space on the ground floor should be located along the front façade at the primary frontage, with direct access from the sidewalk.
4. **Transparency.** Transparency, such as larger window coverage at the ground floor, increases a building's visual and physical interaction with those on the sidewalk and creates a safer and more vibrant pedestrian environment. For retail storefronts, clear, nonreflective glass should comprise at least 60 percent of the ground-floor street façade. Interior blinds, drapes, posters, signage, and interior shelving for product displays visible from the public right-of-way should obscure no more than 20 percent of the transparent areas of each storefront.
 - a) All ground-floor windows should have an external reflectance of less than 15%, and a transparency higher than 80%.
5. **Facade Relief.** Entries, doors, and windows can be highlighted with awnings, bright colors, special paving, or coordinated graphics to clearly indicate building access and provide relief from flat, blank continuous façades.
6. **Awnings.** Where appropriate, use awnings and other shade structures for sun protection and to give a building a distinctive identity to increase visual interest along a pedestrian corridor:
 - a) Mount awnings which have a design that is compatible with the architectural style the building.
 - b) Add awnings over doors to help identify building entrances and above windows. Do not mount awnings above blank walls.
 - c) Open ended awnings (no side panels) are preferred over closed in.
 - d) Encourage creative steel, canvas, and glass awnings with signage incorporated over cloth awnings.
 - e) Awning should project at least 3' from the building and provide at least 8' vertical clearance.
7. **Outdoor Dining.** Outdoor dining on private property and in the frontage zone along a commercial corridor should be encouraged where adequate space exists. Design food establishment buildings with walk-up order windows, bar style seating along the façade to encourage outdoor dining and an active storefront.

B. GROUND-FLOOR USES

1. **Primary Active Uses.** Active commercial uses include retail, restaurants, commercial services (e.g. barbershops and beauty salons), creative offices, and food stores.
2. **Other Active Uses.** Other active uses include youth centers, senior centers, community rooms, residential lobbies and gyms, live/work units, childcare, business and professional services, and other recreational facilities.
3. **Connectivity to Active Uses.** Internal pedestrian pathways and streets leading or connected to primary streets should have active uses to promote a pedestrian friendly environment.
4. **Frontages.** Residential uses that front a major commercial arterial are discouraged. Only active commercial uses are allowed on ground floor of corner lot buildings to activate the space.



Prominent Ground Floor Commercial Transparency



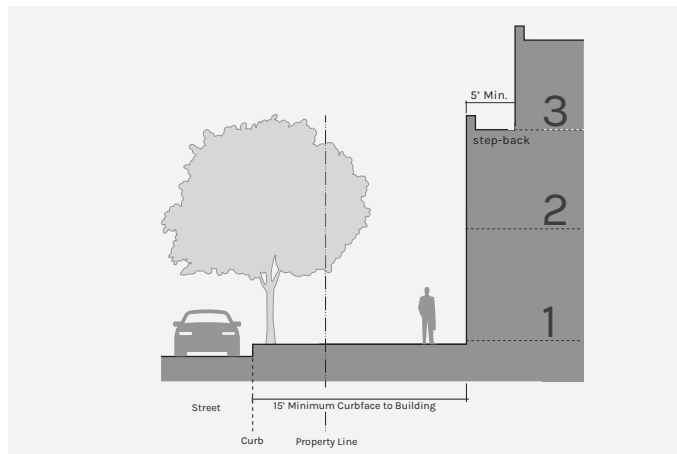
Facade relief and Non-Primary Uses Creates Attractive Frontages

5.4 UPPER FLOOR TREATMENT

A. STEP-BACKS

- 1. Articulated Building Façades and Massing.** To create visual interest and activation of the street, and to avoid large bulky façades and blank walls, articulate building massing using techniques such as some stepping back of upper floors, stepped terraces, changes in plane, recessed windows, bay windows, balconies, trellises, and varied roof lines.
- 2. Step-backs.** Along Paramount and Alondra Boulevards, with the intent of engaging the street with more opportunities to create an active commercial environment, stories above the second floor should be stepped back from front setback line or front building face at a minimum of five feet, and stories above the third floor should be stepped back an additional 10 feet over 50 percent of the facade. Balconies can occupy the step-back space. (See **Figure 5-2**)
- 3. Restaurant Step-backs.** Restaurants may provide a second story step-back to provide outdoor dining area located along a plaza, open space, or the street frontage.

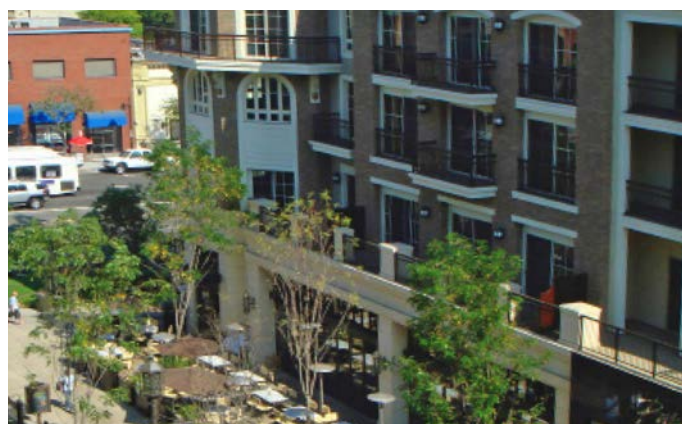
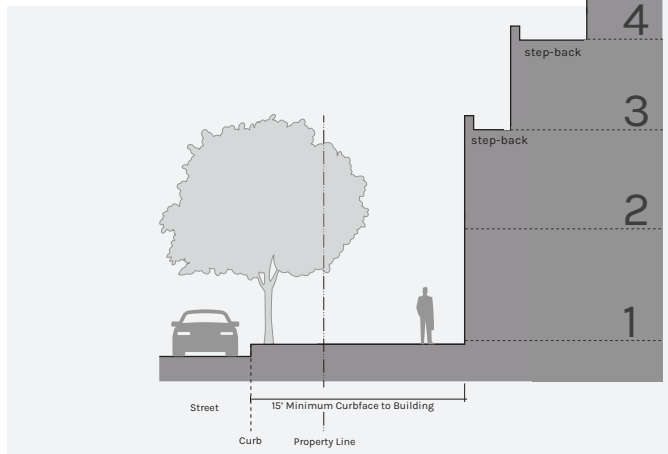
FIGURE 5-2. STEP-BACKS ABOVE 2 STORIES



B. ROOFS

- 1. Roofs.** Flat or pitched roofs are permitted. Pitched roofs should have a slope in the range of 3:12 to 6:12, except at architectural roof details (e.g., towers) where the slope may be greater than 6:12.
- 2. Lighting Fixtures.** New and substantially renovated development should use high energy efficiency exterior lighting fixtures.
 - a) Encourage solar powered exterior lighting fixtures.
- 3. Building Orientation for Solar Efficiency.** Buildings should orient most windows in the north-south direction which is ideal for solar orientation. New and substantially renovated developments should orient not less than 65% of windows and glazing in the north-south direction.
- 4. Solar Panels.** The use of solar panels for the generation of electricity and water heating is encouraged, provided that the location and design of panels is consistent with other guidelines set forth in this document.

FIGURE 5-2. STEP-BACKS ABOVE 3 STORIES



Building Step-backs Create Opportunities for Terraces that Activate and Engage the Street Level Commercial Environment

5.5 MATERIALS

A. MATERIALS

- 1. Facade Consistency and Compatibility.** Design, materials, and colors on all facades of a building – and amongst all buildings in a multi-building development – should be consistent so the building will appear as a cohesive unit.
- 2. Material and Color Variation.** Select durable and attractive materials and colors to unify the building appearance. For example, avoid imitation rock/stone veneer and extensive use of wood siding, heavily textured stucco walls, or slump stone masonry. Each building elevation should contain a combination of at least three (3) different colors and/or materials (including wall planes and trim). Generally, earth tone colors or variations thereof are encouraged and recommended for primary building colors.
 - a) Trim color/material may be used to satisfy up to two (2) of the individual color/material elements.
 - b) Glass used in windows and doors is excluded from satisfying this guideline, with the exception that glass used as part of a curtain wall façade area may qualify as a material variation.
 - c) Each color or material (excluding trim) should cover at least ten (10) percent of the façade area.
 - d) Changes in material should not occur at the outside corners of intersecting walls.
 - e) Excessively bright, gaudy, fluorescent, “electric” type colors are not acceptable.
- 3. Stucco.** Stucco material should be smooth texture. Black stucco or paint are not acceptable.
- 4. Accessory Structures.** On-site accessory structures, such as bus shelters, kiosks, gazebos, etc., should incorporate two colors and materials from the palette used for the principal structure.



Varied Materials Integrated with Form and Massing

B. BUILDING LIGHTING

- 1. Lighting Fixture Locations.** Lighting fixture locations on buildings are limited to fascias, soffits, ground mounted, under-canopies or trim bands, not roof mounted fixtures.
- 2. Screening.** All lighting tubes, bulbs, elements, wiring, conduits, etc. should be shielded from direct visual view. Special decorative fixtures may be exempt subject to City review and approval.
- 3. Exterior Lighting.** Exterior building lighting provides for safety and welfare of occupants and users. “Overflow” interior lighting can light portions of walkways etc. thereby reducing the number of fixtures.
 - a) Exterior lights of any type, both on a building or suspended in air, should be commercial grade lighting designed for heavy-duty, durable, frequent use in professional settings such as in commercial environments.
 - b) Multi-color string lights are not acceptable. white string lights are encouraged.
- 4. Materials and Colors.** Lighting fixture materials and colors should be consistent throughout building and parking areas.



Exterior Lighting as Architecture

5.6 PARKING GARAGE DESIGN

A. PARKING STRUCTURES

1. **Parking Structures.** The following guidelines apply to all parking structures proposed:

- a) Above-grade parking structures may not be located along the frontage of major arterial streets or collector streets for a depth of 40 feet unless retail, restaurants, offices, or similar pedestrian-oriented uses occupy the ground floor portion of the parking structure fronting the street, with the exception of the vehicular entrance/exit to the structure.
- b) A reduction in the total number of required parking spaces is encouraged for mixed-use projects that contain retail, restaurant, entertainment and neighborhood services on the ground floor, as parking will be shared. Further studies should be required to establish optimum parking ratios.
- c) Parking along primary corridors, such as Paramount and Alondra Boulevards, should not be located between the curb and setback areas, and/or within the encouraged 15 feet between curbface and front building face, i.e, the pedestrian realm. New buildings fronting on the pedestrian realm should screen parking from public view from streets by locating parking below grade or wrapping in above-grade parking structures with development.
- d) Parking structures should be designed as an integral component of the coordinated site plan and architectural theme. The interior treatment of a parking structure should be of a light color. The treatment should include a coordinated interior sign program designed to identify parking levels and locate stairwells, elevators, phones, exits and other interior features. Parking structure vehicle entrances should be visible and easily identifiable. The minimum distance of entry/exits from corner intersections should be at least 100 feet (preferably 150 feet). Entrances and exits should have clear lines of sight.



Parking Structure Concealed Behind Commercial Mixed-use Buildings



6.0 SPECIAL CONDITIONS: COMMERCIAL CORE

6.1	Introduction	76
6.2	Compact Development	78
6.3	Block Structure	79
6.4	Large Sites	80
6.5	Intersections and Nodes	82
6.6	Parking	83

6.1 INTRODUCTION

A. COMMERCIAL CORE FRAMEWORK

Compact, higher intense development with a mix of uses in walking distance to commercial activity increases residents' ability to walk to multiple destinations. This concentration fosters walking, bicycling, and shared modes between uses to minimize auto trips and vehicle pollution. Introducing mixed uses to active commercial areas can further support a vibrant commercial environment. Uses such as retail, restaurants, outdoor cafes, grocery stores, bookstores, civic and public uses, parks and plazas, child care, multi-family residential, offices, entertainment, hotel, recreational facilities, fitness clubs, and other active uses, cater to residents and employers alike for a successful partnership in creating a unique sense of place in Paramount's commercial core.

Figure 6-1 focuses on the Central Business District (CBD), highlighting the downtown core as the unique focal point for compact commercial development in Paramount. The downtown street network is depicted with red lines indicating the primary commercial frontages, while gateways mark key entry points. The map outlines the span of corridor coverage, emphasizing the importance of a distinct downtown character and connectivity within the CBD. This framework supports a vibrant and walkable commercial environment.



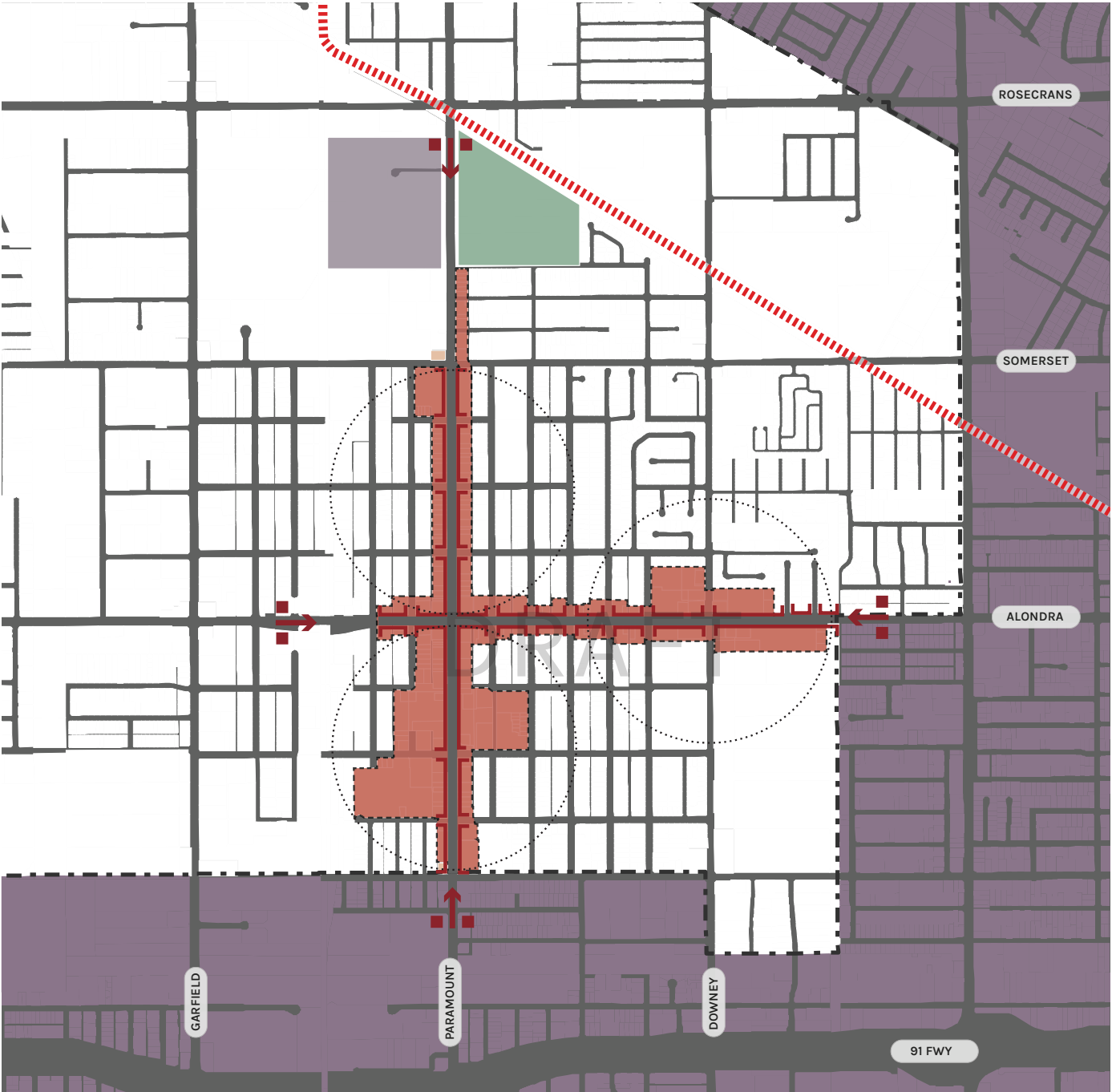
B. MIX OF USES









- 1. Proportion of Uses.** Vary the proportion and mix of uses depending on the characteristics of an individual area. For example, encourage moderate densification and commercial intensity in historically lower-density neighborhoods and more substantial densification and commercial intensity in medium- and high-density neighborhoods.
- 2. Commercial Uses Activity.** Encourage commercial uses generating high pedestrian or vehicle traffic to be located along major arterials. Along other corridors, encourage smaller-scale, community-serving commercial uses.
- 3. Tailor Designs to Reflect Uniqueness of an Area.** Vary the design character of developments based on the land use and urban design qualities envisioned and the unique characteristics of a specific geographic location.
- 4. Transit-Supportive Uses.** Provide transit-supportive uses that generate high pedestrian activity, foster an active environment throughout the day, and increase transit ridership. Discourage heavy industrial and non-transit supportive uses such as vehicle-oriented businesses like car washes, drive thrus, and car dealerships in the area directly around the commercial core.



Examples of Integrated Private and Public Realms

FIGURE 6-1. COMMERCIAL CORE FRAMEWORK



- | | | | |
|---|---------------------------------|---|--|
|  | Future Southeast Gateway Rail |  | Paramount Park + School |
|  | Gateway |  | Paramount Swap Meet |
|  | CBD Commercial Frontage |  | 1/4 Mile Pedestrian Shed (5-minute walk) |
|  | City Boundary | | |
|  | Central Business District (CBD) | | |

6.2 COMPACT DEVELOPMENT

A. DOWNTOWN CORE DEVELOPMENT

1. **Infill Development.** Remove barriers to infill development on small lots and underutilized parcels with limited existing on-site uses by reducing parking, height, setbacks, and other requirements.
2. **Surface Parking Redevelopment.** Permit and encourage properties with surface parking lots, especially street-adjacent lots, to replace a portion or the entirety of the lot with new development with a reduced or waived replacement parking requirement as necessary.
3. **Rehabilitation of Older Buildings.** Encourage the rehabilitation and reuse of older buildings to maintain neighborhood character and to sustainably accommodate new businesses and/or housing units.
4. **Condition and Density of Existing Uses.** Utilize code enforcement and incentives to encourage property owners to maintain their properties as safe and attractive to patrons to prevent blight.
5. **Compact Development.** Encourage compact development in the Commercial areas to address the smaller parcel sizes that currently exist within the downtown core in the Central Business District:
 - a) Allow the highest densities and intensities permitted in the area directly around the Commercial Business District and at transit stations.
 - b) Encourage minimum densities and floor area ratios for new development.
 - c) Encourage incentives for additional densities when public benefits are provided such as affordable housing, streetscape improvements, and reduced parking.
 - d) Provide incentives for consolidation of small lots for the purposes of developing commercial uses, mixed-use developments, or employment centers.
 - e) Where appropriate, consider two to four flexible housing units per parcel in areas within the commercial areas depending on the size of lots, infrastructure, and amenities in the area. These units can be work/live with shopfronts at the street level.
6. **Joint Development.** Encourage participation in Joint Development Programs by establishing an inventory of publicly owned land available for redevelopment.
7. **Lot Size.** Reduce minimum lot sizes to encourage more compact development.



Leveraging Lot Consolidation and Underutilized Land for Pedestrian-Scaled Compact Commercial Development



6.3 BLOCK STRUCTURE

A. BLOCK STRUCTURE

An important feature of Downtown Paramount is the established block size. The majority of blocks are approximately 320 x 600 feet which can be a challenging scale for walkability. Historically, the blocks were subdivided by alleys, allowing primarily vehicles to filter through the block but with limitations. In many locations, alleys that serve loading and servicing purposes and parking can also be shared with pedestrians and bicyclists to allow more connectivity to primary commercial corridors and filtration through the blocks. This urban design element is encouraged in new development to ensure the preservation of the fine-grained scale of the City.

1. Full Block Subdivision. New projects should preserve mid-block alleys and enhance connectivity with paseos wherever possible.

- a) Shared use of these zones is encouraged and should be designed to encourage slow vehicle speeds and clearly signed for shared use with pedestrians and bicyclists.
- b) Full-block developments that do not provide access through the block should articulate how

they will provide a pedestrian-oriented environment that supports the objective of making Downtown Paramount more walkable in support of commercial activity.

- c) Full-block development that does not provide public access through the block should provide a pedestrian-oriented environment that is inviting and interesting along the public frontages.
- d) Providing active uses along the alleys and paseos is highly encouraged.



Block Structure Composed of Elements that Contribute to a Pedestrian-Friendly Urban Environment

6.4 LARGE SITES

A. LARGE SITE CONDITIONS

Three conditions, as described below, will govern guidelines for new development of large sites. Under any condition, a building should not have a continuous face along a street for more that 200 feet without a break, such as a forecourt, alley or paseo.

- 1. One- to Two-Acre Sites.** Should include at least one alley. (See **Figure 6-3**)
- 2. Three- to Four-Acre Sites.** Should include at least one street. (See **Figure 6-4**)
- 3. Sites of Four Acres or More.** Should be subdivided and organized as a network of streets, alleys, paseos, and should also include open space of a 1/2-acre in size. (See **Figure 6-5**)







-  Future Southeast Gateway Rail
-  Gateway
-  City Boundary
-  Central Business District
-  Large Sites within CBD
-  1/4 Mile Pedestrian Shed

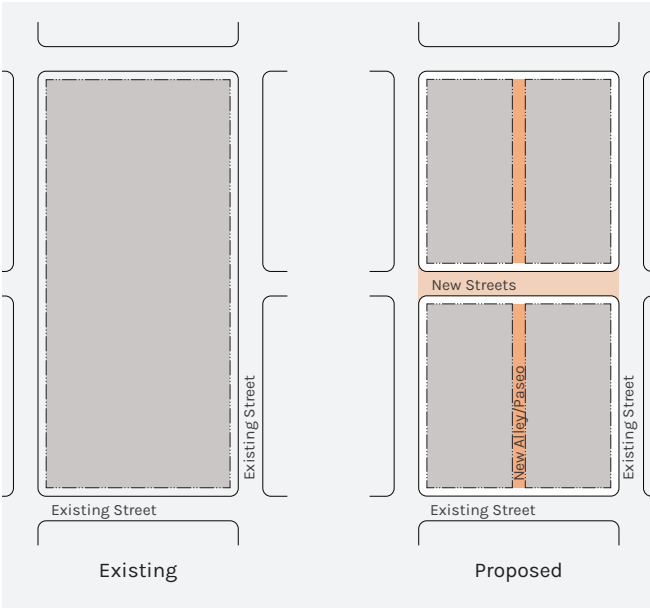
FIGURE 6-2. PRIVATE REALM LARGE SITES



FIGURE 6-3. ONE- TO TWO-ACRE SITES



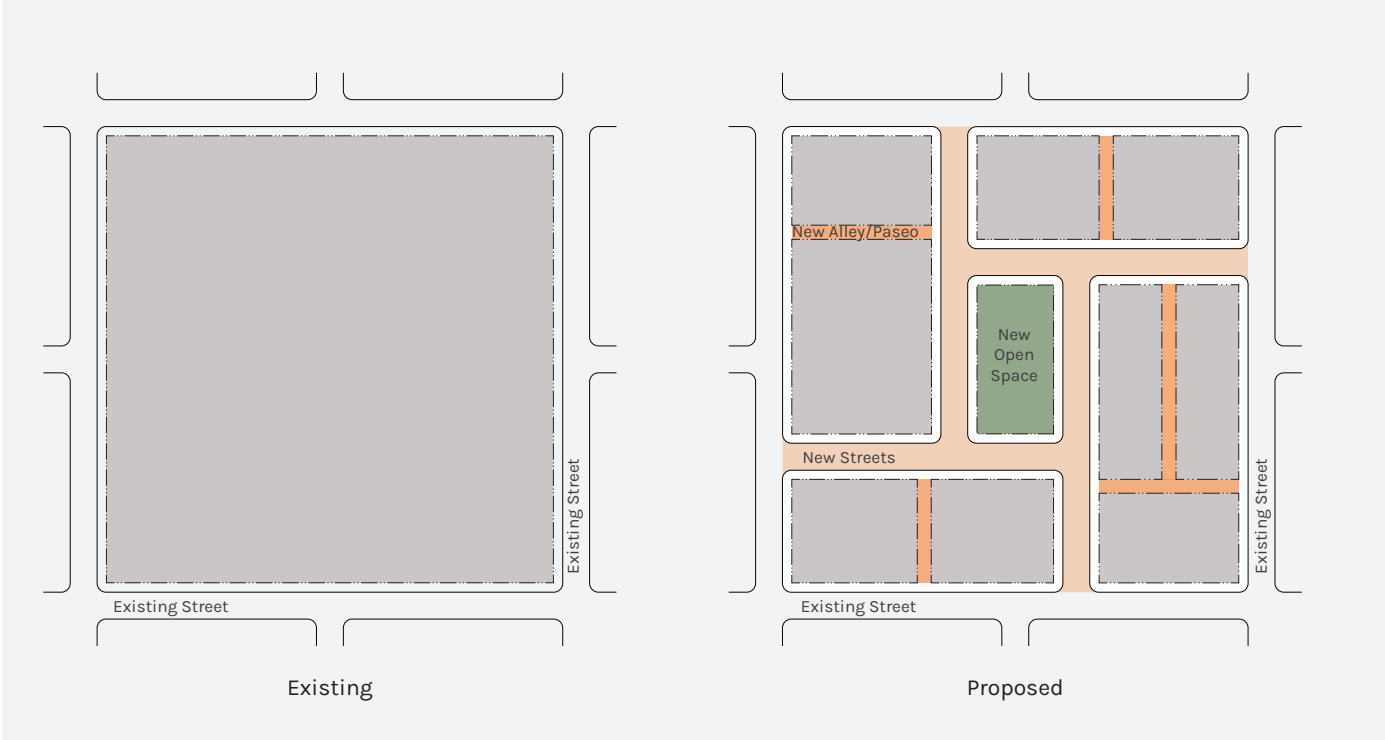
FIGURE 6-4. THREE- TO FOUR-ACRE SITES



- Large Sites
- Streets
- Alleys/Paseos

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FIGURE 6-5. SITES OF FOUR ACRES OR MORE



- Large Sites
- Streets
- Alleys/Paseos
- Open Space

6.5 INTERSECTIONS AND NODES

A. HIGH VISIBILITY CROSSWALKS

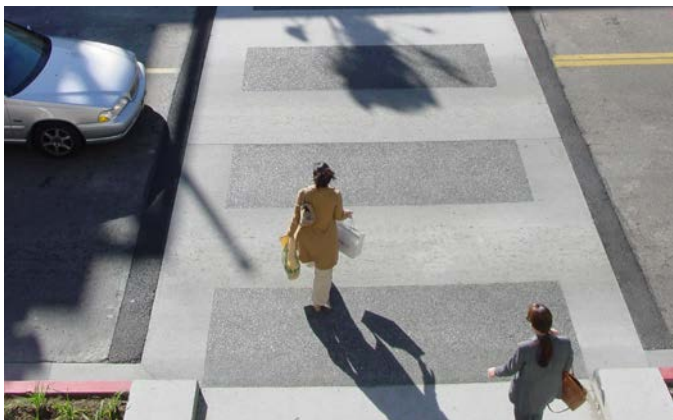
Marked crosswalks at controlled and mid-block intersections direct pedestrians to ideal locations to cross a street and prompt motorists where to yield for pedestrians. Crosswalks should be highly visible to both drivers and pedestrians and can be installed with continental striping or decorative pavers. High visibility crosswalks can also include raised crosswalks or freestanding beacons to increase visibility; these enhancements are particularly important at mid-block crossings where motorists may need additional warnings of the presence of pedestrians.

1. **Continental Crosswalks.** A continental crosswalk has wide highly visible longitudinal strips paired with a stop line setback from the crosswalk.
2. **Intersection Visibility.** Vertical elements such as street trees should be set back from intersections and crossing points so as to not block visibility of pedestrians at the crosswalk.

B. CURB RAMPS

Curb ramps allow mobility-impaired persons and persons with strollers convenient access to the sidewalk from the street. The Americans with Disabilities Act (ADA) requires curb ramps to be installed at all locations where pedestrians cross.

1. **ADA Warning Surface.** All curb ramps should have ADA-approved ramps with detectable warning surface (min. width 24") in yellow.
2. **Crosswalk Alignment.** Curb ramps should be designed to align with crosswalks and should be provided at each crossing approach as opposed to providing one curb cut per corner.
3. **Landings.** At least 48" of landing should be provided behind the curb ramp.



Highly Visible Decorative Crosswalk

C. MEDIAN REFUGE ISLAND

Median refuge islands provide a protected space for pedestrians or bicyclists crossing the street at intersections or mid-block crosswalks. They are especially recommended for major and secondary corridors or other wide streets that are unsignalized.

1. **Pedestrians with Disabilities.** Median refuges should accommodate pedestrians with disabilities and provide all pedestrians with a clear path of travel.
2. **Minimum Width.** The minimum width of a median refuge island is 6', with a preferred width of 10'. The minimum length of the island is 13', with a typical range between 13-20'.
3. **Signage.** Signage and reflective material should identify the refuge island.
4. **Detectable Paving.** Provide detectable paving for visually impaired uses to indicate the presence of a pedestrian refuge.

D. GATEWAYS

For visitors outside the City of Paramount, gateways signaling arrival to its Downtown area provides an introduction to the City. Gateway signage and/or other physical markers in the City's Downtown commercial core are critical points that reflect the City as a whole.

1. **Gateway Locations.** Strategic locations at intersections which serve as primary entries into Downtown's commercial core should be identified. Priority should be given to one location from each direction - north, south, east, and west along Paramount's major commercial corridors as identified in Chapter 2.
2. **Gateway Signage and Branding.** Gateways should provide welcome signage, visitor information, maps, and wayfinding signage to direct visitors to nearby destinations.



High Visibility Crosswalk with Median Refuge Island

6.6 PARKING

A. DOWNTOWN CORE PARKING

1. **Amount of Parking.** Consider flexible parking standards to allow parking to be right-sized and to allow required parking spaces to be satisfied by a single parking facility and/or on-street parking. Where parking for an infrequent peak-demand is required, encourage utilization of shared parking facilities.
2. **On-Street Parking.** On-street parking, where appropriate, is encouraged to serve as a buffer between pedestrians and travel lanes. Transit-oriented areas often encourage reduced off-street parking requirements, and the provision of on-street parking ensures that adequate parking for a Commercial area is maintained. Curbside on-street parking serves as a buffer for pedestrians from travel lanes. On-street parking is also desirable for streets with high commercial activity and allows patrons to retailers to park in one spot and visit multiple adjacent businesses.
 - a) Along commercial corridors, establish an on-street parking strategy to enable short-term parking next to retailers, restaurants, and other businesses.
 - b) For residential areas adjacent to high-activity commercial corridors, consider the implementation of a residents-only permit parking district to ensure the preservation of street parking for local residents.
3. **Surface Parking.** Discourage surface parking adjacent to the sidewalk along major streets and encourage on-site parking located underground, at the rear of the parcels, or buffered from view with convenient pedestrian access to the primary building entrance. Where surface parking lots are visible from street view, provide trees and other vegetation as a visual buffer. Encourage all surface parking lots include landscaping along the perimeter of pedestrian paths and the edges of the lot.
4. **Park and Ride Lots.** Allow for the provision of Park and Ride lots or parking spaces in areas adjacent to high-ridership transit stations.
5. **Joint and Shared Parking.** Permit unbundled parking and allow property owners to form agreements to consolidate the parking required for two or more proximate developments on one parcel to maximize parking lot efficiency and reduce the number of curb cuts.
6. **Parking Strategies in Employment Centers.** Encourage shared parking strategies and provide incentives such as reduced rate or reimbursable transit passes in employment centers to consolidate and efficiently provide the necessary amount of employee parking.
7. **“Park Once” Districts.** “Park Once” districts allow visitors to park in one location and reach multiple destinations on foot before returning to their vehicle. Where traffic volumes and commercial activity levels allow, establish a Park Once district which may include any of the following provisions:
 - a) Adjacent property owners are permitted to share parking lots.
 - b) On-street parking spaces and public parking lots are to allow a set number of parking for free or for a reduced fee.
 - c) Docking stations for bikeshare vehicles are to be provided.



On-street Parking Contributes to Vibrant Commercial Cores



Parking Integrates Commercial Space at the Ground Level

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7.0 APPENDIX A: MASTER PLANT LIST

7.1 Trees	86
7.2 Shrubs	89
7.3 Perennials, Succulents, Grasses	93
7.4 Ground Covers	97
7.5 Vines	101

WHY A MASTER PLANT LIST?

The plant list below was developed to support sustainable landscape practices in the City of Paramount, guided by key selection criteria. Priority was given to water-efficient, drought-tolerant species that help conserve local water resources. California native and well-adapted, non-invasive plants were emphasized to promote biodiversity and ensure compatibility with the region's natural conditions. The selection also focused on low-maintenance species that reduce the need for pruning, pest management, and fertilization, supporting resource-efficient landscape care. Plants were chosen for their climate and soil suitability, ensuring long-term health and resilience in Paramount's specific environmental context. Additionally, species offering aesthetic and functional value- such as visual interest, seasonal variety, shade, erosion control, and natural screening, were prioritized.

The resulting plant list includes a diverse range of trees, shrubs, ground covers, and accent plants, organized by plant type and includes size, water requirements, and usage guidelines to assist with effective and attractive landscape planning.

7.1 TREES

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
TREES						
<i>Acacia cognata</i>	River Wattle	Moderate		20'-30'	Private; Public	
<i>Acacia farnesiana</i> (<i>Vachellia farnesiana</i>)	Sweet Acacia, Huisache	Very Low		15'-20'	Private; Public	Flowering
<i>Acacia greggii</i> (<i>Senegalia greggii</i>)	Catclaw Acacia	Low	X	11'-15'	Private; Public	Flowering; Pollinator Habitat; Screening
<i>Acacia pendula</i>	Weeping Acacia	Moderate		20'-30'	Private; Public	
<i>Acacia stenophylla</i>	Shoestring Acacia	Low		20'-30'	Private; Public	
<i>Afrocarpus falcatus</i> (<i>Podocarpus gracilior</i>)	Fern Pine	Moderate		40'-50'	Private; Public	Screening
<i>Agonis flexuosa</i>	Peppermint Tree	Low		25'-40'	Private; Public	
<i>Agonis flexuosa</i> 'Burgundy'	Burgundy Peppermint Willow	Low		15'-25'	Private; Public	
<i>Albizia julibrissin</i>	Silk Tree, Mimosa	Low		20'-40'	Private; Public	Flowering
<i>Araucaria heterophylla</i> (<i>Araucaria excelsa</i>)	Norfolk Island Pine, Star Pine	Moderate		160'-210'	Private; Public	
<i>Arbutus unedo</i> 'Marina'	Strawberry Tree	Low		40'-50'	Private; Public	Flowering
<i>Bauhinia x blakeana</i>	Hong Kong Orchid	Moderate		20'	Private; Public	Accent; Flowering
<i>Callistemon viminalis</i>	Weeping Bottlebrush	Low		8'-10'	Private; Public	Flowering
<i>Calocedrus decurrens</i>	Incense Cedar	Moderate	X	12'-200'	Private; Public	Container; Screening
<i>Cassia leptophylla</i>	Gold Medallion Tree	Moderate		15'-25'	Private; Public	Flowering
<i>Casuarina cunninghamiana</i>	River She-Oak	Low		50'-100'	Private; Public	
<i>Cercis canadensis</i>	Eastern Redbud	Moderate		15'-30'	Private; Public	Accent; Flowering
<i>Cercis occidentalis</i>	Western Redbud	Low	X	10'-20'	Private; Public	Accent; Bioswale; Container; Flowering; Pollinator Habitat
<i>Chilopsis linearis</i>	Desert Willow	Very Low	X	15'-40'	Private; Public	Flowering; Pollinator Habitat
<i>Cinnamomum camphora</i>	Camphor Tree	Moderate		70'	Private; Public	
<i>Citrus species & cultivars</i>	Citrus	Moderate		var.	Private; Public	Container; Flowering
<i>Cupressus forbesii</i>	Tecate Cypress	Very Low	X	33'	Private; Public	Screening
<i>Cupressus sempervirens</i>	Italian Cypress	Low		60'-80'	Private; Public	Screening
<i>Dasyliiron quadrangulatum</i>	Mexican Grass Tree	Very Low		6'-10'	Private; Public	Accent
<i>Dracaena draco</i>	Dragon Tree	Very Low		15'-25'	Private; Public	Accent
<i>Eriobotrya deflexa/japonica</i>	Bronze Loquat, Loquat	Moderate		15'-25'	Private; Public	Flowering
<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash	Moderate		25'-35'	Private; Public	
<i>Geijera parviflora</i>	Australian Willow	Low		20'-30'	Private; Public	Screening
<i>Ginkgo biloba</i>	Maidenhair Tree, Ginkgo	Moderate		50'-80'	Private; Public	
<i>Gleditsia triacanthos</i>	Honey Locust	Moderate		30'-70'	Private; Public	
<i>Handroanthus impetiginosus</i> (<i>Tabebuia avellanedae</i>)	Pink Trumpet Tree	Moderate		20'-30'	Private; Public	Accent; Flowering
<i>Hymenosporum flavum</i>	Sweetshade Tree	Moderate		25'-40'	Private; Public	Flowering
<i>Jacaranda mimosifolia</i>	Jacaranda	Moderate		25'-50'	Private; Public	Flowering
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree	Moderate		20'-40'	Private; Public	Flowering
<i>Koelreuteria paniculata</i>	Golden Rain Tree	Low		20'-40'	Private; Public	Flowering
<i>Lagerstroemia indica</i> and cultivars	Crape Myrtle	Moderate		20'-25'	Private; Public	Flowering
<i>Ligustrum japonicum</i> 'Texanum'	Glossy Privet	Moderate		6'-8'	Private; Public	Flowering; Screening
<i>Lophostemon confertus</i> (<i>Tristania conferta</i>)	Brisbane Box	Moderate		40'-60'	Private; Public	

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
TREES						
<i>Lyonothamnus floribundus</i>	Santa Cruz Island Ironwood	Low	X	20'-30'	Private; Public	Flowering; Pollinator Habitat; Screening
<i>Lysiloma watsonii</i>	Feather Bush	Low	X	11'-15'	Private; Public	
<i>Magnolia grandiflora</i>	Southern Magnolia	Moderate		50'	Private; Public	Flowering
<i>Magnolia x soulangeana</i>	Saucer Magnolia	Moderate		20'-25'	Private; Public	Flowering
<i>Melaleuca armillaris</i>	Bracelet Honey-Myrtle	Low		20'-30'	Private; Public	Flowering
<i>Melaleuca nesophila</i>	Pink Melaleuca	Low		15'-20'	Private; Public	Flowering
<i>Melaleuca quinquenervia</i>	Broad-Leafed Paperbark	Low		25'-40'	Private; Public	Flowering
<i>Olea europaea</i> 'Swan Hill'	Swan Hill Fruitless Olive	Low		20'-30'	Private; Public	
<i>Parkinsonia x</i> 'Desert Museum'	Desert Museum Palo Verde	Very Low	X	25'	Private; Public	Accent; Flowering; Pollinator Habitat
<i>Pinus</i> species & cultivars	Pine	var.		var.	Private; Public	
<i>Pinus canariensis</i>	Canary Island Pine	Low		80'-90'	Private; Public	
<i>Pinus eldarica</i>	Eldarica Pine, Afghan Pine	Very Low		30'-80'	Private; Public	
<i>Pinus halepensis</i>	Aleppo Pine	Low		30'-60'	Private; Public	
<i>Pinus pinea</i>	Italian Stone Pine	Low		40'-80'	Private; Public	
<i>Pinus torreyana</i>	Torrey Pine	Low	X	25'-150'	Private; Public	
<i>Pistachia chinensis</i>	Chinese Pistache	Low		30'-60'	Private; Public	
<i>Pistachia chinensis</i> 'Red Push'	Red Push Pistache	Low		25'-40'	Private; Public	
<i>Pittosporum</i> species & cultivars	Pittosporum	Moderate		var.	Private; Public	
<i>Platanus racemosa</i>	California Sycamore	Moderate	X	20'-115'	Private; Public	
<i>Platanus x acerifolia</i>	London Plane Tree Sycamore	Moderate		75'-100'	Private; Public	Pollinator Habitat
<i>Platanus x acerifolia</i> 'Columbia'	Columbia London Plane Tree	Moderate		40'-80'	Private; Public	
<i>Prosopis chilensis</i>	Chilean Mesquite	Low		30'	Private; Public	
<i>Prosopis glandulosa</i>	Honey Mesquite	Low		30'	Private; Public	Screening
<i>Prunus ilicifolia</i>	Hollyleaf Cherry	Very Low	X	30'-49'	Private; Public	Pollinator Habitat; Screening
<i>Punica granatum</i>	Pomegranate	Low		6'-20'	Private; Public	Flowering
<i>Quercus</i> species & cultivars	Oak	Low		var.	Private; Public	
<i>Quercus agrifolia</i>	Coast Live Oak	Very Low	X	25'-82'	Private; Public	Pollinator Habitat
<i>Quercus ilex</i>	Holly Oak	Low		70'-100'	Private; Public	
<i>Quercus suber</i>	Cork Oak	Low		40'-70'	Private; Public	
<i>Quercus tomentella</i>	Island Oak	Low	X	33'-66'	Private; Public	Pollinator Habitat
<i>Quercus virginiana</i>	Southern Live Oak	Moderate		40'-50'	Private; Public	
<i>Rhus lancea</i>	African Sumac	Low		30'	Private; Public	
<i>Strelitzia nicolai</i>	Giant Bird Of Paradise	Low		20'	Private; Public	Flowering
<i>Tabebuia</i> species & cultivars	Trumpet Tree	Moderate		20'-30'	Private; Public	Flowering
<i>Tipuana tipu</i>	Tipu Tree	Moderate		20'-30'	Private; Public	Flowering
<i>Ulmus parvifolia</i>	Chinese Elm	Moderate		30'-50'	Private; Public	
<i>Umbellularia californica</i>	California Laurel, Bay Laurel	Low	X	6'-80'	Private; Public	Pollinator Habitat
<i>x Chitalpa tashkentensis</i>	Chitalpa	Low		20'-50'	Private; Public	Flowering
<i>x Chitalpa tashkentensis</i> 'Pink Dawn'	Pink Dawn Chitalpa	Low		25'	Private; Public	Accent; Flowering

7.1 TREES



Chilopsis Linearis



Jacaranda Mimosifolia



Parkinsonia x Desert Museum



Pistachia Chinensis Red Push



Platanus Racemosa



Prosopis Chilensis



Quercus Tomentella



Tabebuia



Umbellularia Californica

7.2 SHRUBS

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
SHRUBS						
Acacia cognata 'Cousin Itt'	Cousin Itt Acacia	Moderate		24"-36"	Private; Public	Accent; Bioswale; Container
Adenanthos cuneatus	Flame Bush	Low		3'-5'	Private; Public	Flowering
Adenanthos sericeus	Coast Woollybush	Low		4'-6'	Private; Public	Pollinator Habitat; Screening
Alyogyne huegelii	Blue Hibiscus	Low		6'+	Private; Public	Flowering; Pollinator Habitat; Screening
Arctostaphylos species & cultivars	Manzanita	Low	X	var.	Private; Public	Accent; Bioswale; Container; Flowering; Pollinator Habitat; Screening
Arctostaphylos 'Howard McMinn'	Howard McMinn Manzanita	Low	X	5'-7'	Private; Public	Accent; Container; Flowering; Pollinator Habitat; Screening
Arctostaphylos 'John Dourley'	John Dourley Manzanita	Low	X	24"-36"	Private; Public	Accent; Container; Flowering; Pollinator Habitat; Screening
Arctostaphylos manzanita 'Dr. Hurd'	Dr. Hurd Manzanita	Low	X	10'-15'	Private; Public	Accent; Container; Flowering; Pollinator Habitat; Screening
Asparagus densiflorus 'Myers'	Foxtail Fern	Moderate		24"-36"	Private; Public	Accent; Container
Berberis 'Golden Abundance'	Golden Abundance Oregon Grape	Moderate	X	5'-8'	Private; Public	Accent; Bioswale; Flowering; Pollinator Habitat; Screening
Calliandra californica	Red Fairy Duster, Zapotillo	Very Low	X	3'-5'	Private; Public	Container; Flowering; Pollinator Habitat
Calliandra eriophylla	Fairy Duster	Very Low	X	12"-36"	Private; Public	Container; Flowering; Pollinator Habitat
Callistemon citrinus	Lemon Bottlebrush	Low		3'-5'	Private; Public	Accent; Flowering; Screening
Callistemon viminalis 'Little John'	Dwarf Bottlebrush	Low		3'	Private; Public	Accent; Container; Flowering
Calothamnus gracilis	Slender Net Bush	Low		12"-24"	Private; Public	
Carissa macrophylla 'Green Carpet'	Green Carpet Carissa	Low		12"-24"	Private; Public	
Ceanothus species & cultivars	Wild Lilac	Low	X	var.	Private; Public	Bioswale; Flowering; Pollinator Habitat; Screening
Ceanothus 'Ray Hartman'	Ray Hartman Ceanothus	Low	X	15'-30'	Private; Public	Flowering; Pollinator Habitat; Screening
Ceanothus x 'Concha'	Concha Ceanothus	Low	X	3'-6'	Private; Public	Flowering; Pollinator Habitat
Chondropetalum tectorum	Small Cape Rush	Low		24"-36"	Private; Public	Flowering
Cistus species & cultivars	Rockrose	Low		var.	Private; Public	Bioswale
Cordylina species & cultivars	Festival Grass	Moderate		24"-36"	Private; Public	Container
Correa species & cultivars	Australian Fuchsia	Low		var.	Private; Public	
Dianella revoluta 'Big Rev'	Big Rev Flax Lily	Low		24"-36"	Private; Public	Container; Flowering
Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	Low		12'-16'	Private; Public	Screening
Eriogonum arborescens	Santa Cruz Island Buckwheat	Very Low	X	2'-7'	Private; Public	Container; Flowering; Pollinator Habitat
Eriogonum grande var. rubescens	Red-Flowered Buckwheat	Very Low	X	8"-18"	Private; Public	Container; Flowering; Pollinator Habitat
Grevillea species & cultivars	Grevillea	Low		var.	Private; Public	Accent; Container; Flowering
Grevillea 'Bonfire'	Bonfire Grevillea	Low		8'-12'	Private; Public	Accent; Container; Flowering; Screening
Grevillea lanigera 'Coastal Gem'	Coastal Gem Woolly Grevillea	Low		12"	Private; Public	Container; Flowering

Appendix A: Master Plant List

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
SHRUBS						
Heteromeles arbutifolia	Toyon	Very Low	X	6'-30'	Private; Public	Accent; Bioswale; Pollinator Habitat; Screening
Juniperus californica	California Juniper	Very Low	X	10'-26'	Private; Public	Accent; Pollinator Habitat; Screening
Lantana camara & cultivars	Lantana	Low		var.	Private; Public	Container; Flowering; Pollinator Habitat
Lantana 'Lemon Swirl'	Lemon Swirl Bush Lantana	Low		4'-6'	Private; Public	Container; Flowering; Pollinator Habitat
Lantana 'New Gold'	New Gold Lantana	Low		12"-18"	Private; Public	Container; Flowering; Pollinator Habitat
Leptospermum scoparium & cultivars	New Zealand Tea Tree, Manuka	Low		6'	Private; Public	Flowering; Screening
Leucadendron species & cultivars	Protea	Low		var.	Private; Public	Accent; Flowering; Pollinator Habitat
Ligustrum japonicum	Waxleaf Privet, Japanese Privet	Moderate		10'	Private; Public	Container; Flowering; Screening
Mimulus diplacus & cultivars	Monkey Flower	Low	X	24"-36"	Private; Public	Bioswale; Flowering; Pollinator Habitat
Myrica californica	Pacific Wax Myrtle	Low	X	20'-30'	Private; Public	Pollinator Habitat; Screening
Myrsine africana	African Boxwood	Low		6'-8'	Private; Public	Container; Screening
Myrtus communis 'Compacta'	Dwarf Myrtle	Low		24"-36"	Private; Public	Screening
Olea 'Little Ollie'	Little Ollie Fruitless Dwarf Olive	Low		6'	Private; Public	Container; Screening
Phlomis fruticosa	Jerusalem Sage	Low		3'-4'	Private; Public	Flowering; Pollinator Habitat
Pittosporum crassifolium 'Nana'	Karo Pittosporum	Moderate		24"-36"	Private; Public	
Pittosporum tobira 'Variegata'	Varietaged Mock Orange	Moderate		4'-5'	Private; Public	Screening
Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum	Moderate		23"-36"	Private; Public	Container; Screening
Prunus ilicifolia ssp. ilicifolia	Hollyleaf Cherry	Very Low	X	5'-40'	Private; Public	Pollinator Habitat; Screening
Punica granatum 'Nana'	Dwarf Pomegranate	Low		36"	Private; Public	Accent; Container; Flowering
Rhus ovata	Sugar Bush	Very Low	X	7'-33'	Private; Public	Flowering; Pollinator Habitat; Screening
Rhamnus californica	Coffeeberry	Very Low	X	6'-15'	Private; Public	Bioswale; Container; Pollinator Habitat; Screening
Rhamnus californica 'Little Sur'	Little Sur Coffeeberry	Very Low	X	2'-4'	Private; Public	Container; Pollinator Habitat; Screening
Rhamnus californica 'Mound San Bruno'	Mound San Bruno California Coffeeberry	Very Low	X	3'-4'	Private; Public	Container; Pollinator Habitat; Screening
Rhus integrifolia	Lemonade Berry	Very Low	X	3'-30'	Private; Public	Pollinator Habitat; Screening
Ribes viburnifolium	Catalina Currant	Very Low	X	24"-36"	Private; Public	Bioswale; Pollinator Habitat
Romneya coulteri	Matilija Poppy	Very Low	X	7'-10'	Private; Public	Accent; Flowering; Pollinator Habitat
Rosa californica	California Wildrose	Low	X	4'-5'	Private; Public	Accent; Flowering; Pollinator Habitat; Screening
Salvia rosmarinus & cultivars	Rosemary	Very Low		var.	Private; Public	Container; Flowering; Pollinator Habitat
Salvia rosmarinus 'Roman Beauty'	Roman Beauty Rosemary	Very Low		24"-36"	Private; Public	Container; Flowering; Pollinator Habitat

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
SHRUBS						
Salvia greggii	Autumn Sage	Low		24"-36"	Private; Public	Container; Flowering; Pollinator Habitat
Salvia leucantha	Mexican Bush Sage	Low		4'	Private; Public	Container; Flowering; Pollinator Habitat
Salvia mellifera	Black Sage	Very Low	X	3'-6'	Private; Public	Container; Flowering; Pollinator Habitat; Screening
Salvia mellifera 'Terra Seca'	Terra Secca Sage	Very Low	X	12"-24"	Private; Public	Container; Flowering; Pollinator Habitat
Salvia clevelandii x leucophylla 'Pozo Blue'	Pozo Blue Sage	Very Low	X	4'-5'	Private; Public	Accent; Container; Flowering; Pollinator Habitat
Sansevieria species & cultivars	Sansevieria	Low		var.	Private; Public	Container
Westringia 'Aussie Box'	Westringia Aussie Box	Low		36"	Private; Public	Container; Flowering; Screening
Westringia fruticosa	Coast Rosemary	Low		4'-6'	Private; Public	Flowering; Screening
Westringia fruticosa 'Morning Light'	Morning Light Coast Rosemary	Low		3'-4'	Private; Public	Screening
Westringia fruticosa 'Mundi'	Mundi Coast Rosemary	Low		12"-24"	Private; Public	Flowering

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7.2 SHRUBS



Acacia Cognata Cousin Itt



Arctostaphylos Densiflora Howard
McMinn



Berberis Golden Abundance



Ceanothus Concha



Eriogonum Grande Var Rubescens



Heteromeles Arbutifolia



Myrica Californica



Rhus Integrifolia



Salvia Clevelandii Leucophylla

7.3 PERENNIALS, SUCCULENTS, GRASSES

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
PERENNIALS, SUCCULENTS, GRASSES						
Aeonium species & cultivars	Tree Houseleeks	Low		var.	Private	Container
Aeonium arboreum 'Zwartkop'	Black Rose Aeonium	Low		3'-4'	Private	Accent; Container
Aeonium x 'Kiwi'	Kiwi Aeonium	Low		12"-24"	Private	Container
Aeonium x 'Mint Saucer'	Mint Saucer Aeonium	Low		24"-36"	Private	Container
Agave species & cultivars	Agave	Low		var.	Private	Container
Agave attenuata	Fox Tail Agave	Low		4'-5'	Private	Container
Agave attenuata 'Boutin Blue'	Blue Fox Tail Agave	Low		3'-4'	Private	Container
Agave desmettiana	Smooth Agave	Very Low		24"-36"	Private	Container
Agave stricta 'Nana'	Dwarf Hedgehog Agave	Low		<12"	Private	Container
Agave vilmoriniana	Octopus Agave	Low		3'-4'	Private	Container
Agave x 'Blue Flame'	Blue Flame Agave	Low		24"-36"	Private	Container; Flowering
Aloe vera	Medicinal Aloe	Low		12"-24"	Private	Container
Aristida purpurea 'Chino Hills'	Purple Three-Awn	Very Low	X	24"-36"	Private; Public	Pollinator Habitat
Asclepias fascicularis	Narrowleaf Milkweed	Very Low	X	24"-36"	Private; Public	Container; Flowering; Pollinator Habitat
Bouteloua gracilis 'Blonde Ambition'	Blue Grama	Low	X	6"-24"	Private; Public	Pollinator Habitat
Carex divulsa	Foothill Sedge	Low		12"-24"	Private; Public	Bioswale; Container
Carex praegracilis	Clustered Field Sedge, California Field Sedge	Moderate	X	4"-12"	Private; Public	Bioswale; Container; Pollinator Habitat
Crassula species & cultivars	NCN	Low		<12"	Private	Container; Flowering
Crassula 'Blue Bird'	Blue Bird Crassula	Low		24"-36"	Private	Container; Flowering
Crassula capitella 'Campfire'	Campfire Crassula	Low		6"-12"	Private	Bioswale; Container
Crassula multicava	Fairy Crassula	Low		<12"	Private	Container; Flowering
Crassula multicava 'Cape Province'	Cape Province Pygmyweed	Low		<12"	Private	Container; Flowering
Dasyliiron wheeleri	Spoon Yucca	Very Low		4'-6'	Private	
Delosperma alba	White Training Ice Plant	Low		6"-12"	Private	Flowering
Delosperma cooperi	Hardy Iceplant	Low		<12"	Private	Flowering
Dianella species & cultivars	Flax Lily	Low		var.	Private; Public	Bioswale
Dianella caerulea 'Cassa Blue'	Cassa Blue Flax Lily	Moderate		12"-24"	Private; Public	
Dianella revoluta 'Little Rev'	Little Rev Flax Lily	Low		24"-36"	Private; Public	
Dianella tasmanica 'Tasred'	Tasred Flax Lily	Moderate		18"-24"	Private; Public	
Dudleya species & cultivars	Dudleya	Very Low	X	var.	Private	Container; Pollinator Habitat
Dudleya pulverulenta	Chalk Dudleya	Very Low	X	4"-12"	Private	Container; Pollinator Habitat
Echeveria imbricata 'Afterglow'	Afterglow Echeveria	Low		6"-8"	Private	Container
Echeveria imbricata 'Blue Rose'	Hen And Chicks, Blue Rose	Low		<8"	Private	Container
Echeveria secunda	Old Hen And Chicks	Low		3"-5"	Private	Container
Echinacea purpurea	Purple Coneflower	Moderate		3'-4'	Private; Public	Flowering; Pollinator Habitat
Echium candicans	Pride Of Madeira	Very Low		5'-6'	Private; Public	Flowering
Elymus glaucus	Blue Wild Rye Grass	Low	X	1'-5'	Private; Public	Bioswale; Pollinator Habitat
Encelia californica	Coast Sunflower	Very Low	X	2'-5'	Private; Public	Flowering; Pollinator Habitat
Epilobium species & cultivars	California Fuchsia, Zauschneria	Low	X	3"-18"	Private; Public	Bioswale; Container; Flowering; Pollinator Habitat

Appendix A: Master Plant List

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
PERENNIALS, SUCCULENTS, GRASSES						
Erigeron karvinskianus	Santa Barbara Daisy	Low		12"	Private; Public	Bioswale; Container; Flowering
Eriogonum fasciculatum	California Buckwheat	Very Low	X	1'-7'	Private; Public	Bioswale; Flowering; Pollinator Habitat
Eriophyllum confertiflorum	Golden Yarrow, Yellow Yarrow	Very Low	X	24"	Private; Public	Bioswale; Flowering; Pollinator Habitat
Festuca californica	California Fescue	Very Low	X	12"-36"	Private; Public	Bioswale; Container; Pollinator Habitat
Festuca mairei	Atlas Fescue	Low		24"-36"	Private; Public	Bioswale; Container
Furcraea foetida 'Mediopicta'	Mauritius Hemp	Low		4'-5'	Private	
Graptopetalum superbum	Ghost Plant	Low		<3"	Private	Container
Graptoveria 'Fred Ives'	Fred Ives Graptoveria	Low		6"-8"	Private	Container
Helictotrichon sempervirens	Blue Oat Grass	Moderate		2'-3'	Private; Public	
Hemerocallis hybrida	Daylily	Moderate		24"-36"	Private; Public	Flowering
Hesperaloe parviflora	Red Yucca	Very Low		36"	Private	Container; Flowering
Iris douglasiana	Coastal Iris, Douglas Iris	Low	X	7"-31"	Private; Public	Bioswale; Container; Flowering; Pollinator Habitat
Juncus patens	California Gray Rush	Low	X	18"-24"	Private; Public	Bioswale; Container; Pollinator Habitat
Kalanchoe species & cultivars	Kalanchoe	Low		var.	Private	Container
Kalanchoe luciae	Paddle Plant	Low		12"-24"	Private	Container
Kniphofia uvaria	Red-Hot Poker	Moderate		3'-4'	Private; Public	
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	Low	X	24"-36"	Private; Public	Bioswale; Container; Pollinator Habitat
Leymus triticoides	Creeping Wild Rye	Low	X	2'-4'	Private; Public	Bioswale; Pollinator Habitat
Lomandra species & cultivars	Mat Rush	Low		var.	Private; Public	
Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low		24"-36"	Private; Public	Bioswale
Melica imperfecta	California Melic	Very Low	X	12"-36"	Private; Public	Bioswale; Pollinator Habitat
Muhlenbergia emersleyi 'El Toro'	Bull Grass	Low		36"	Private; Public	Bioswale
Muhlenbergia rigens	Deer Grass	Low	X	24"-36"	Private; Public	Bioswale; Container; Pollinator Habitat
Nassella pulchra	Purple Needlegrass	Very Low	X	12"-36"	Private; Public	Bioswale; Pollinator Habitat
Oscularia deltoides	Pink Iceplant	Low		<12"	Private	Container
Penstemon heterophyllus	Foothill Penstemon	Low	X	3'-5'	Private; Public	Container; Flowering; Pollinator Habitat
Penstemon spectabilis	Showy Penstemon	Low	X	2'-4'	Private; Public	Container; Flowering; Pollinator Habitat
Phormium species & cultivars	phr	Moderate			Private; Public	Bioswale
Phormium tenax 'Jack Spratt'	New Zealand Flax	Low		18"	Private; Public	Bioswale; Container
Sedum species & cultivars	Stonecrop	Low		var.	Private	Container; Flowering
Senecio cylindricus	Narrow-Leaf Chalksticks	Low		12"-24"	Private	
Senecio mandraliscae	Kleinia Chalksticks	Low		12"-36"	Private	
Senecio serpens	Blue Chalksticks	Low		<12"	Private	

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value
PERENNIALS, SUCCULENTS, GRASSES						
Sisyrinchium bellum	Blue-Eyed Grass	Low	X	12"-24"	Private; Public	Container; Flowering; Pollinator Habitat
Verbena lilacina 'De La Mina'	Cedros Island Verbena	Low	X	24"-36"	Private; Public	Container; Flowering; Pollinator Habitat
Zoysia tenuifolia	Korean Grass	Moderate		1"-1.5"	Private; Public	
Portulacaria afra & cultivars	Elephant's Food	Very Low		var.	Private	Container

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7.3 PERENNIALS, SUCCULENTS, GRASSES



Acacia Cognata Cousin Itt



Arctostaphylos Densiflora
Howard McMinn



Berberis Golden Abundance



Ceanothus Concha



Eriogonum Grande Var Rubescens



Heteromeles Arbutifolia



Myrica Californica



Rhus Integrifolia



Salvia Clevelandii Leucophylla

7.4 GROUND COVERS

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value	Accent	Bioswale	Container	Flowering	Pollinator Habitat	Screening	Tolerate Foot Traffic
GROUND COVERS													
Acacia redolens 'Low Boy'	Prostrate Acacia	Very Low		12"-24"	Private; Public								
Achillea millefolium	Common Yarrow	Low	X	12"-36"	Private; Public	Bioswale; Flowering; Pollinator Habitat		x		x	x		
Achillea 'Moonshine'	Moonshine Yarrow	Moderate		12"-24"	Private; Public	Bioswale; Flowering		x		x			
Arctostaphylos (Prostrate Varieties)	Manzanita	Low	X	<36"	Private; Public	Bioswale; Container; Pollinator Habitat		x	x		x		
Arcostaphylos 'Pacific Mist'	Pacific Mist Manzanita	Low	X	12"-24"	Private; Public	Bioswale; Pollinator Habitat; Screening; Tolerate Foot Traffic		x			x	x	x
Artemisia 'Powis Castle'	Wormwood	Moderate		24"-36"	Private; Public								
Baccharis pilularis ssp. pilularis 'Pigeon Point'	Pigeon Point Coyote Brush	Low	X	12"-24"	Private; Public	Bioswale; Pollinator Habitat		x			x		
Baccharis pilularis 'Twin Peaks No. 2'	Dwarf Coyote Brush	Low	X	12"-18"	Private; Public	Bioswale; Pollinator Habitat		x			x		
Baccharis 'Starn'	Starn Coyote Brush	Very Low		36"	Private; Public	Accent; Container; Flowering	x		x	x			
Bougainvillea 'Oo-la-la'	Oo-La-La Bougainvillea	Low		24"	Private; Public	Accent; Container; Flowering	x		x	x			
Bougainvillea 'Rosenka'	Rosenka Bougainvillea	Low		24"-48"	Private; Public	Accent; Container; Flowering	x		x	x			
Calylophus berlandieri	Sundrops	Very Low		<12"	Private; Public	Flowering; Pollinator Habitat				x	x		
Carissa macrocarpa 'Green Carpet'	Green Carpet	Low		12"-24"	Private; Public	Bioswale; Tolerate Foot Traffic		x					x
Ceanothus 'Centennial'	Centennial Ceanothus	Low	X	6"-12"	Private; Public	Bioswale; Flowering; Pollinator Habitat		x		x	x		

Appendix A: Master Plant List

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value	Accent	Bioswale	Container	Flowering	Pollinator Habitat	Screening	Tolerate Foot Traffic
GROUND COVERS													
Ceanothus gloriosus 'Anchor Bay'	Anchor Bay Mountain Lilac	Low	X	24"-36"	Private; Public	Bioswale; Flowering; Pollinator Habitat		x		x	x		
Ceanothus griseus var. horizontalis 'Yankee Point'	Yankee Point Ceanothus	Low	X	24"-36"	Private; Public	Bioswale; Flowering; Pollinator Habitat		x		x	x		
Ceanothus thyrsiflorus var. griseus 'Point Sal'	Point Sal Carmel Creeper	Low	X	36"	Private; Public	Bioswale; Flowering; Pollinator Habitat		x		x	x		
Cerastium tomentosum	Snow-In-Summer	Moderate		6"-12"	Private; Public	Flowering; Tolerate Foot Traffic				x			x
Chondropetalum tectorum	Small Cape Rush	Low		24"-36"	Private; Public	Bioswale		x					
Cistus salviifolius 'Prostratus'	Sageleaf Rockrose	Low		12"-24"	Private; Public	Flowering				x			
Dichondra argentea	Silver Ponysfoot	Moderate		6"	Private; Public	Container			x				
Dymondia margaretae	Silver Carpet	Low		<12"	Private; Public	Bioswale; Tolerate Foot Traffic		x					x
Eriogonum fasciculatum 'Warriner Lytle'	California Buckwheat	Very Low	X	24"-36"	Private; Public	Bioswale; Flowering; Pollinator Habitat		x		x	x		
Festuca cinerea/ Festuca ovina glauca	Blue Fescue	Low		8"-12"	Private; Public	Bioswale		x					
Festuca rubra	Red Fescue	High	X	12"-36"	Private; Public	Bioswale; Container; Pollinator Habitat; Tolerate Foot Traffic		x	x		x		x
Festuca 'Siskiyou Blue'	Siskiyou Blue Fescue	Low	X	12"-24"	Private; Public	Bioswale; Container; Pollinator Habitat		x	x		x		
Herniaria glabra	Green Carpet	Moderate		1"-3"	Private; Public	Tolerate Foot Traffic							x
Iva hayesiana	Poverty Weed	Very Low		24"	Private; Public	Tolerate Foot Traffic							x
Lantana montevidensis & cultivars	Trailing Lantana	Low		12"-24"	Private; Public	Flowering				x			

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (HT)	Designation	Functional Value	Accent	Bioswale	Container	Flowering	Pollinator Habitat	Screening	Tolerate Foot Traffic
GROUND COVERS													
Liriope muscari	Lily Turf	Moderate		12"-18"	Private; Public	Flowering; Tolerate Foot Traffic				x			x
Liriope spicata	Creeping Lily Turf	Moderate		6"-18"	Private; Public	Flowering; Tolerate Foot Traffic				x			x
Myoporum 'Pacificum' & 'Putah Creek'	Pacific Myoporum	Low		24"	Private; Public	Tolerate Foot Traffic							x
Persicaria capitata	Pink Head Knotweed	Moderate		<12"	Private; Public	Bioswale; Flowering		x		x			
Philodendron 'Xanadu'	Xanadu Philodendron	Moderate		36"	Private; Public	Container			x				
Phyla nodiflora (Lippia repens)	Common Lippia, Kurapia	Low	X	12"-24"	Private; Public	Flowering; Pollinator Habitat; Tolerate Foot Traffic				x	x		x
Rosa White Meidiland	Groundcover Rose	Moderate		12"-24"	Private; Public	Accent; Container; Flowering; Pollinator Habitat	x		x	x	x		
Salvia leucophylla	Purple Sage	Very Low	X	2'-5'	Private; Public	Container; Flowering; Pollinator Habitat; Tolerate Foot Traffic			x	x	x		x
Salvia leucophylla 'Point Sal Spreader'	Point Sal Spreader Purple Sage	Very Low	X	2'-3'	Private; Public	Container; Flowering; Pollinator Habitat			x	x	x		
Salvia rosmarinus (Rosmarinus officinalis; Prostrate varieties)	Prostrate Rosemary, Trailing Rosemary	Low		Spreading	Private; Public	Container; Flowering; Pollinator Habitat			x	x	x		
Salvia x 'Bee's Bliss'	Bee's Bliss Sage	Low	X	24"	Private; Public	Container; Flowering; Pollinator Habitat			x	x	x		
Scieranthis biflorus	Australian Astroturf	Low		<12"	Private; Public	Tolerate Foot Traffic							x
Trachelospermum jasminoides	Star Jasmine	Moderate		Spreading	Private; Public	Flowering				x			

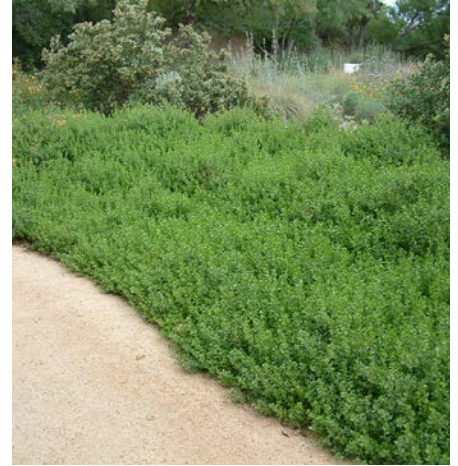
7.4 GROUND COVERS



Achillea Millefolium



Arctostaphylos Pacific Mist



Baccharis Pilularis Pigeon Point



Ceanothus Griseus Var Vorzontalis
Yankee Point



Eriogonum Fasciculatum Warriner Lytle



Lantana Montevidensis



Phyla Nodiflora



Salvia Leucophylla Point Sal Spreader



Salvia Rosmarinus

7.5 VINES

MASTER PLANT LIST

Botanical Name	Common Name	Water Use	CA Native	Size (Spreading)	Designation	Functional Value
VINES						
Bougainvillea species & cultivars	Bougainvillea	Low		5'-30'	Private	Accent; Flowering
Bougainvillea 'La Jolla'	La Jolla Bougainvillea	Low		4'-5'	Private	Accent; Flowering
Calystegia macrostegia	California Morning Glory	Low	X	20'-30'	Private	Flowering; Pollinator Habitat
Campsis grandiflora	Chinese Trumpet Vine	Low		30'	Private	Flowering
Clytostoma callistegioides	Lavender Trumpet Vine	Moderate		20'	Private	Flowering
Distictis buccinatoria	Red Trumpet Vine	Moderate		20'-30'	Private	Flowering
Ficus pumila	Creeping Fig	Low		20'	Private	
Hardenbergia violacea 'Happy Wanderer'	Purple Vine Lilac	Low		15'	Private	Flowering
Lonicera hispidula var. vacillans	California Honeysuckle	Low	X	4'-8'	Private	Flowering; Pollinator Habitat
Macfadyena unguis-cati	Cat's-Claw Creeper	Low		25'-40'	Private	Flowering
Pandorea jasminoides 'Rosa'	Pink Bower Vine	Moderate		20'-30'	Private	Flowering
Parthenocissus tricuspidata	Boston Ivy	Moderate		30'-60'	Private	Accent
Trachelospermum jasminoides	Star Jasmine	Moderate		18'-20'	Private	Flowering; Screening
Vitis californica 'Roger's Red'	Roger's Red California Grape	Low	X	20'-40'	Private	Accent; Pollinator Habitat



Trachelospermum Jasminoides



Hardenbergia Violacea



Vitis Californica

